

File Number  
PDC04-052

Application Type  
Planned Development Rezoning

Council District  
5

Planning Area  
Alum Rock

Assessor's Parcel Number(s)  
481-26-083

## STAFF REPORT

### PROJECT DESCRIPTION

Completed by: Deanna M. Chow

Location: South side of San Antonio Street, approximately 270 feet easterly of King Road

Gross Acreage: 1.1                      Net Acreage: 1.1                      Net Density: 21.8 DU/AC

Existing Zoning: R-2 Residence                      Existing Use: Vacant community services building

Proposed Zoning: A(PD) Planned Development                      Proposed Use: Up to 24 single-family attached residential units.

### GENERAL PLAN

Completed by: DMC

Land Use/Transportation Diagram Designation  
Medium Density Residential (8-16DU/AC)

Project Conformance:  
 Yes     No  
 See Analysis and Recommendations

### SURROUNDING LAND USES AND ZONING

Completed by: DMC

North: Elementary School                      R-1-8 – Single-Family Residential

East: Single-family Residential                      R-2 – Residence

South: Single-family Attached Residential                      A(PD) – Planned Development

West: Single-family Attached Residential                      A(PD) - Planned Development

### ENVIRONMENTAL STATUS

Completed by: DMC

- Environmental Impact Report found complete  
 Negative Declaration circulated on October 28, 2004  
 Negative Declaration adopted on

- Exempt  
 Environmental Review Incomplete

### FILE HISTORY

Completed by: DMC

Annexation Title: Mayfair No. 3\_A

Date: 10/23/1959

### PLANNING DEPARTMENT RECOMMENDATIONS AND ACTION

- Approval  
 Approval with Conditions  
 Denial  
 Uphold Director's Decision

Date: 11-10-04

Approved by:   
 Action  
 Recommendation

#### APPLICANT/DEVELOPER

#### OWNER

Core Development  
Attn: Paul Ring  
470 S. Market St.  
San Jose, CA 95113

Volunteers of America  
1701 Harbor Bay Parkway, Ste. 220  
Alameda, CA 94502

---

---

**PUBLIC AGENCY COMMENTS RECEIVED**

Completed by: DMC

Department of Public Works

Please see attached memorandum.

Other Departments and Agencies

Police Department, Fire Department and Environmental Services

---

**GENERAL CORRESPONDENCE**

Please see attached letters from Mayfair Improvement Initiative and Comité Cesar Chavez

---

**ANALYSIS AND RECOMMENDATIONS**

---

---

**BACKGROUND**Project Description

On June 2, 2004, the applicant, Core Development, Inc., filed a Planned Development rezoning application for a 1.1-acre site located on the south side of San Antonio Street, approximately 270 feet easterly of King Road. The proposed rezoning from R-2 Residence to A(PD) Planned Development would allow up to 24 single-family attached market rate and affordable residential units. The proposed Planned Development rezoning is necessary because the proposed number of units and setbacks do not conform to the development standards permitted by the existing zoning district.

The proposed zoning would allow up to 24 attached single-family residential units at a density of 21.8 dwelling units per acre (DU/AC). As depicted in the conceptual design site plan, the project would have characteristics of both a garden townhome and rowhouse development. The plan contains a mix of two and three bedroom, three-story units configured with units addressing the street and also oriented to "paseos" and the common open space area. The units are accessed from a private driveway from San Antonio Street. The development standards of the proposed zoning would allow buildings up to three stories (37.5 feet), provide one or two covered parking spaces per unit, and require both private (300 square feet per unit) and common open space (150 square feet per unit).

Site and Surrounding Uses

The 1.1-acre subject site is rectangular in shape and relatively level with no unusual topographic features. The project site is currently occupied by a vacant community services building. The site is bounded by San Antonio Street to the north, single-family attached residential units (duplexes) to the west and south, and single-family residential uses to the east. An elementary school is located to the north across San Antonio Street. The immediate area is designated Medium Density Residential (8-16 DU/AC) and built at approximately 12 DU/AC. The site is located within the Mayfair Strong Neighborhoods Initiative (SNI) for which the City Council adopted Mayfair Neighborhood Improvement Plan in November 2002.

## **ENVIRONMENTAL REVIEW**

An Initial Study was prepared for the proposed project and it was determined that the project will not have a significant effect on the environment. A Negative Declaration was circulated on October 28, 2004 that identifies mitigation measures included in the project to reduce potentially significant effects to a less than significant level. These mitigation measures are in regards to air quality, biological resources, geology and soils, hydrology, hazardous materials, and noise.

## **GENERAL PLAN CONFORMANCE**

The subject property has a designation of Medium Density Residential (8-16 DU/AC) on the General Plan Land Use/Transportation Diagram. Medium Density Residential is typified by duplexes, townhomes and patio homes. The proposed 24 single-family attached residences on the property would result in a density of 21.8 dwelling units per net acre, which exceeds the existing land use designation of 8-16 dwelling units per acre. The proposed project conforms to the General Plan designation for the subject property through application of the Two Acre Rule Discretionary Alternate Use Policy.

The San Jose 2020 General Plan identifies Discretionary Alternate Use Policies that specify conditions when an alternative use other than that allowed in a particular Land Use/Transportation Diagram designation may be determined to be in conformance with the General Plan. The alternate use would be permitted without a General Plan land use amendment. One of the Discretionary Alternate Use Policies is the Two Acre Rule which allows parcels with a residential land use designation to develop at a higher or lower density range. The use of this policy is to help further the City's General Plan goals of encouraging infill development through innovative design.

The proposed project would benefit the adjacent properties by facilitating redevelopment of an underutilized infill lot that is located adjacent to established residential uses. The project would allow for single-family attached residential uses, which is consistent with the surrounding land uses. The proposed project is designed to orient to the street and incorporate a pedestrian paseo throughout the project, providing an engaging streetscape and safe access for the pedestrians. The proposed project incorporates a 4,200 square foot common open space as a focal point for the development where the interior units front onto the park. The proposed common open space area exceeds the requirements of the Residential Design Guidelines and will include a children's play area, benches, as well as decorative architectural elements. Because of the enhanced pedestrian-oriented design, the application of the Two Acre Rule to the proposed project is appropriate to find General Plan conformance.

## **ANALYSIS**

The proposed project is generally in conformance with the intent of the Residential Design Guidelines (RDG) and the goals and strategies of the Mayfair Improvement Plan.

### **Residential Design Guidelines**

The proposed project is most similar to the garden townhouse and rowhouse unit types as described in the Residential Design Guidelines. The proposed units are attached with units addressing San Antonio Street and interior units oriented toward the common open space that provides a focal point for the development. Pedestrian connectivity from San Antonio Street and within the conceptual site plan is an important element of the development. Vehicular access for the garden townhome units is taken

from an alley at the rear of the units while the rear units of the development are a rowhouse style development, including the more typical vehicular access from the front.

### Setbacks

The Residential Design Guidelines (RDG) provide guidance for setbacks for new development with respect to adjacent streets and adjacent uses. The proposed perimeter setbacks meet the intent of the Residential Design Guidelines by providing an adequate separation between the proposed project and surrounding uses.

Per the RDG, the minimum setbacks for a two or three-story unit from a collector residential street are 20 and 35 feet, respectively. This can be reduced if the setback matches the average setback of nearby existing residential uses. The proposed project has an outward orientation to San Antonio Street where units front onto the street, providing an engaging and aesthetically pleasing street environment. To help achieve this affect, the front perimeter building setback has been reduced to 15 feet to bring the massing closer to the street. This is compatible with residential uses to the east and west.

One of the key considerations when determining the development standards is the nature of surrounding land uses. Setbacks from adjacent residential uses should match setbacks of existing similar structures or uses, provided such setbacks do not exceed the range of common practice. Single-family attached (duplexes) and detached residences are adjacent to the site. The units to the west and south of the site are two-story while the residence to the east in one-story. The perimeter setback along the westerly border is a minimum of 15 feet. Because the driveway is proposed to be located along the westerly edge, the setback applies to the rear set of units. At this point, the adjacent use to the west is open space for the residential unit. The southern and western edges of the site are adjacent to the rear and side yards of two-story duplexes. The proposed minimum building setback is 13.5 feet for the southern perimeter and 15 feet for the western perimeter. Staff will work with the applicant and community at the PD permit stage to carefully design residential units adjacent to the private yards, and incorporate the appropriate placement of windows and landscaping to provide screening.

### Open Space

The Residential Design Guidelines provide guidance as to the amount of private open space and common open space to be provided for residential projects of different types. In this project, each unit includes a minimum of 300 square feet of private open space for the garden townhomes and 400 square feet for the rowhouses, meeting the RDG specification for these unit types. The private open space will be accommodated through a mix of patios, fenced yards, balconies and decks. In addition, the zoning includes a minimum of 150 square feet of common open space per unit, consistent with the common open space requirements of the RDG. The conceptual site plan includes a centralized 4,200 square foot common open space area that exceeds the minimum requirements. Given the likelihood of families with children residing in the neighborhood, staff will work with the applicant at the Planned Development Permit stage to provide amenities and usable common open space for the residents. Residents can also benefit and potentially take advantage of the project's close proximity to the playgrounds at San Antonio Elementary School located directly across San Antonio Street to the north.

### Parking/Circulation

The project is accessed from San Antonio Street by via a private driveway that leads to two alleyways primarily used for vehicular circulation to the residential units. A fence and landscaping will be provided between the driveway and the adjoining single-family residence the east.

The amount of parking required is dependant upon bedroom count and parking type (i.e, open parking or enclosed parking in garages). The development proposes a mixture of single-car, two-car and two-car tandem garages. Per the RDG, the proposed parking for garden townhomes (assuming two-car garages) will be provided at a rate of 2.6 spaces for three-bedroom units. Two-bedroom garden townhomes (assuming one-car garages) will be provided at a rate of 2.0 spaces per unit. The rowhouses are providing 2.8 spaces per unit (assuming three-bedroom, two-car tandem garages), which is slightly less than the 2.0 spaces plus 1.0 additional off-lot space recommended per the RDG for rowhouses. Each unit provides at least one covered parking garage. All three-bedroom units will provide a two-car garage. The units with a tandem garage will provide a driveway apron sized to provide an additional parking space. Each driveway apron would be credited for 0.25 spaces. The conceptual plans show 8 one-car garages, 8 two-car garages, 8 tandem two-car garages, 8 driveway aprons, and 16 on-site open parking stalls. The amount and location of parking will be finalized at the PD Permit stage to ensure that adequate parking is provided and accessible to all the residents.

### **Mayfair Neighborhood Improvement Plan**

The site is located within the Mayfair Strong Neighborhoods Initiative (SNI) area guided by the Mayfair Neighborhood Improvement Plan. The Plan is the blueprint for improvement to the Mayfair neighborhood and includes goals and priority action items for the community. Two of the Top Ten Priority Action Items in the Plan are building more affordable housing in the community, and improving traffic and pedestrian safety. This project helps address both of these concerns.

One major community concern is the availability of high quality affordable housing in the area, especially for existing Mayfair residents. The Plan discusses the need for streamlining the development process, the desire to continue working with the affordable housing developers and working to identify residential or mixed-use sites which could accommodate more housing without displacing existing residents. The existing use on the site is a vacant commercial building, so redevelopment of the site for housing is on underutilized land and will not displace neighborhood residents. Community members and groups have stressed the desire to have new affordable units available within the income levels of area residents, which is typically lower than the average income for the City. The proposed project will make 20% of the total number of for-sale housing units available to low and moderate-income level households. Although the price may be higher than desired by the community, redevelopment of the site will provide investment into the area, and the affordable units will be a benefit to the community. The applicant has indicated they will work with the City's Housing Department, the FHA and other local community groups to provide additional assistance, such as easing down payments for first time homebuyers.

Traffic and pedestrian safety issues have been raised by the community, and in some cases, the community has proposed some solutions. One issue raised is the safety of pedestrians crossing San Antonio near San Antonio Elementary School. In coordination with the community, the City recently installed an uplift crosswalk near Lynette Way. The applicant will contribute \$10,000 to help offset the City's cost towards the completion of this project. The crosswalk is a community benefit and will provide enhanced pedestrian mobility and safety for new and existing residents.

## **PUBLIC OUTREACH**

A notice of the public hearing was distributed to the owners and tenants of all properties located within 1000 feet of the project site. In addition, the City's website contains information regarding the permits online process, the Zoning Ordinance, and the *San José 2020 General Plan*. Information on this proposed Planned Development (PD) Zoning application, including staff reports and public hearing schedule has also been available on the City's website. This website is used by the community to keep informed of the status of development applications. Staff has been available to discuss the subject project on an individual meeting-basis with concerned Neighborhood Advisory Committee (NAC) members, nearby property owners, and members of the public.

### Community Meeting

The applicant presented the proposed project to the Mayfair Neighborhood Advisory Committee (NAC) on May 27, 2004. The main issue raised by the community members was affordability of the new units. The community stressed the importance of providing units at the income levels of the members of the community, which is typically lower than the City or County average. Additionally, a NAC subcommittee was formed to continue to work with the applicant.

A community meeting with the Mayfair Neighborhood Association will be held on Monday, November 15, 2004. This meeting was scheduled due to a change in the NAC's October meeting schedule. Flyers were distributed locally and members of the NAC were also specifically informed of the meeting.

## **RECOMMENDATION**

Staff believes the proposed project is a good infill design and will be an important catalyst for improvement and investment in the neighborhood. Planning staff recommends that the Planning Commission forward a recommendation to the City Council to approve the subject rezoning for the following reasons:

1. The project conforms to the General Plan Land Use/Transportation Diagram designation of Medium Density Residential (8-16 DU/AC).
2. The project furthers the City's Growth Management Policy.
3. The project is consistent with the *Residential Design Guidelines*.
4. The project is compatible with existing uses on adjacent sites.
5. The project is consistent with the intent of the Mayfair SNI Improvement Plan.

**GENERAL DEVELOPMENT PLAN  
PDC04-052**

**I. LAND USE**

**Permitted Uses:**

Residential – Up to 24 single-family attached units.

**II. DEVELOPMENT STANDARDS**

**1) Perimeter Setbacks: \***

San Antonio Street	15 feet
West	15 feet
East	15 feet
South	
1 <sup>st</sup> Story	13.5 feet
2 <sup>nd</sup> and 3 <sup>rd</sup> Story (excluding balcony)	20 feet

\* All setbacks shall be measured from the property line.

**Minor architectural projections:** Minor architectural projections, such as chimneys and bay windows may project into any setback area by no more than 2' 0" for a horizontal distance not to exceed 10' 0" in length, nor more than 20 % of the building elevation length. Stoops may project into the setback area, but may not exceed 10 feet in length.

Building Separation shall meet Building Code requirements

**2) Maximum Building Height: 38 feet, 3 stories**

**3) Parking Requirements:**

Two Bedrooms

One Car Garage	2.0 spaces per unit
Two Car Garage	2.5 spaces per unit

Three Bedrooms

Two Car Garage	2.6 spaces per unit
Tandem Garage	2.8 spaces per unit

For each additional bedroom above three bedrooms, add 0.15 parking spaces.

**GENERAL DEVELOPMENT PLAN  
PDC04-052**

Covered parking spaces are required for all units. Two covered spaces per unit are required for each three-bedroom unit. All required parking must be provided on site.

Parking back out space perpendicular to the driveways shall have a minimum length of 26 feet.

**4) Open Space**

Private Open Space: The project shall provide a minimum of 300 square feet of private open space for each garden townhouse unit and a minimum of 400 square feet of private open space per rowhouse unit.

Common Open Space: The project shall provide a minimum of 4,200 square feet of common open space (minimum of 175 square feet of open space per unit).

**5) Driveway Landscaping.** Landscaped pockets of not less than nine (9) square feet in area shall be placed between garage doors. The area above the landscaped areas shall remain unobstructed to allow for future growth.

**III. POST-CONSTRUCTION STORM WATER TREATMENT**

The City's National Pollution Discharge Elimination System (NPDES) permit compliance guidelines requires that this development must incorporate post-construction mitigation measures to control the discharge of pollutants into the storm drainage system to the maximum extent practicable. Planned Development Permit plans for this project shall include design details of all post-construction stormwater treatment controls proposed for the project, to the satisfaction of the Director of Planning.

**IV. PARKLAND DEDICATION ORDINANCE**

This subdivision is subject to the requirements of the Parkland Dedication Ordinance (Chapter 19.38 of Title 19 of the San Jose Municipal Code,) for the dedication of land or payment of fees in lieu of the dedication of land for park purposes, under the formula contained with that Chapter. Prior to approval of the Final Map for this subdivision, subdivider shall enter into a parkland agreement with the City to the satisfaction of the Director of Public Works in order to fulfill the requirements of the Parkland Dedication Ordinance.

**V. OFF-SITE IMPROVEMENTS AND ENGINEERING**

1) **Private Streets.** Per Common Interest Development (CID) Ordinance, all common infrastructure improvements shall be designed and constructed in accordance with the current CID standards.

**GENERAL DEVELOPMENT PLAN  
PDC04-052**

- 2) **Construction Agreement.** The applicant will be required to obtain a Public Works Clearance prior to the issuance of a Building Permit. The clearance will require the execution of a Construction Agreement that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This agreement includes privately engineered plans, bonds, insurance, a completion deposit, and engineering and inspection fees.

**VII. ENVIRONMENTAL MITIGATION**

**1. Air Quality**

The following construction practices shall be implemented during all phases of construction for the proposed project.

1. Water all active construction areas at least twice daily or as often as needed to control dust emissions.
2. Cover all trucks hauling soil, sand, and other loose materials and/or ensure that all trucks hauling such materials maintain at least two feet of freeboard.
3. Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
4. Sweep daily or as often as needed with water sweepers all paved access roads, parking areas and staging areas at construction sites to control dust.
5. Sweep public streets daily, or as often as needed, with water sweepers, to keep streets free of visible soil material.
6. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
7. Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.) sufficient to prevent visible airborne dust.
8. Limit traffic speeds on unpaved roads to 15 mph.
9. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
10. Replant vegetation in disturbed areas as quickly as possible.

**2. Biological Resources**

All non-orchard trees that are to be removed shall be replaced at the following ratios:

- Each tree less than 12" in diameter to be removed = one 15 gallon tree
- Each tree 12" to 18" diameter to be removed = two 24" box trees
- Trees greater than 18" diameter shall not be removed unless a Tree Removal Permit has been approved for the removal of such trees. Each tree greater than 18" diameter to be removed = four 24" box trees

The species and exact number of trees to be planted on the site will be determined in consultation with the City Arborist and the Department of Planning, Building, and Code Enforcement. In the event the developed portion of the project site does not have sufficient area to accommodate the required tree mitigation, one or more of the following measures will be implemented at the permit stage:

# GENERAL DEVELOPMENT PLAN

## PDC04-052

- An alternative site(s) will be identified for additional tree planting. Alternative sites may include local parks or schools or installation of trees on adjacent properties for screening purposes to the satisfaction of the City's Environmental Principal Planner.
- A donation of \$300 per mitigation tree to San Jose Beautiful or Our City Forest for in-lieu off-site tree planting in the community. These funds will be used for tree planting and maintenance of planted trees for approximately three years. A donation receipt for off-site tree planting will be provided to the Planning Project Manager prior to issuance of a development permit.

### **3. Geology and Soils**

The project shall be designed to incorporate standard engineering techniques and in conformance with the Uniform Building Code and as stated in the geotechnical report. In addition the project shall conform to City of San Jose National Pollution Discharge Elimination System (NPDES) Storm Water Permit.

### **4. Hazards and Hazardous Materials**

As required by state law, an asbestos and lead survey shall be conducted by a licensed consultant prior to demolition. The project shall implement all feasible recommendations in the asbestos and lead survey.

### **5. Hydrology and Water Quality**

This project will result in a land disturbance of more than one acre. Prior to the commencement of any clearing, grading, or excavation, the project shall comply with the State Water Resources Control Board's National Discharge Elimination System (NPDES) General Construction Activities Permit as follows:

The following mitigation measures will be included in the project to conform to the current non-point source programs and to avoid or reduce hydrologic impacts to a less than significant level:

1. The proposed development will comply with the NPDES permit issued to the City of San Jose and other co-permittees of the SCVURPPP, and will include measures to control pollutants discharged to the storm water system. Future activities that require a permit from the City of San Jose will need to be evaluated for BMP's including, but not limited to the following: storm water retention or detention structures; use of landscaped-based storm water treatment measures, such as biofilters and vegetated swales to manage runoff from the site; minimization of impervious surfaces and increased use of permeable pavement; if inlet filters are used, a maintenance program to maintain the functional integrity of the systems; damp sweeping of streets and on site parking areas; routine storm drain cleaning, and; covering of dumpsters and materials handling areas
2. Prior to the commencement of any grading, clearing, or excavation the project developer shall comply with the City of San Jose's Municipal Code and the State Water Resources Control Board (SWRCB) NPDES General Construction Activities Permit as follows: The applicant shall develop, implement, and maintain a SWPPP. The SWPPP must specifically address BMP's that will be included in the project to the maximum extent practicable, for both the construction and post construction periods. The SWPPP would include erosion and sediment control measures, waste disposal controls. The developer shall maintain a copy of the most current SWPPP on site and shall provide a copy to any City representative or inspector on demand; the developer shall file a

# GENERAL DEVELOPMENT PLAN

## PDC04-052

Notice of Intent (NOI) to be covered by the NPDES General Permit for Construction Activity with the SWRCB 30 days prior to any construction on the site.

3. In addition, the SWPPP must include a description of erosion control practices, which may include BMP's as specified in the California Storm Water Best Management Practice Handbook for reducing impacts on the City's storm drainage system from construction activities.
4. The project will conform to the City's Grading Ordinance during construction. Prior to issuance of a grading permit, the developer shall submit copies of the NOI and Erosion Control Plan to the City Project Engineer at the Department of Public Works.

### 6. Noise

All units shall be built in conformance with Title 24, to the satisfaction of the Chief Building Official. The following specific mitigation shall also be incorporated into the project.

**Ventilation-***For habitable rooms overlooking San Antonio Street*, adequate ventilation must be available in the event that inhabitants wish to keep the windows shut due to the noise. All such units shall have forced air ventilation systems to allow the windows to remain closed so that an interior noise level of 45 dBA can be achieved. Prior to issuance of occupancy permits, building plans for all units will be checked by a qualified acoustical consultant to ensure that noise levels are attenuated sufficiently in conformance with Title 24.

**Windows-***For habitable rooms overlooking San Antonio Street*, windows shall be weather-stripped and sealed airtight into window openings. Minimum STC 30 laboratory rated windows with frames shall be installed to bring the project into conformance with Title 24.

**Entry Doors-***Town homes that are entered from San Antonio Street* must be minimum STC-26 assemblies.

**Temporary Construction Impacts-** Construction will be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday for any on-site or off-site work within 500 feet of any residential unit. Construction outside of these hours may be approved through a development permit based on a site-specific construction noise mitigation plan and a finding by the Director of Planning, Building and Code Enforcement that the construction noise mitigation plan is adequate to prevent noise disturbance of affected residential uses.

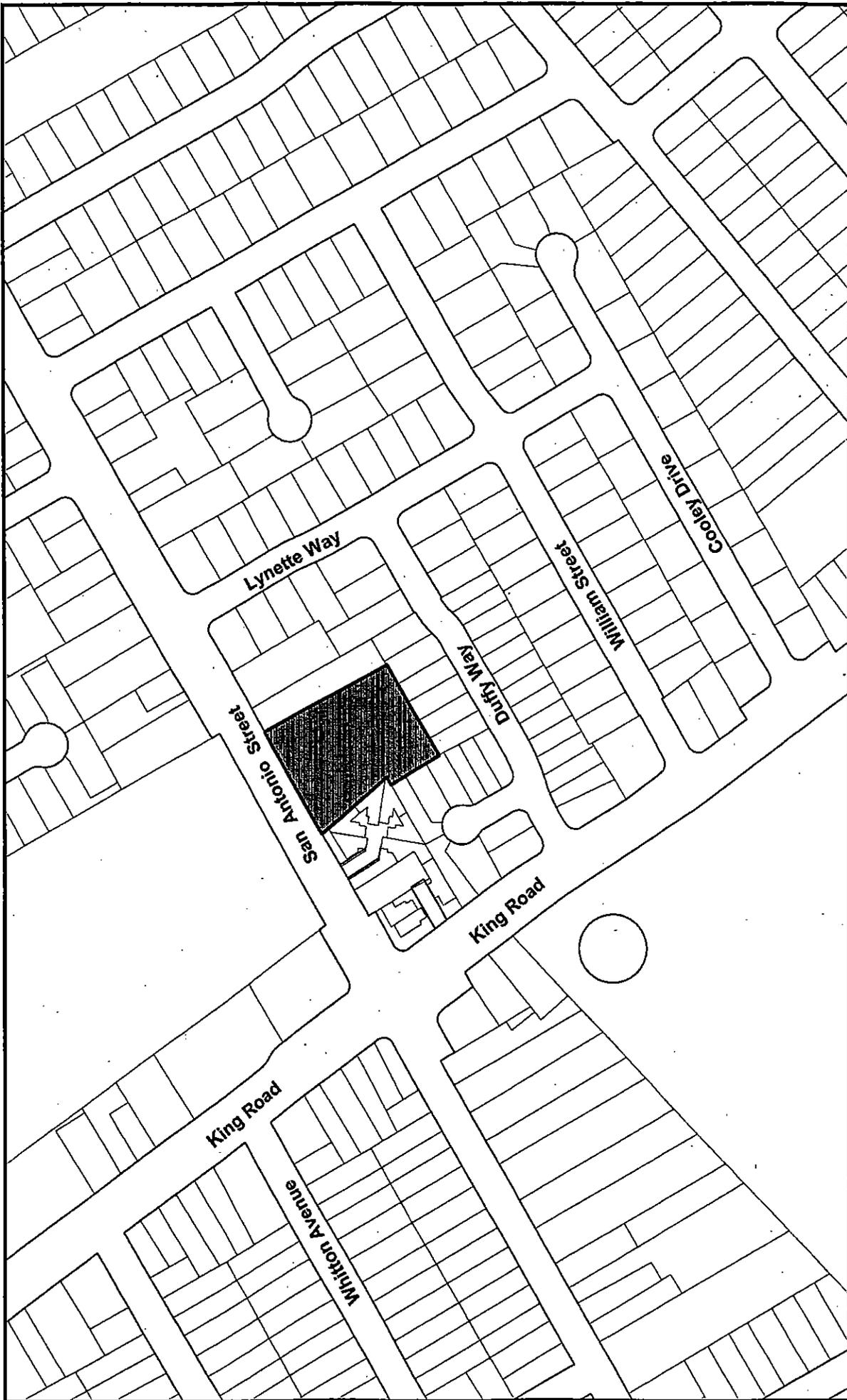
The contractor shall use "new technology" power construction equipment with state-of-the-art noise shielding and muffling devices. All internal combustion engines used on the project site shall be equipped with adequate mufflers and shall be in good mechanical condition to minimize noise created by faulty or poor maintained engines or other components.

Staging areas shall be located a minimum of 200 feet from noise sensitive receptors, such as residential uses.

**GENERAL DEVELOPMENT PLAN  
PDC04-052**

**VIII. WATER POLLUTION CONTROL PLANT NOTE**

Pursuant to Part 2.75 of Chapter 15.12 of the San José Municipal Code, no vested right to a building permit shall accrue as the result of the granting of any land development approvals and applications when and if the City Manager make a determination that the cumulative sewage treatment demand on the San José-Santa Clara Water Pollution Control Plant represented by approved land uses in the area served by said plant will cause the total sewage treatment demand to meet or exceed the capacity of the San José-Santa Clara Water Pollution Control to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Quality Control Board for the San Francisco Bay Region. Substantial conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approving authority.



File No: PDC04-052

District: 5

Quad No: 68

Scale: 1"=240'  
Date: 06/02/2004





**DRAFT  
MITIGATED NEGATIVE DECLARATION**

The Director of Planning, Building and Code Enforcement has reviewed the proposed project described below to determine whether it could have a significant effect on the environment as a result of project completion. "Significant effect on the environment" means a substantial, or potentially substantial, adverse change in any of the physical conditions within the area affected by the project including land, air, water, minerals, flora, fauna, ambient noise, and objects of historic or aesthetic significance.

**NAME OF PROJECT:** San Antonio Place

**PROJECT FILE NUMBER:** PDC04-052

**PROJECT DESCRIPTION:** Planned Development rezoning and associated permits for construction of up to 24 single-family attached residential units on a 1.10 acre site.

**PROJECT LOCATION & ASSESSORS PARCEL NO.:** 1716 East San Antonio Road (APN 481-26-083)

**COUNCIL DISTRICT:** 5

**NAME OF APPLICANT:**

Core Development, Inc.  
Attn: Paul Ring

**MAILING ADDRESS AND PHONE NO. OF APPLICANT CONTACT PERSON:**

470 S. Market Street  
San Jose, CA 95113  
(408) 292-7841

**FINDING**

The Director of Planning, Building & Code Enforcement finds the project described above will not have a significant effect on the environment in that the attached initial study identifies one or more potentially significant effects on the environment for which the project applicant, before public release of this draft Mitigated Negative Declaration, has made or agrees to make project revisions that clearly mitigate the effects to a less than significant level.

**MITIGATION MEASURES INCLUDED IN THE PROJECT TO REDUCE POTENTIALLY SIGNIFICANT EFFECTS TO A LESS THAN SIGNIFICANT LEVEL**

### **Air Quality**

The following construction practices shall be implemented during all phases of construction for the proposed project.

1. Water all active construction areas at least twice daily or as often as needed to control dust emissions.
2. Cover all trucks hauling soil, sand, and other loose materials and/or ensure that all trucks hauling such materials maintain at least two feet of freeboard.
3. Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
4. Sweep daily or as often as needed with water sweepers all paved access roads, parking areas and staging areas at construction sites to control dust.
5. Sweep public streets daily, or as often as needed, with water sweepers, to keep streets free of visible soil material.
6. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
7. Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.) sufficient to prevent visible airborne dust.
8. Limit traffic speeds on unpaved roads to 15 mph.
9. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
10. Replant vegetation in disturbed areas as quickly as possible.

### **Biological Resources**

All non-orchard trees that are to be removed shall be replaced at the following ratios:

- Each tree less than 12" in diameter to be removed = one 15 gallon tree
- Each tree 12" to 18" diameter to be removed = two 24" box trees
- Trees greater than 18" diameter shall not be removed unless a Tree Removal Permit has been approved for the removal of such trees. Each tree greater than 18" diameter to be removed = four 24" box trees

The species and exact number of trees to be planted on the site will be determined in consultation with the City Arborist and the Department of Planning, Building, and Code Enforcement. In the event the developed portion of the project site does not have sufficient area to accommodate the required tree mitigation, one or more of the following measures will be implemented at the permit stage:

- An alternative site(s) will be identified for additional tree planting. Alternative sites may include local parks or schools or installation of trees on adjacent properties for screening purposes to the satisfaction of the City's Environmental Principal Planner.
- A donation of \$300 per mitigation tree to San Jose Beautiful or Our City Forest for in-lieu off-site tree planting in the community. These funds will be used for tree planting and maintenance of planted trees for approximately three years. A donation receipt for off-site tree planting will be provided to the Planning Project Manager prior to issuance of a development permit.

### **Geology and Soils**

The project shall be designed to incorporate standard engineering techniques and in conformance with the Uniform Building Code and as stated in the geotechnical report. In addition the project shall conform to City of San Jose National Pollution Discharge Elimination System (NPDES) Storm Water Permit.

### **Hazards and Hazardous Materials**

As required by state law, an asbestos and lead survey shall be conducted by a licensed consultant prior to demolition. The project shall implement all feasible recommendations in the asbestos and lead survey.

### **Hydrology and Water Quality**

This project will result in a land disturbance of more than one acre. Prior to the commencement of any clearing, grading, or excavation, the project shall comply with the State Water Resources Control Board's National Discharge Elimination System (NPDES) General Construction Activities Permit as follows:

The following mitigation measures will be included in the project to conform to the current non-point source programs and to avoid or reduce hydrologic impacts to a less than significant level:

1. The proposed development will comply with the NPDES permit issued to the City of San Jose and other co-permittees of the SCVURPPP, and will include measures to control pollutants discharged to the storm water system. Future activities that require a permit from the City of San Jose will need to be evaluated for BMP's including, but not limited to the following: storm water retention or detention structures; use of landscaped-based storm water treatment measures, such as biofilters and vegetated swales to manage runoff from the site; minimization of impervious surfaces and increased use of permeable pavement; if inlet filters are used, a maintenance program to maintain the functional integrity of the systems; damp sweeping of streets and on site parking areas; routine storm drain cleaning, and; covering of dumpsters and materials handling areas
2. Prior to the commencement of any grading, clearing, or excavation the project developer shall comply with the City of San Jose's Municipal Code and the State Water Resources Control Board (SWRCB) NPDES General Construction Activities Permit as follows: The applicant shall develop, implement, and maintain a SWPPP. The SWPPP must specifically address BMP's that will be included in the project to the maximum extent practicable, for both the construction and post construction periods. The SWPPP would include erosion and sediment control measures, waste disposal controls. The developer shall maintain a copy of the most current SWPPP on site and shall provide a copy to any City representative or inspector on demand; the developer shall file a Notice of Intent (NOI) to be covered by the NPDES General Permit for Construction Activity with the SWRCB 30 days prior to any construction on the site.
3. In addition, the SWPPP must include a description of erosion control practices, which may include BMP's as specified in the California Storm Water Best Management Practice Handbook for reducing impacts on the City's storm drainage system from construction activities.
4. The project will conform to the City's Grading Ordinance during construction. Prior to issuance of a grading permit, the developer shall submit copies of the NOI and Erosion Control Plan to the City Project Engineer at the Department of Public Works.

### **Noise**

All units shall be built in conformance with Title 24, to the satisfaction of the Chief Building Official. The following specific mitigation shall also be incorporated into the project.

**Ventilation-***For habitable rooms overlooking San Antonio Street*, adequate ventilation must be available in the event that inhabitants wish to keep the windows shut due to the noise. All such units shall have forced air ventilation systems to allow the windows to remain closed so that an interior noise level of 45 dBA can be achieved. Prior to issuance of occupancy permits, building plans for all units will be checked by a qualified acoustical consultant to ensure that noise levels are attenuated sufficiently in conformance with Title 24.

**Windows-** *For habitable rooms overlooking San Antonio Street*, windows shall be weather-stripped and sealed airtight into window openings. Minimum STC 30 laboratory rated windows with frames shall be installed to bring the project into conformance with Title 24.

**Entry Doors-** *Town homes that are entered from San Antonio Street* must be minimum STC-26 assemblies.

**Temporary Construction Impacts-** Construction will be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday for any on-site or off-site work within 500 feet of any residential unit. Construction outside of these hours may be approved through a development permit based on a site-specific construction noise mitigation plan and a finding by the Director of Planning, Building and Code Enforcement that the construction noise mitigation plan is adequate to prevent noise disturbance of affected residential uses.

The contractor shall use "new technology" power construction equipment with state-of-the-art noise shielding and muffling devices. All internal combustion engines used on the project site shall be equipped with adequate mufflers and shall be in good mechanical condition to minimize noise created by faulty or poor maintained engines or other components.

Staging areas shall be located a minimum of 200 feet from noise sensitive receptors, such as residential uses.

**PUBLIC REVIEW PERIOD**

Before 5:00 p.m. on **November 16, 2004**, any person may:

- (1) Review the Draft Mitigated Negative Declaration (MND) as an informational document only; or
- (2) Submit written comments regarding the information, analysis, and mitigation measures in the Draft MND. Before the MND is adopted, Planning staff will prepare written responses to any comments, and revise the Draft MND, if necessary, to reflect any concerns raised during the public review period. All written comments will be included as part of the Final MND; or
- (3) File a formal written protest of the determination that the project would not have a significant effect on the environment. This formal protest must be filed in the Department of Planning, Building and Code Enforcement, 801 North First Street, San Jose, Room 400 and include a \$100 filing fee. The written protest should make a "fair argument" based on substantial evidence that the project will have one or more significant effects on the environment. If a valid written protest is filed with the Director of Planning, Building & Code Enforcement within the noticed public review period, the Director may (1) adopt the Mitigated Negative Declaration and set a noticed public hearing on the protest before the Planning Commission, (2) require the project applicant to prepare an environmental impact report and refund the filing fee to the protestant, or (3) require the Draft MND to be revised and undergo additional noticed public review, and refund the filing-fee to the protestant.

Stephen M. Haase, AICP  
Director, Planning, Building and Code Enforcement

Circulated on: 10/28/04

Jodi Chok  
Deputy

Adopted on: \_\_\_\_\_

\_\_\_\_\_  
Deputy



**TO:** Deanna Chow  
Planning and Building

**FROM:** Ebrahim Sohrabi  
Public Works

**SUBJECT: FINAL RESPONSE TO  
DEVELOPMENT APPLICATION**

**DATE:** 11/08/04

---

**PLANNING NO.:** PDC04-052  
**DESCRIPTION:** Planned Development Rezoning from R-2 Residential Zoning District to A(PD) Planned Development Zoning District to allow 24 single-family attached residences on a 1.10 gross acre site  
**LOCATION:** South side of San Antonio Road approximately 270 feet easterly of King Road  
**P.W. NUMBER:** 3-16737

Public Works received the revised submittal for the subject project on 11/05/04 and submits the following comments and requirements.

**Public Works Clearance for Building Permit(s):** Prior to the issuance of Building permits, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.

1. **Construction Agreement:** The public improvements conditioned as part of this permit require the execution of a Construction Agreement that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This agreement includes privately engineered plans, bonds, insurance, a completion deposit, and engineering and inspection fees.
2. **Grading/Geology:**
  - a) A grading permit is required prior to the issuance of a Public Works Clearance.
  - b) Because this project involves a land disturbance of one or more acres, the applicant is required to submit a Notice of Intent to the State Water Resources Control Board and to prepare a Storm Water Pollution Prevention Plan (SWPPP) for controlling storm water discharges associated with construction activity. Copies of these documents must be submitted to the City Project Engineer prior to issuance of a grading permit.
  - c) The Project site is within the State of California Seismic Hazard Zone. A soil investigation report addressing the potential hazard of liquefaction must be submitted to, reviewed and approved by the City Geologist prior to issuance of a grading permit or Public Works Clearance. The investigation should be consistent with the guidelines published by the State of California (CDMG Special Publication 117) and the Southern California Earthquake Center ("SCEC")

report). A recommended depth of 50 feet should be explored and evaluated in the investigation.

3. **Transportation:** This project is exempt from the Level of Service (LOS) Policy, and no further LOS analysis is required because the project proposes 25 units of Single Family attached or less.
4. **Storm:** Revised conceptive grading/drainage plans do not properly address the required progressive/positive drainage toward San Antonio St. frontage. At the improvement plan stage, revise and resubmit plan to include elevation modification to rear of lot.
5. **Storm Water Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy) which requires implementation of Best Management Practices (BMPs) that include site design measures, source controls, and storm water treatment controls to minimize storm water pollutant discharges.
6. **Storm Water Peak Flow Control Measures:** This project may also be required to comply with the requirements of the watershed-wide Hydromodification Management Plan (HMP) if an HMP is approved by the City Council and Regional Board before this project's Planning Permit application is deemed complete by the Planning Division. Plans should show how the project would manage increases in runoff peak flow and volume, and/or how the project will prevent any increase in the potential for erosion of creek beds and banks or other adverse impacts to beneficial uses that may be attributable to changes in the amount and timing of runoff. Further information concerning compliance with the HMP will be provided once the City Council and Regional Board have approved an HMP.
7. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
8. **Street Improvements:**
  - a) Remove and replace broken or uplifted curb, gutter, sidewalk, and AC pavement along project frontage.
  - b) Close unused driveway cut(s).
  - c) Proposed driveway width to be a maximum 26'.
  - d) A contribution of \$10,000 is required to reimburse the City for constructing the uplift crosswalk at the intersection of San Antonio Rd. and Lynette Way.
  - e) Repair, overlay, or reconstruction of asphalt pavement may be required. The existing pavement will be evaluated with the street improvement plans and any necessary pavement restoration will be included as part of the final street improvement plans.
9. **SNI:** This project is located within the Mayfair SNI area. Public improvements shall conform to the approved EIR and neighborhood improvement plan.

10. **Electrical:** Installation, relocation, and relamping of electrolier(s) may be required along project frontage.
  
11. **Landscape:**
  - a) Install street trees within the public right-of-way along the entire street frontage per City standards.
  - b) The locations of the street trees will be determined at the street improvement stage. Street trees shown on this permit are conceptual only.
  - c) Contact the City Arborist at (408) 277-2756 for the designated street tree.
  
12. **Private Streets:**
  - a) Per Common Interest Development (CID) Ordinance, all common infrastructure improvements shall be designed and constructed in accordance with the current CID standards.
  - b) The plan set includes details of private infrastructure improvements. The details are shown for information only; final design shall require the approval of the Director of Public Works.

Please contact the Project Manager, Andrew Turner, at 277-5161 if you have any questions.



Ebrahim Sohrabi  
Senior Civil Engineer  
Transportation and Development Services Division



# Memorandum

**TO:** Stephen Haase  
Director of Planning

**FROM:** Officer Bill Miller  
CPTED Program

**PROJECT MANAGER:** Deanna Chow

**DATE:** June 23, 2004

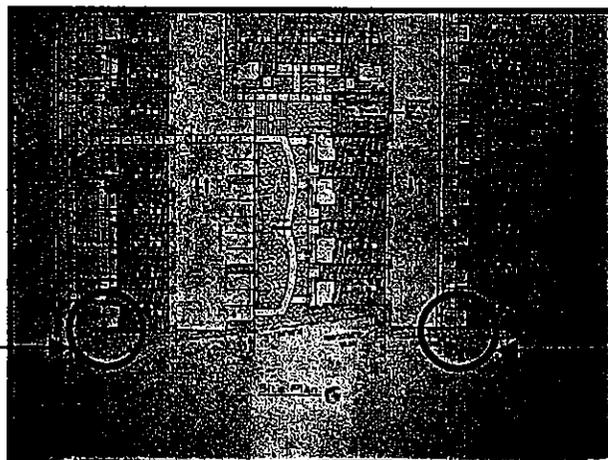
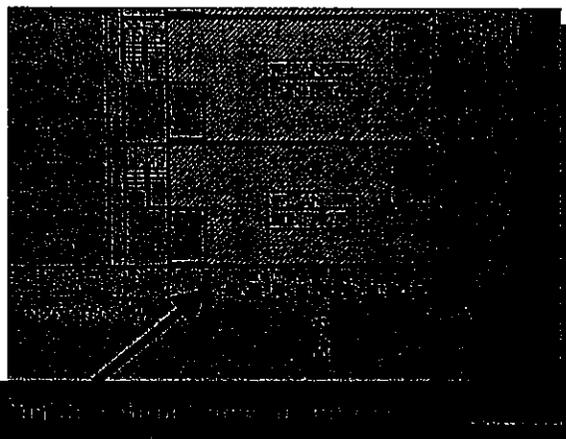
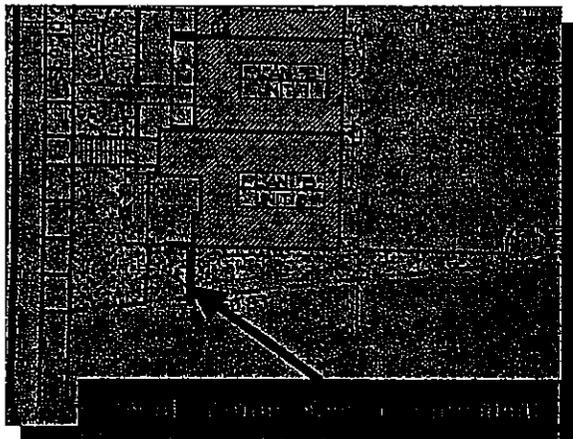
**PLANNING FILE #:** PDC04-052

**LOCATION:** South side of San Antonio Road approximately 270 feet easterly of King Road

**DESCRIPTION:** Planned Development Rezoning from R-2 Residential Zoning District to A (PD) Planned Development Zoning District to allow 25 single-family attached residences (townhomes) on a 1.10 gross acre site.

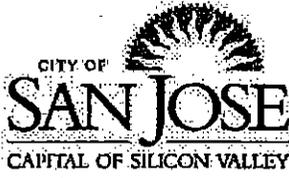
The Chief of Police requests that the following conditions be appended to the subject application:

- Fencing should be installed to separate unwanted foot traffic, and prevent easy escape routes for potential burglars and auto thieves.



- Addressing shall be installed at both the front and rear of each unit, and be illuminated during the hours of darkness.
- Adequate lighting should be installed In the vehicle access lanes where the garages are located.
- A clear address sign, visible from the public street, should be erected at the entrance to the development listing the addresses in the development. The sign should be illuminated during the hours of darkness.

Officer Bill Miller #2786  
Crime Prevention Unit  
Environmental Design Detail



RECEIVED  
JUN 17 2004  
CITY OF SAN JOSE  
PLANNING DEPARTMENT

# Memorandum

## ENVIRONMENTAL SERVICES DEPARTMENT (ESD)

**TO:** Deanna Chow  
Department of Planning,  
Building, & Code Enforcement

**FROM:** Geoff Blair  
Environmental Services Department

**SUBJECT:** Response to Development  
Application

**DATE:** Staff Review Agenda  
June 17, 2004

**APPROVED:** *Geoff Blair*      **DATE:** 6-17-04

PLANNING NO. :	PDC04-052
LOCATION:	1716 East San Antonio Street. South side of San Antonio Road approximately 270 feet easterly of King Road.
DESCRIPTION:	Planned Development Rezoning from R-2 Residential Zoning District to A(PD) Planned Development Zoning District to allow 25 single-family attached residences (townhomes) on a 1.10 gross acre site.
APN:	48126083

ESD received the subject project and is submitting the following conditions and comments. Questions regarding these comments may be directed to the program contact given or to me at (408) 945-5332.

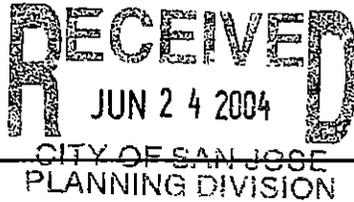
### Integrated Waste Management (IWM)

#### *Single Family Residential*

1. Collection vehicle access (vertical clearance, street width and turnaround space) and street parking are common issues pertaining to new developments. All residential projects must be designed<sup>1</sup> such that they will accommodate garbage and recycling collection vehicles and program setout guidelines. For questions regarding garbage and recycling collection issues, contact the Recycle Plus Program at (408) 277-5533.
2. It is recommended that scrap construction and demolition debris be recycled instead of disposing of it in a landfill. An infrastructure exists within San Jose to accommodate such recycling efforts. Integrated Waste Management staff can provide assistance on how to recycle construction and demolition debris from the project, including information on where to conveniently recycle the material. For further information, contact the Commercial Solid Waste Program at (408) 277-5533.

<sup>1</sup> In accordance with the San Jose Residential Design Guidelines





# Memorandum

**TO:** Deanna Chow  
Planning and Building

**FROM:** Nadia Naum-Stoian,  
Fire Prevention Engineer  
San Jose Fire Department

**SUBJECT:** INITIAL RESPONSE TO  
DEVELOPMENT APPLICATION

**DATE:** 06/17/04

---

Approved

Date

---

**PLANNING NO.:** PDC04-052  
**DESCRIPTION:** Planned Development Rezoning from R-2 Residential Zoning District to A(PD) Planned Development Zoning District to allow 25 single-family attached residences (townhomes) on a 1.10 gross acre site  
**LOCATION:** South side of San Antonio Road approximately 270 feet easterly of King Road  
**ADDRESS:** South side of San Antonio Road approximately 270 feet easterly of King Road (1716 E SAN ANTONIO ST)  
**FOLDER #:** 04 115015 ZN

The San Jose Fire Department has reviewed the related plans as submitted and has the following comments and requirements.

- These comments are based on the following information:
  - Largest building: 21,600 sq. ft.
  - Construction Type: VN
  - Occupancy Group: R1/R3
  - Number of stories: 3
- Site fire flow requirement: 4000 G.P.M.
- Average hydrant(s) spacing: 350 feet - Subject to Fire Department approval
- Comply with comments from the Building/Fire Departments at the plan review stage.

- A permit must be obtained from the Building and Fire Departments. Submit three (3) sets of construction plans to the Building Department, one (1) of those sets of plans will be routed to the San Jose Fire Department for review and comments.
- Fire Department comments to Planning Department File No. PDC04-052 apply to this project.
- **THE FOLLOWING CORRECTIONS SHALL APPLY TO THE SUBJECT APPLICATION:**
  1. The needed fire flow noted above shall be provided from a minimum of 4 hydrants and shall be spaced apart on average 350 feet from the proposed project. Fire flow may be reduced upon construction of a four-hour wall, without openings, as per the adopted fire code. Construction of the area separation wall(s) is subject to review by the Fire Department.
  2. Approved access road(s) and hydrant(s) shall be provided once wood framing is available at site or provide an alternate means of water suppression subject to the approval of the Fire Department. Obtain permit and pay applicable fees prior to the installation. Contact the San Jose Fire Department's Fire Protection Systems Section at (408) 277-8756.
  3. All Fire Department access roads, water mains, and fire hydrants shall be installed and operational during construction in accordance with Article 87 of the Fire Code and all other applicable standards.
  4. All buildings under construction, three or more stories in height, shall have at least one standpipe for use during construction. Such standpipe shall be provided with fire department hose connections. Location(s) and numbers of standpipe(s) shall be reviewed and approved by the Fire Department.
  5. All fire department connections shall be located within 100 feet from a standard public fire hydrant. All alternate means of protections shall be reviewed by the Fire Department. The public fire hydrant(s) shall be located on the same frontage as all fire service connections.
  6. All buildings exceeding 6,200 square feet shall be provided with an approved automatic fire extinguishing system(s) as per the adopted San Jose Municipal Code. All alternate means of protection shall be reviewed by the Fire Department.
  7. Buildings shall be provided with automatic fire extinguishing systems. Systems serving more than 100 sprinklers shall be supervised by a remote alarm system.
  8. Group R, Division 1 occupancies shall be provided with a manual and automatic fire alarm system in apartment houses three or more stories in height or

containing 16 or more dwelling units, in hotels three or more stories in height or containing 20 or more guest rooms, and in congregate residences three or more stories in height or having an occupant load of 20 or more.

9. Every sleeping room below the fourth story shall have at least one operable window or door approved for emergency escape or rescue that shall open directly into a public street, public alley, yard, or exit court. Such windows or doors shall be in accordance with the adopted Building Code.

10. A bulb or hammerhead turn-around shall be provided at the end of all dead-end driveways over 150 feet in length.

- When submitting construction plans to the Building Department, **they shall include Planning's Development Permit File Number** printed on the construction plans.

- Provide two sets of reduced plans to the Fire Department once the above application has been approved by the Planning Department.

- **THE FOLLOWING GENERAL REQUIREMENTS ARE APPLICABLE TO THE SUBJECT APPLICATION:**

- A. Roads and/or driveways shall have a minimum clear width of 20 feet. Uniform Fire Code, Section 902.2.2.

- B. Lock boxes or non-case hardened locks are required at gated entries. Lock boxes are required for buildings four or more stories and are recommended for buildings over 10,000 square feet.

- C. Fire lanes shall be suitably marked with standard signs, painted curbs, and/or other markers as approved or authorized for use by the Chief. Fire lane markings shall be indicated on plans submitted through the building permit process for review and approval by the Fire Department. (Turn around does not comply)

- Each locked gate on site shall have an approved device with unlocking capability. Contact the Fire Department's Bureau of Fire Prevention at (408) 277-4656 for approved devices. Provide a manual means of opening gate if there is a power failure.

- Public (off-site) and private (on-site) fire hydrants shall be provided. All hydrants must meet the specifications for the City of San Jose's Fire Department. For hydrant locations please contact the San Jose Fire Department's Fire Protection Engineering Division at (408) 277-5357.

- All existing and new fire hydrants shall be at least 10 feet from all driveways.

- All structures shall be located wholly within 450 feet (road distance) of an accessible standard street hydrant.

- All dead-end streets or roads shall have a hydrant within 175 feet from the most remote end of the rear lot as per the Uniform Fire Code.
- A lighted directory showing addresses of all buildings shall be provided at the main entrance to the site.
- Street numbers shall be visible day and night from the nearest street, either by means of illumination or by the use of reflective materials.

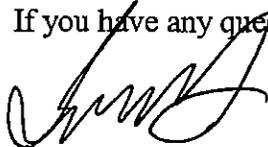
**IF APPLICABLE:**

- The Hazardous Materials process can be lengthy and complex. The applicant should contact the Hazardous Materials Division at (408) 277-4659 as soon as possible to initiate the process.

Use or storage of hazardous materials, liquids, gases and/or chemicals will be subject to meeting the requirements of the Hazardous Materials Storage Ordinance, the Toxic Gas Ordinance, the applicable sections of the San Jose Fire Code, and the National Fire Codes. Submit names and amount of any hazardous materials, if they are to be stored or used, to the Bureau of Fire Prevention for review and approval.

- We reserve the right to make comments at a future date.

If you have any questions regarding these items, please contact me at (408) 277-8754.



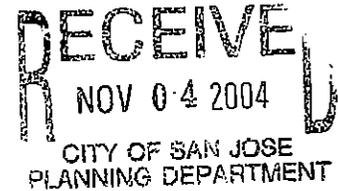
BY: Nadia Naum-Stoian, FPE  
Bureau of Fire Prevention  
San Jose Fire Department

Fire Site Memo to Planning Application

# MAYFAIR IMPROVEMENT INITIATIVE

October 26, 2004

Deanna Chow  
City of San Jose  
Planning Division  
801 N. First St. #400  
San Jose CA 95110



**RE: Planned Development Application #PDC 04-052**

Deanna,

On behalf of the Mayfair Improvement Initiative, I write to inform you that we do not support the current proposal by Core Development to develop the property at 1716 E. San Antonio St.

We appreciate the diligent efforts by Core Development to engage the community in a thoughtful discussion about the project; however, as the project is presently designed it provides no benefit for our community and in fact will exacerbate the housing crisis for the many working poor residents of our neighborhood. The addition of new high-density housing that is unaffordable to existing residents will not provide a real option for low-income residents. This will only result in yet another pocket of new development that will largely remain segregated from the rest of the neighborhood. This has been the pattern of private development in our neighborhood for years and has been detrimental to the existing community's efforts to build a healthy environment to raise our families. Furthermore, it appears that very little substantive action is required by Core to mitigate the traffic impact that the development will have on the community. Located directly across the street from San Antonio Elementary School, this is an unacceptable risk to children, parents and staff of the school.

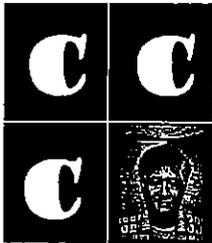
We understand the enormous challenge that is faced by developers that wish to build housing that is affordable to existing working-poor residents of neighborhoods like Mayfair. We also understand the need of the development industry to adhere to sound business practices; their bottom lines are crucial. Recognizing this challenge, the Mayfair Improvement Initiative offers our energies and resources to bring residents and allies together to work hand in hand with Core Development and the City of San Jose to seek creative new approaches to this project that will ensure mutual benefit for Core Development, the City of San Jose and the Mayfair community.

Sincerely,

A handwritten signature in black ink, appearing to read "Jaime Alvarado". The signature is fluid and cursive, with a large initial "J" and "A".

Jaime Alvarado  
Executive Director

C: Nora Campos, District 5 City of San Jose  
Paul Ring, Core Development  
Jose Vasquez, Ketzal Community Development Corporation



Comité Cesar  
Chávez  
Host Site:  
2050 Kammerer Ave, G-  
6  
San José, CA 95116

Mailing  
Address:  
SIREN  
778 First St.  
San José, CA  
95112

November 9, 2004

Deanna Chow  
City of San Jose  
Planning Division  
801 N. First St. #400  
San Jose CA 95110

**RE: Planned Development Application #PDC 04-052**

Deanna,

On behalf of the Comite Cesar Chavez, I write to inform you that we do not support the current proposal by Core Development to develop the property at 1716 E. San Antonio St.

We appreciate the diligent efforts by Core Development to engage the community in a thoughtful discussion about the project; however, as the project is presently designed it provides no benefit for our community and in fact will exacerbate the housing crisis for the many working poor residents of our neighborhood. The addition of new high-density housing that is unaffordable to existing residents will not provide a real option for low-income residents. This will only result in yet another pocket of new development that will largely remain segregated from the rest of the neighborhood. This has been the pattern of private development in our neighborhood for years and has been detrimental to the existing community's efforts to build a healthy environment to raise our families. Furthermore, it appears that very little substantive action is required by Core to mitigate the traffic impact that the development will have on the community. Located directly across the street from San Antonio Elementary School, this is an unacceptable risk to children, parents and staff of the school.

We understand the enormous challenge that is faced by developers that wish to build housing that is affordable to existing working-poor residents of neighborhoods like Mayfair. We also understand the need of the development industry to adhere to sound business practices; their bottom lines are crucial. Recognizing this challenge, the Comite Cesar Chavez offers our energies and resources to bring residents and allies together to work hand in hand with Core Development and the City of San Jose to seek creative new approaches to this project that will ensure mutual benefit for Core Development, the City of San Jose and the Mayfair community.

Sincerely,

Lucy Hernandez  
Comite Cesar Chavez

Cc: Nora Campos, District 5 City of San Jose  
Paul Ring, Core Deveopment  
Jose Vasquez, Ketzal Community Development Corporation



OCT 05 2004

October 5, 2004

Deanna Chow  
Planning, Building and Code Enforcement, Planning Division  
City of San Jose  
801 North First St., Room 400  
San Jose, CA 95110

**RE: Planned Development Zoning File No. PDC 04-052  
San Antonio Place, San Jose, CA**

Dear Deanna,

Attached is the response to your July 9, 2004, comment letter, and the subsequent conversations with the Planning Department on the above mentioned project. San Antonio Place presents a unique opportunity for ownership housing in the Mayfair area and I appreciate the City's thoughts and effort during its review.

Following is an itemized response to each department's comments.

Planning Department, dated July 9, 2004:

**Completeness of Application:**

- Item 1. (No item 1)
- Item 2. Updated Preliminary Title Report enclosed.
- Item 3. Plans have been updated to show:
  - Setback Dimensions
  - Street labels
  - Proposed easements (note this is a single lot development)
  - Existing neighboring buildings
  - Existing onsite building
  - Public and Private open space areas, with summary table
  - Parking with summary table

**Environmental Review:**

- Item 1. Noise report completed and enclosed.
  - Item 2. BMP practices are outlined on the plans.
- A draft initial study has been prepared for your review and is enclosed.

**General Plan Consistency:**

As discussed during meetings with Planning Staff, Core believes the San Antonio project is an exemplary infill development opportunity and meets the criteria for the Two Acre rule.

**Public Outreach**

An initial presentation of the project was made to the Mayfair NAC on May 27, 2004. A follow up meeting is being scheduled to occur at the next NAC meeting – currently scheduled for October 28, 2004.

**Project Design Comments***Site Design*

- The architectural treatment and landscaping along the entry drive has been revised to improve the drive entry experience and minimize the impact of the 4 garage entries facing east.
- The location of the open space and the 4 units has been revised to improve the interface for all of the units.

*Setback and Perimeter* - Setbacks have been revised, and clearly shown and labeled, based on discussions with Planning staff.

*Streets* - Street widths have been revised based on discussions with Planning staff. The minimum widths provided provide for adequate maneuvering of homeowner, trash/recycling, and emergency vehicles.

*Parking Analysis* - A table of required and provided parking is included on the drawings.

*Open Space* - A table of required and provided, private and public open space is include on the drawings. Across the street, the San Antonio Elementary School facilities are open for public use during non-school hours.

*Height* - Building height is indicated on the plans

*Third Floor Plan* - The layout and area of the third floor of unit E has been revised and is now less than 500sf.

*Emergency Vehicle Access* – A preliminary review of the fire truck accessibility was done with Nadia Naum-Stoian, from the Fire Department.

*Affordability* – Affordability requirements and levels are indicated.

*Utility Structures* – Detailed utility structure locations will be identified at the PD Permit stage.

**Comments from Other Departments****Public Works Memorandum, dated 6/17/04**

1. Additional fee payment will occur prior to the PC hearing
2. a. Positive drainage has been provided  
b. Bio swale alternatives are now shown on plans
3. Construction agreement to occur prior to approval of Tentative Map
4. Required permits will be obtained. A geotechnical report, including a liquefaction analysis has been prepared and is enclosed.
5. BMP's are shown on plans
6. HMP requirements reviewed.
7. Sewage connection fees will be paid prior to obtaining building permit.
8. Proposed street improvements will be reflected on plans at PD Permit stage.
9. Project conforms with neighborhood improvement plan.
10. Electrical requirements to be determined during PD Permit stage.
11. Landscaping and street trees are shown on plans.
12. Street design complies with CID Ordinance. Onsite improvement plans will be developed during the PD Permit phase.

**Public Works, Department of Transportation, Email dated July 15,** from Luke Vong, via Deanna Chow., requesting \$10,000 contribution towards installation of an uplit crosswalk on San Antonio.

- This request will be accommodated, with payment of contribution to occur prior to issuance of Building Permit.

**Police (CPTED) Memorandum, dated June 23, 2004**

- Proposed fencing is shown on architectural plans.
- Adequate lighting will be provided for pedestrians, vehicles, and unit addresses; details will be developed during PD Permit and Building Permit submittals.

**Environmental Services Department Memorandum, dated June 17, 2004** - The current design accommodates the noted conditions.

**Fire Department Memorandum, Dated 6/17/04** - The current design accommodates the noted conditions.

Again, thank you for your review and comments. If you have any questions on the above items, please don't hesitate to contact me at 408-292-7841 or via email at [pring@coredevelopmentinc.com](mailto:pring@coredevelopmentinc.com).

Sincerely,



Paul Ring

Enclosures:

- 5 Sets of Full Size Plans
- 1 Set of 11x17 Plans
- 2 Copies of Soils Report
- 2 Copies of Noise Report
- 2 Copies of Preliminary Title Report
- 1 Copy of Phase 1 Environmental Report
- 1 Copy of Draft Initial Study

# SAN ANTONIO PLACE

\*RESIDENTIAL COMMUNITY\*

## VICINITY MAP

Project Location



**Anderson Architects Inc.**  
 kander@andarch.com  
 Cell 408.292.3462  
 12201 Saratoga-Sunnyvale Rd.  
 Suite C Saratoga, CA 95070  
 www.andarch.com

**Kurt B. Anderson, AIA**  
 Principal  
 Tel. 408.446.1269  
 Fax. 408.446.3482

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Resale, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with ANDERSON ARCHITECTS INC. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**CORE DEVELOPMENT**  
 470 South Market St.  
 San Jose, CA 95113

Project:  
**SAN ANTONIO PLACE**

"Townhomes"  
 1716 E. San Antonio St.  
 San Jose, CA

PLANNING DEPARTMENT  PRELIMINARY (NOT FOR CONSTRUCTION)  DESIGN REVIEW SUBMITTAL  BUILDING DEPARTMENT  PLAN CHECK SUBMITTAL  APPROVED FOR CONSTRUCTION

### TABLE OF CONTENTS

- 1.0 TITLE SHEET
- 2.0 LAND-USE PLAN
- 3.0 CONCEPTUAL SITE PLAN
- 4.0 CONCEPTUAL GRADING AND DRAINAGE PLAN
- 4.1 CROSS SECTIONS AND PROJECT DETAILS
- 4.2 BEST MANAGEMENT PRACTICES - BMPs
- 4.3 NON-STORM WATER POLLUTION BMPs
- 5.0 CONCEPTUAL TYPICAL UNIT FLOOR PLANS
- 5.1 CONCEPTUAL EXTERIOR ELEVATIONS-BLDG. 1-B
- 6.0 PRELIMINARY LANDSCAPE PLAN

### CONSULTANTS

**OWNER:** CORE DEVELOPMENT  
 470 SOUTH MARKET ST.  
 SAN JOSE, CA 95113  
 TEL: (408) 292-1841  
 FAX: (408) 292-0339

**ARCHITECTURAL:** ANDERSON ARCHITECTS INC.  
 KURT B. ANDERSON, AIA  
 12201 SARATOGA-SUNNYVALE RD.  
 SUITE C SARATOGA, CA 95070  
 TEL: (408) 446-1269  
 FAX: (408) 446-3482

**LANDSCAPE ARCHITECT:** HLD Group Landscape Architecture  
 555 N. SANTA CRUZ AVE.  
 LOS GATOS, CA 95030  
 TEL: (408) 354-9509  
 FAX: (408) 359-0262

**CIVIL ENGINEER:** BMP COMPANY  
 121 PARK AVE., SUITE 208  
 SAN JOSE, CA 95126  
 TEL: (408) 412-5262  
 FAX: (408) 281-8630

### PROJECT DATA

**APN:** 481-26-083  
**SITE SIZE:** 47,873.85 SQ. FT. (1.1 ACRE)  
**ZONING:** R2  
**CURRENT USE:** VACANT COMMUNITY SERVICES BUILDING  
**PROPOSED USE:** 24 TOWNHOMES  
**GENERAL PLAN:** MED DENSITY 8-16 UNITS / ACRE  
**DENSITY SHOWING:** 21.8  
**PROPOSED SETBACKS:**  
 FRONT: 15'-0"  
 SIDE: 15'-0" AT 3RD STORY  
 10'-0" AT 1ST AND 2ND STORY  
 REAR: 20'-0" AT 2ND AND 3RD STORY  
 (EXCLUDING BALCONIES)  
 13'-0" AT 1ST STORY

**AFFORDABLE UNITS:**  
**REQUIRED:** 20% x 24 UNITS = 4.8 UNITS  
**PROVIDED:** 5 UNITS

TOTAL ACRES	1.1 GROSS	1.1 NET
NO. OF DWELLING UNITS	24 TOWNHOMES	
PARKING AND DRIVEWAY	19,286 SQ. FT.	31.9 %
BUILDING COVERAGE	19,060 SQ. FT.	39.8 %
LANDSCAPE COVERAGE	13,919 SQ. FT.	28.9 %
DENSITY	22 UNITS PER ACRES	

### DEVELOPMENT SCHEDULE

JUNE '04	PD REZONING SUBMITTAL
OCT '04	PD REZONING RESUBMITTAL
NOV '04	PD PERMIT & TENTATIVE MAP SUBMITTAL
FEB '05	BUILDING PERMIT SUBMITTAL
APRIL '05	CONSTRUCTION START
SEPT '06	CONSTRUCTION COMPLETE

Stamp:

Client Revisions		
No	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

City Revisions		
No	Description	Date
1	PD ZONING RESUBMITTAL	10/05/04
2		
3		
4		
5		
6		
7		
8		

Date: 06/02/04  
 Scale: N.T.S.  
 Drawn By: ML  
 Checked By: KA  
 Sheet Title:

## TITLE SHEET

Sheet No.

1.0

File: D:/ Job: San Antonio

LAND USE NOTES:  
TO BE INSERTED PRIOR TO SECOND CITY COUNCIL HEARING

LAND USE NOTES:  
TO BE INSERTED PRIOR TO SECOND CITY COUNCIL HEARING

**Anderson**  
Architects INC.

landerson@andarchinc.com  
Call 408.202.5462

Kurt B. Anderson, AIA  
Principal

12201 Saratoga-Sunnyvale Rd.  
Suite C Saratoga, CA 95070

Tel. 408.446.1269  
Fax. 408.446.3462

www.andarchinc.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with ANDERSON ARCHITECTS INC. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**CORE DEVELOPMENT**

470 South Market St.  
San Jose, CA 95113

Project:  
**San Antonio Project**

"Townhomes"  
1716 E. San Antonio St.  
San Jose, CA

Stamp:

Client Revisions

No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

City Revisions

No.	Description	Date
1	PD Zoning Resubmittal	10/05/04
2	PD Zoning Final	11/09/04
3		
4		
5		
6		
7		
8		

Date: 06/02/04

Scale: 1"=20'-0"

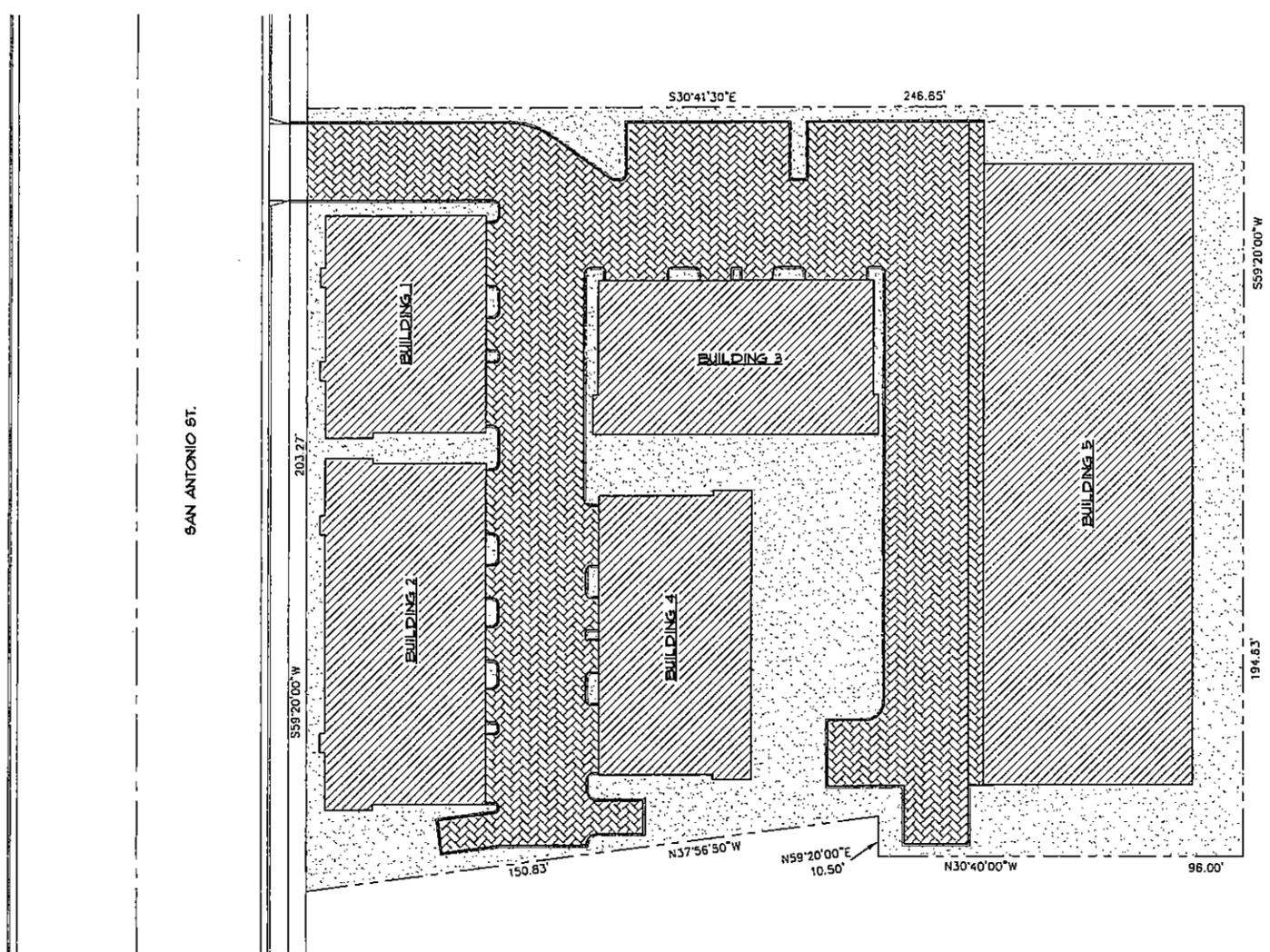
Drawn By: ML

Checked By: KA

Sheet Title:  
**Conceptual  
Land Use  
Plan**

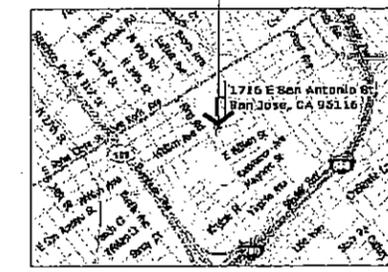
Sheet No.:  
**2.0**

File: Job: San Antonio



GENERAL DEVELOPMENT PLAN

Project Location



VICINITY MAP  
N.T.S.

SYMBOL	LAND USE CATEGORY	AREA	PERCENT	DENSITY
	SINGLE FAMILY ATTACHED RESIDENTIAL	19,060 SQ. FT.	39.6%	24 TOWN-HOMES
	LANDSCAPE AREA	19,919 SQ. FT.	26.5%	N/A
	DRIVEWAY AND PARKING	15,286 SQ. FT.	31.9%	N/A

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to said use. Retain, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with ANDERSON ARCHITECTS INC. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**CORE DEVELOPMENT**  
 470 South Market St.  
 San Jose, CA 95113

Project:  
**SAN ANTONIO PLACE**  
 "Townhomes"  
 1716 San Antonio St.  
 San Jose, CA

Stamp:

Client Revisions		
No	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

City Revisions		
No	Description	Date
1	PLANNING COMMENTS	09/14/04
2	PD ZONING RESUBMITTAL	10/05/04
3		
4		
5		
6		
7		
8		

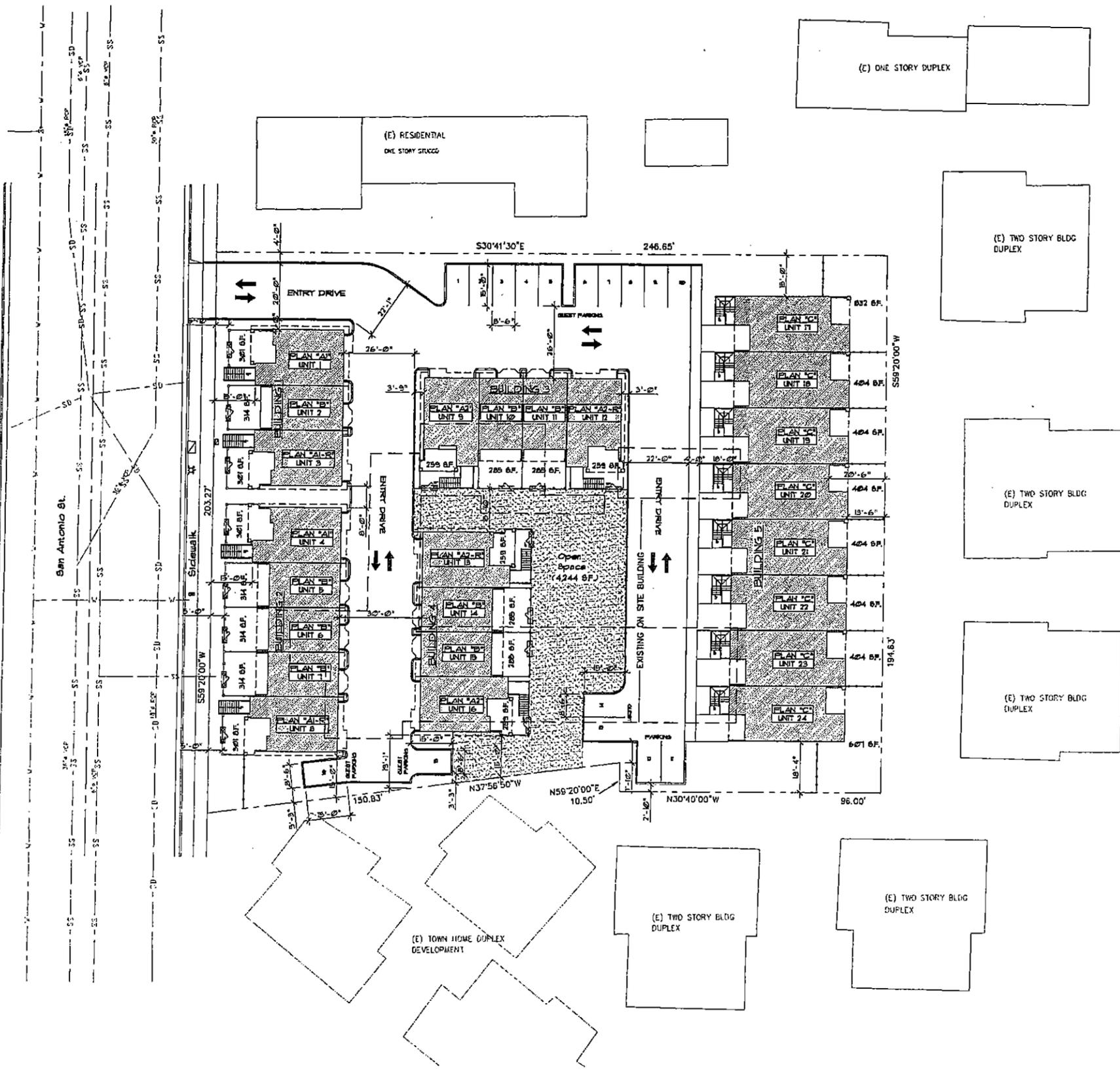
Date: 06/02/04  
 Scale: 1"=20'-0"  
 Drawn By: ML  
 Checked By: KA

Sheet Title:  
**Conceptual Site Plan**

Sheet No

**3.0**

File: Job: San Antonio



OPEN SPACE ANALYSIS	REQUIRED	PROVIDED
ROWHOUSES PRIVATE SPACE	400 SF.	404 SF.- 892 SF.
GARDEN TOWNHOMES PRIVATE SPACE	500 SF.	284 SF.- 514 SF.
COMMON OPEN SPACE	26x150 = 3,900 SF.	4,244 SF.

PARKING ANALYSIS	REQUIRED	PROVIDED
ROWHOUSES (TANDEMS)	5x2.8 = 22.4 STALLS	16 GARAGE 4 APRON
GARDEN TOWNHOMES (3 BR, 2 CAR GARAGE)	5x2.6 = 20.5 STALLS	16 GARAGE STALLS
GARDEN TOWNHOMES (2 BR, 1 CAR GARAGE)	5x1.0 = 16 STALLS	5 GARAGE STALLS
ON SITE		16 SPACES
TOTAL	54.2 STALLS	60 SPACES

**1 Site Plan**  
 1"=20'-0"

**LEGEND**

DESCRIPTION	TO BE CONST.	EXISTING
PROPERTY LINE	---	---
LIMITS OF WORK OR BOUNDARY	---	---
CENTERLINE	---	---
CURB AND GUTTER	---	---
SIDEWALK	---	---
STANDARD CITY BARRICADE	---	---
STANDARD HOODED INLET	▲ (L) (S)	▲ (L) (S)
ALTERNATE DRAINAGE INLETS (TYPE AS NOTED)	▲ (L) (S)	▲ (L) (S)
CITY SURVEY MONUMENT	---	---
FIRE HYDRANTS	---	---
ELECTROLER	---	---
PULL BOX	---	---
P & E SERVICE POINT	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
SANITARY MANHOLE	---	---
STORM MANHOLE	---	---
OVERLAND RELEASE	---	---
REMOVE TREE	---	---

**ABBREVIATIONS**

AB	AGGREGATE BASE	LP	LOW POINT
AC	ASPHALT CONCRETE	LOL	LAYOUT LINE
AD	AREA DRAIN	MAX	MAXIMUM
BC	BEGIN CURVE	MH	MANHOLE
C	CONCRETE	MIN	MINIMUM
C.L.	CHAIN LINK	(N)	NEW
CONC	CONCRETE	O.G.	ORIGINAL GROUND
C&G	CURB AND GUTTER	OGAC	OPEN GRADED AC PAVEMENT
CSJ	CITY OF SAN JOSE	P	PAVEMENT
CT	CALTRANS	PCC	PORTLAND CEMENT CONCRETE
DIA	DIAMETER	PVC	POLYVINYL CHLORIDE
DIP	DUCTILE IRON PIPE	P.S.D.E.	PRIVATE STORM DRAIN EASEMENT
DWY	DRIVEWAY	P.U.E.	PUBLIC UTILITIES EASEMENTS
EC	END CURVE	R	RADIUS
EXIST.(E)	EXISTING	RCP	REINFORCED CONCRETE PIPE
FC	FACE OF CURB	R/W	RIGHT-OF-WAY
FG	FINISH GRADE	STA	STATION
FF	FINISH FLOOR	STD	STANDARD
FH	FIRE HYDRANT	SCVWD	SANTA CLARA VALLEY WATER DISTRICT
FL	FLOW LINE	SD	STORM DRAIN
G	GRADE	SS	SANITARY SEWER
GB	GRADE BREAK	S/W	SIDEWALK
HP	HIGH POINT	TC	TOP OF THE CURB
INV	INVERT	TG	TOP OF GRATE
		TYP	TYPICAL

- SURVEY NOTES**
- Basis of elevation is the City of San Jose bench mark reference No. 446, elevation 96.98.
  - Basis of bearings - the bearing between monuments on E. San Antonio St. was taken as N 59°20'00" E, parcel map filed on April 14, 1977, in book 383, at page 17, Santa Clara County Records.

- SITE GRADING AND DRAINAGE NOTES**
- All grading is subject to observation by the City. Contractor shall notify the City of San Jose at least 48 hours before start of any grading.
  - All debris, vegetation and organically contaminated soils shall be cleared from the building areas and removed from the site.
  - Fill material may include organic-free soils available at the site or imported materials.
  - Fills shall be placed on level benches in lifts no greater than 6 inches and be compacted per soils report recommendations.
  - Permanent cut and fill slopes shall not be steeper than 2:1.
  - Ground surface adjacent to the buildings shall slope at least 2% away from the foundation.
  - Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
  - All roof downspouts shall be connected to solid drain lines and connected to pop-up emitters or inlets away from the foundation. They can also discharge thru curbs to paved surfaces draining away from the foundation.
  - Storm drain lines shall consist of solid PVC-SDR35 minimum or better.
  - Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

**STORM WATER MANAGEMENT NOTES**

This project is being designed to comply with the Regional Water Quality Control Board's C-3 requirements to control runoff from new developments.

This project proposes to maximize the pervious areas and self-retaining discharge areas as well as incorporating a number of temporary and permanent BMPs into the project, see sheets C-3 and C-4. Specifically, the following are some of the best management practices identified in the project:

- PERVIOUS AREAS, includes landscaping areas, turf, permeable pavement (Site Streets and Driveways), etc.
- Runoff from impervious areas (roofs, walks, patios, etc) are routed to planter boxes, retention areas, landscaping areas, dry wells, etc.
- RETENTION AREAS, temporary storage of storm runoff which is used to control discharge rates. Set drop inlet required for high flows above flow line of concave area.
- DRY WELLS, allow much of the runoff to return to the soil and overall runoff volume is reduced.
- CURB OPENING, collects runoff from the paved areas into a surface infiltration system. The curb opening includes boulders set in soil to dissipate flow velocities and minimize erosion.

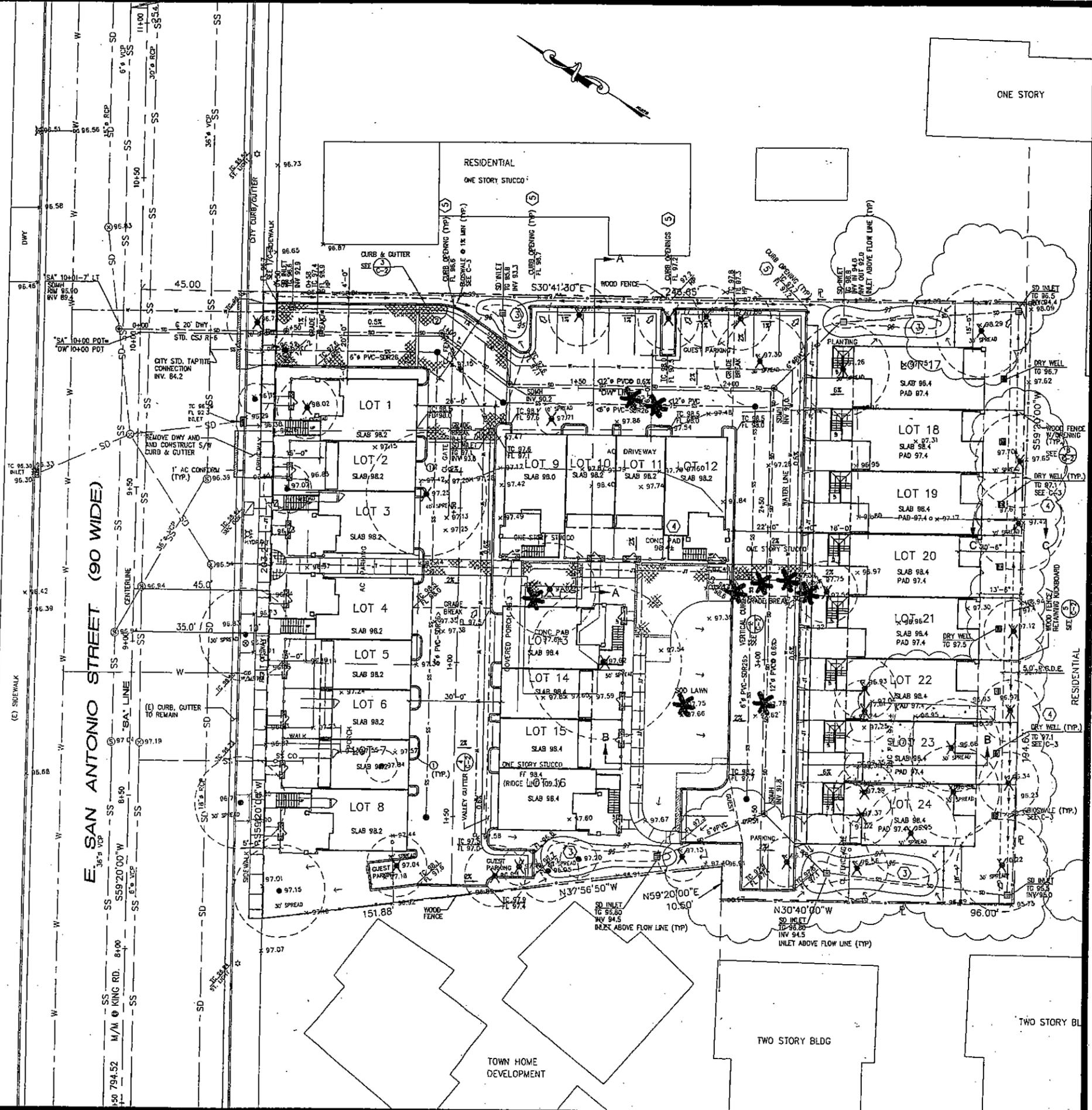
**EARTHWORK QUANTITIES**

**CURVE ALIGNMENT DATA**

Curve No.	Radius	Delta	Length
①	2.0'	90°00'00"	3.14'
②	12.0'	34°58'04"	12.20'

	CUT	FILL
CLEARING & GRUBBING	150 CY	
NARROW STREET/COURTS	300 CY	
LANDSCAPING		200 CY
EXPORT	250 CY	

**E. SAN ANTONIO STREET (90 WIDE)**



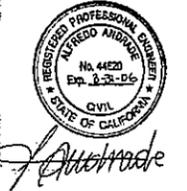
**SME COMPANY**  
**CIVIL ENGINEER**

1211 PARK AVENUE, SUITE 202  
 SAN JOSE, CA 95126  
 TEL: (408) 314-4808  
 TEL: (408) 472-5022  
 FAX: (408) 287-8630  
 E-MAIL: SMPENGINEERS@YAHOO.COM

COPYRIGHT © 2004  
 SMP COMPANY  
 CIVIL ENGINEERS

**E. SAN ANTONIO DEVELOPMENT**  
**1716 E. SAN ANTONIO ST.**  
**SAN JOSE, CALIFORNIA**

CONCEPTUAL GRADING AND DRAINAGE PLAN



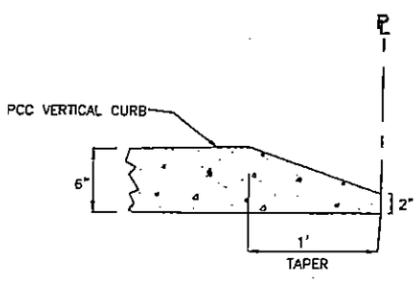
Date: **OCTOBER 5, 2004**  
 Scale: **1" = 16'**  
 Designed by: **A.A.**  
 Drawn by: **M.A.**  
 Job #: **2446**  
 Sheet:

\\sme\inet\SDR\PRJ\SW ANTONIO\CL\11 plans\Submittal\210-1.dwg Tue Oct 05 11:38:32 2004

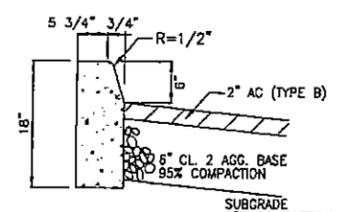


Revisions:

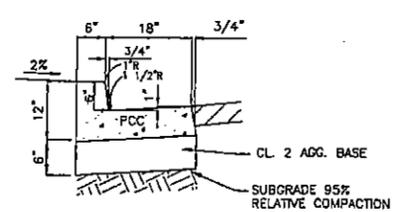
Date: OCTOBER 5, 2004  
 Scale:  
 Designed by: A.A.  
 Drawn by: M.A.  
 Job #: 2446  
 Sheet:



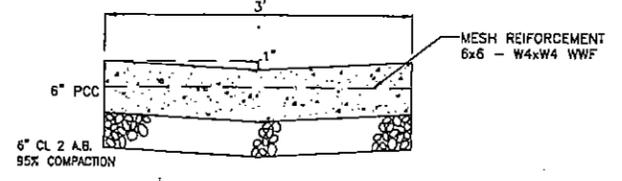
① CURB TAPER DETAIL  
 N.T.S.



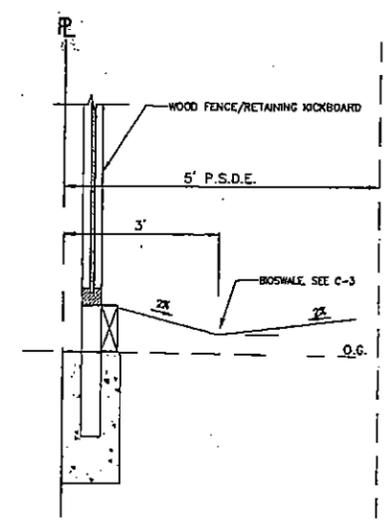
② VERTICAL CURB  
 N.T.S.



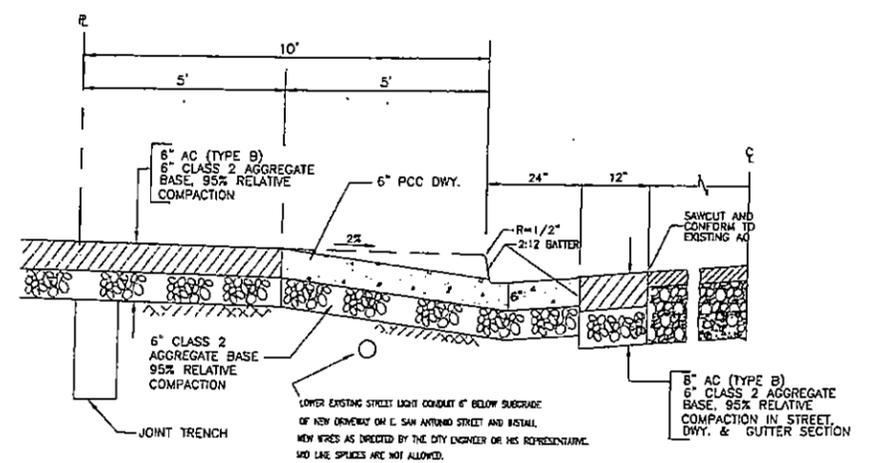
③ SITE CURB & GUTTER  
 N.T.S.



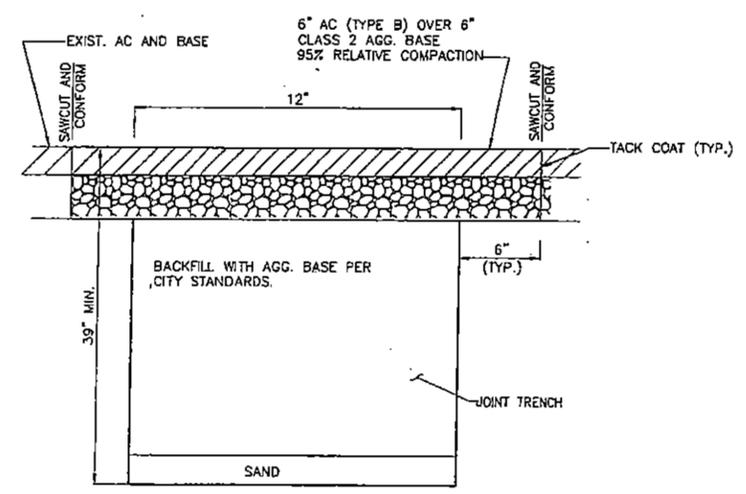
④ PCC VALLEY GUTTER  
 N.T.S.



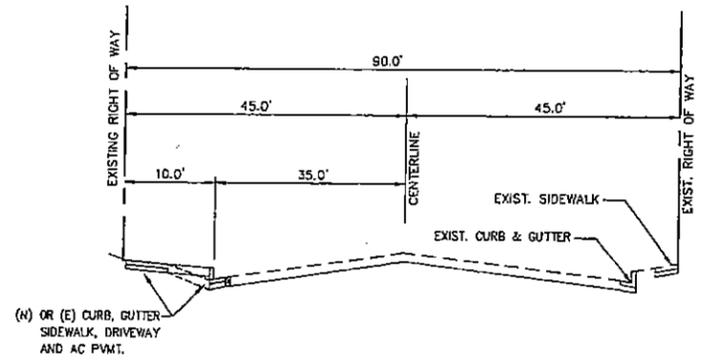
⑤ SECTION C-C  
 N.T.S.



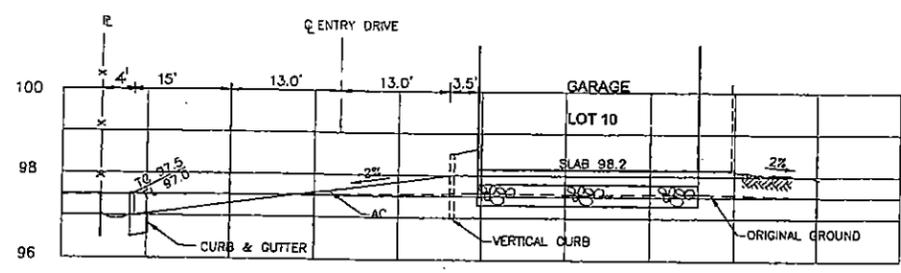
⑥ ENTRY DRIVE CROSS SECTION  
 N.T.S.



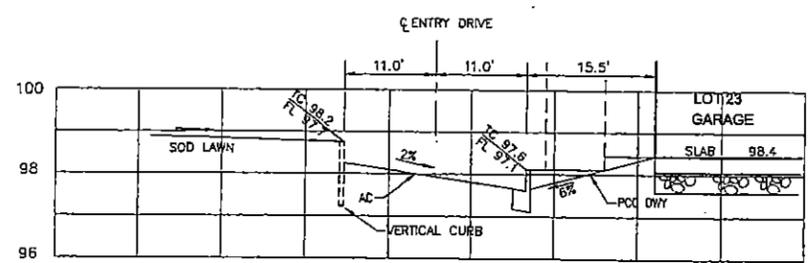
⑦ EXISTING STREET RESTORATION  
 JOINT TRENCH @ SAN ANTONIO ST. N.T.S.



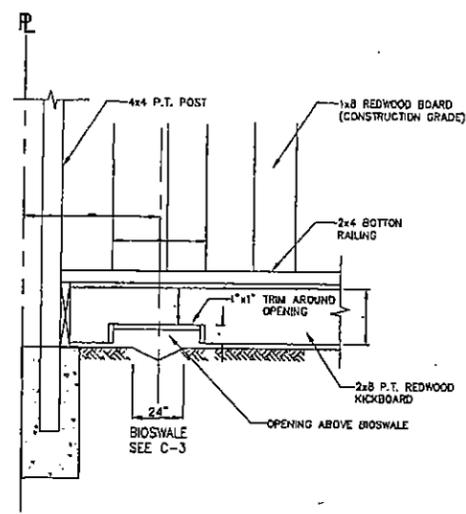
SAN ANTONIO ST. TYPICAL SECTION  
 N.T.S.



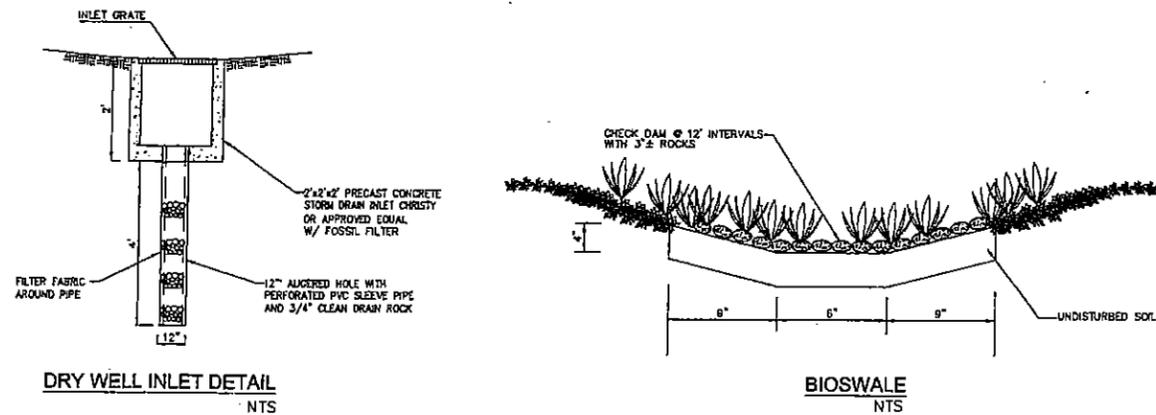
SECTION A-A  
 Scale: H 1"=10'  
 V 1"=2'



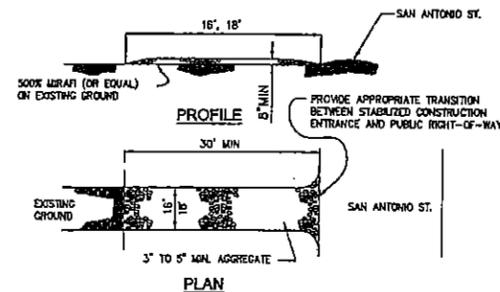
SECTION B-B  
 Scale: H 1"=10'  
 V 1"=2'



⑧ FENCE OPENING @ SWALE  
 N.T.S.

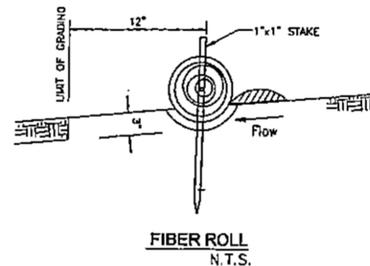


**PERMANENT BMPs**



**Maintenance**  
 - The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public right-of-way. This may require periodic top dressing with additional straw as conditions demand, and repair and/or clean out any measures used to trap sediment.  
 - All sediment spilled, dropped, washed, or tracked onto public right-of-way shall be removed immediately.  
 - When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. This shall be done at an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.

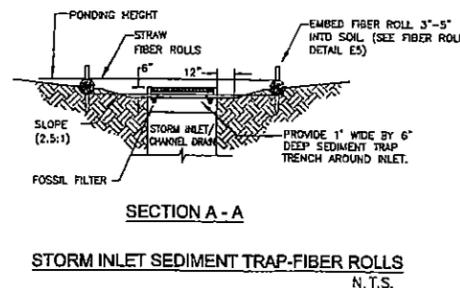
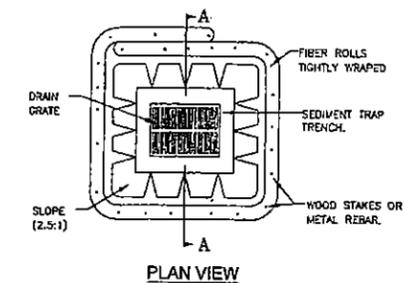
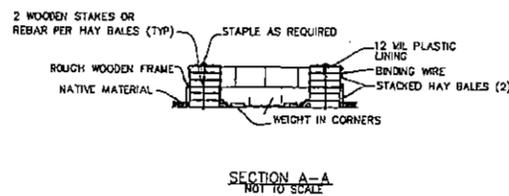
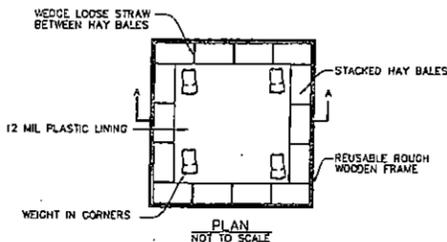
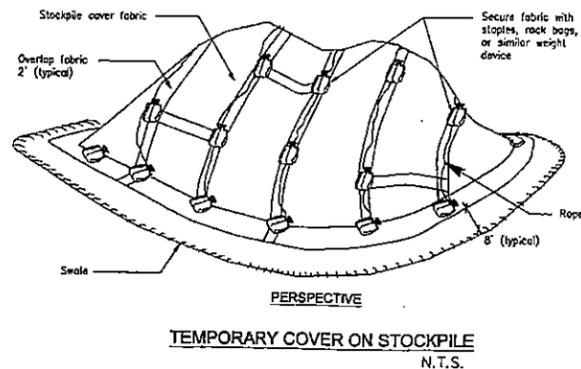
**STABILIZED CONSTRUCTION ENTRANCE  
 (TO BE MAINTAINED)**



**FIBER ROLL NOTES**  
 1. Place fiber roll in key trench 3\"/>

- EROSION AND SEDIMENT CONTROL NOTES AND MEASURES**
- The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 15 to April 15. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
  - This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
  - Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrances.
  - Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
  - This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
  - This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
  - Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.
  - Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediately remedy shall occur.
  - Sanitary facilities shall be maintained on the site.
  - During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.
  - Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
  - Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
  - With the approval of the city inspector, erosion and sediment controls may be removed after areas above them have been stabilized.
  - The contractor shall implement year-round Best Management Practices, regarding the discharge of non-storm water runoff into the drainage system.

- MAINTENANCE NOTES**
- Maintenance is to be performed as follows:
    - Repair damages caused by soil erosion or construction at the end of each working day.
    - Swales shall be inspected periodically and maintained as needed.
    - Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
    - Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
    - Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
    - Rills and gullies must be repaired.
  - All existing drainage inlets on San Antonio St. around the project site shall be protected with sand bags during construction. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.



- NOTES:**
- PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 6\"/>
  - FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3\"/>
  - THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
  - FOSSAL FILTERS SHALL BE INCORPORATED IN ALL CATCH BASINS AND FIELD INLETS 24\"/>

\\sac\share\GIS\GIS\PROJ\SWH\_MITR\011111\plans\submit\210-3.dwg Tue Oct 05 11:50:57 2004

**TEMPORARY BMPs**

**SMP COMPANY**  
 CIVIL ENGINEERING

1211 PARK AVENUE, SUITE 20  
 SAN JOSE CA, 95128  
 TEL: (408) 314-4800  
 TEL: (408) 472-5092  
 FAX: (408) 287-8630  
 E-MAIL: SMPENGINEERS@YAHOO.COM

OWNER:  
 E. SAN ANTONIO DEVELOPMENT  
 1716 E. SAN ANTONIO ST.  
 SAN JOSE, CALIFORNIA

BEST MANAGEMENT PRACTICES - BMPs

COPYRIGHT © 2004  
 SMP COMPANY  
 CIVIL ENGINEERS

REGISTERED PROFESSIONAL ENGINEER  
 ALFREDO ANDRADA  
 No. 44620  
 Exp. 2-21-06  
 CIVIL  
 STATE OF CALIFORNIA

Date: OCTOBER 5, 2004  
 Scale: AS SHOWN  
 Designed by: A.A.  
 Drawn by: M.A.  
 Job #: 2446



# CLEAN BAY BLUEPRINT

## Stormwater Pollution Prevention

Stormwater pollution is a major source of water pollution in California. It can cause declines in fisheries, disrupt habitats, and limit water recreation activities. Even more importantly, stormwater pollution poses a serious threat to the overall health of the ecosystem.

Common sources of pollutants from construction sites include: sediments from soil erosion; construction materials, stockpiles and waste (e.g., paint, solvents, concrete, drywall); and spilled oil, fuel, and other fluids from construction vehicles and heavy equipment.

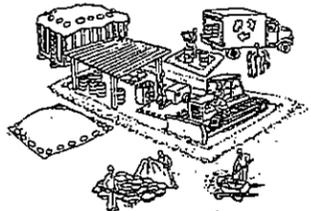
In San Jose, the storm drain system consists of gutters, storm drains, underground pipes, open channels, culverts and creeks. Storm drain systems are designed to drain directly to the Bay with no treatment.

San Jose and the other municipalities in the Bay Area are required by the Federal Clean Water Act to develop stormwater management programs that include requirements

for construction activities. Your construction project will need to comply with local municipal requirements. If your construction activity will disturb five acres or more, you must also obtain coverage under the General Construction Activity Permit issued by the State Water Resources Control Board.

This Clean Bay Blueprint is an introductory guide to stormwater quality control on construction sites. It contains several principles and techniques that you can use to help prevent stormwater pollution. The Bay Area Stormwater Management Agencies Association (BASMAA) and the City of San Jose have developed these guidelines as a resource for all general contractors, home builders, and subcontractors working on construction sites.

Train your employees and inform subcontractors about the stormwater requirements and their own responsibilities. The property owner and the contractor are responsible for all activities at your site, including activities by your subcontractors and employees.



## Material Storage and Spill Clean Up

- ✓ Cover exposed piles of soil, construction materials and wastes with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- ✓ Build berms around storage areas to prevent contact with runoff.
- ✓ Store containers of paints, chemicals, solvents, and other hazardous materials in accordance with secondary containment regulations and under cover during rainy periods.
- ✓ Cover open dumpsters with plastic sheeting or a tarp during rainy weather. Secure the sheeting or tarp around the outside of the dumpster. If your dumpster has a cover, close it.
- ✓ If a dumpster is leaking, contain and collect leaking material. Return the dumpster to the leasing company for repair or exchange.
- ✓ Sweep up spilled dry materials (for example cement, mortar, or fertilizer) immediately. Never attempt to "wash them away" with water, or bury them. Use only minimal water for dust control.
- ✓ Clean up liquid spills on paved or impermeable surfaces using "dry" cleanup methods (for example absorbent materials like cat litter, sand or rags). Have spill cleanup kits available.
- ✓ Clean up spills on dirt areas by digging up and properly disposing of the contaminated soil.

Report significant spills to the appropriate spill response agencies immediately.



## Earth-Moving Activities and Erosion Control

- ✓ Avoid contaminating clean runoff from areas adjacent to your site by using berms and/or temporary or permanent drainage ditches to divert water flow around the site. Reduce stormwater runoff velocities by constructing temporary check dams and/or berms, where appropriate.
- ✓ Construct diversion dikes and drainage swales to channel runoff around the site.
- ✓ Use berms and drainage ditches to divert runoff around exposed areas. Place diversion ditches across the top of cut slopes.
- ✓ Plant vegetation on exposed slopes. Where replanting is not feasible, cover with erosion control blankets (for example mulch netting or matting of jute, straw, glass fiber or excelsior).
- ✓ Cover stockpiled soil and landscaping materials with secured plastic sheeting and divert runoff around them. Keep exposed stockpiles off of paved roadways, sidewalks and driveways.
- ✓ Protect drainage courses, creeks, or catch basins with backup measures such as silt fences and/or temporary drainage swales.
- ✓ Conduct routine inspections of all erosion and sediment control measures and repair when necessary. This is particularly critical before, during and immediately after rainstorms.
- ✓ Protect storm drain inlets from sediment-laden runoff. Storm drain inlet protection devices include barriers of burlap bags filled with drain rock, filter fabric fences, block and gravel filters, and excavated drop inlet sediment traps.
- ✓ Limit on-site construction routes and embankment construction entrances. Prevent construction vehicles from tracking soil onto adjacent streets.
- ✓ Dry-sweep, where possible, to clean sediments from streets, driveways and paved areas on construction sites. If water must be used to flush pavement, collect runoff to settle out sediments and protect storm drain inlets.
- ✓ Prevent all debris, construction materials, soil, rock, etc. from being introduced into any storm drain or sanitary sewer structures.



## Roadwork and Pavement Construction

- ✓ Apply concrete, asphalt, and seal coat during dry weather to prevent contaminants from contacting stormwater runoff.
- ✓ Cover storm drain inlets and manholes when paving or applying seal coat, slurry seal, fog seal, etc.
- ✓ Always park paving machines over drip pans or absorbent materials, since they tend to drip continuously. Do not spray diesel fuel to prevent asphalt build up on equipment. Use alternatives, such as citrus-based products.
- ✓ Use as little water as possible when making saw-cuts in pavement. Contain the slurry by placing sandbags, or temporary berms as close to the saw-cuts as possible. Vacuum "wet", or allow slurry to dry and shovel.
- ✓ Wash down exposed aggregate concrete only when the wash water can:
  - (1) Flow onto a dirt area;
  - (2) Drain onto a bermed surface from which it can be pumped and disposed of properly; or
  - (3) Be vacuumed from a catchment created by blocking a storm drain inlet. If necessary, divert runoff with temporary berms. Make sure runoff does not reach gutters or storm drains.
- ✓ Never wash sweepings from exposed aggregate concrete into a street or storm drain. Collect and return to aggregate base stockpile, or dispose with trash.



Update pollution prevention measures as construction phases change or are completed.

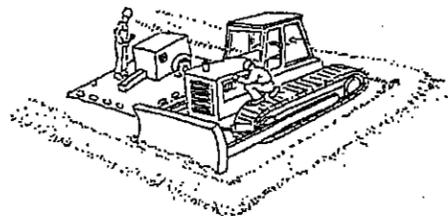
## Useful Phone Numbers

Spill Response Agencies	
Dial 911 for Hazardous Materials Spills	
Santa Clara Valley Water District Environmental Compliance Division	(408) 927-0710
Governor's Office of Emergency Services Warning Center	(800) 852-7550 (24 hours)
City of San Jose Environmental Services Department Environmental Enforcement Division	(408) 945-3000
Local Recyclers and Disposal Services	
Santa Clara Countywide Recycling Hotline Integrated Waste Management Division	1(800) 533-8414
Local Pollution Control Agencies	
Santa Clara County Department of Environmental Health Hazardous Materials Compliance Division	(408) 299-6930
Santa Clara Valley Water District	(408) 927-0710
San Jose/Santa Clara Water Pollution Control Plant	(408) 945-5300
City of San Jose	
<a href="http://www.ci.san-jose.ca.us">http://www.ci.san-jose.ca.us</a>	
Department of Planning, Building and Code Enforcement	(408) 277-4576
Department of Public Works Grading Permits and Inspections	(408) 277-5161

For more information on Stormwater requirements, call the State Water Resources Control Board's Stormwater Information Line at (916) 637-1146, or San Jose's Environmental Enforcement Division at (408) 945-3000.

## Vehicle and Equipment Maintenance

- ✓ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
- ✓ Designate specific areas of the construction site, well away from creeks or storm drain inlets, for auto and equipment parking and routine vehicle and equipment maintenance.
- ✓ Perform major maintenance, repair jobs and vehicle and equipment washing off-site when feasible, or in designated and controlled areas on-site.
- ✓ Use drip pans or drop cloths to catch drips and spills if you must drain and replace motor oil, radiator coolant, or other fluids on-site. Collect all spent fluids, store in labeled separate containers, and recycle whenever possible. Keep all fuels, oils and lubricants within secondary containment.
- ✓ Refuel vehicles and heavy equipment in one designated location on the site and clean up spills immediately.
- ✓ Wash vehicles at an appropriate off-site facility. If equipment must be washed on-site, just use water and prevent water from entering the storm drain. Do not use soaps, solvents, degreasers, or steam cleaning equipment. Direct wash water to an area that will not flow to any storm drain inlets. The waste wash water can evaporate and/or infiltrate within this designated area.



## Paints, Solvents and Adhesives

- ✓ Sweep up or collect non-hazardous paint chips and dust from dry stripping and sandblasting in plastic drop cloths and dispose of as trash. Dispose of chemical paint stripping residue and chips and dust from routine paints or primers containing lead or tributyl tin as hazardous waste.
- ✓ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or creek.
- ✓ For water-based paints, paint out brushes to the maximum extent possible and rinse to a drain leading to the sanitary sewer (i.e., indoor plumbing). Dried latex paint may be disposed of in the trash.
- ✓ For oil-based paints, paint out brushes to the maximum extent possible, and filter and reuse thinners and solvents. Dispose of unusable thinners and residue as hazardous waste.
- ✓ Unwanted paint (that is not recycled), thinners, and sludges must be disposed of as hazardous waste.

Have spill cleanup kits available.



## Concrete, Cement and Mortars

- ✓ Avoid mixing excess amounts of fresh concrete or cement mortar on-site.
- ✓ Wash out concrete transit mixers only in designated wash-out areas where the water will flow into settling ponds or onto dirt or stockpiles of aggregate base or sand. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or creeks.
- ✓ Whenever possible, return contents of mixer barrel to the yard for recycling. Dispose of small amounts of excess concrete, grout, and mortar in the trash.

Call Environmental Enforcement at (408) 945-3000 before dewatering and/or pumping into storm or sanitary sewer systems.

## Waste Disposal

- ✓ Keep pollutants off exposed surfaces. Place trash cans around the site to reduce litter. Dispose of non-hazardous construction wastes in covered dumpsters or recycling receptacles.
- ✓ Recycle leftover materials whenever possible. Materials such as concrete, asphalt, scrap metal, solvents, degreasers, cleared vegetation, paper, rock, and vehicle maintenance materials such as used oil, antifreeze, batteries, and tires are recyclable.
- ✓ Dispose of all wastes properly. Materials that cannot be reused or recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never throw or dispose of debris into channels, creeks or into wetland areas. Never store or leave debris in the street or near a creek where it may contact runoff.
- ✓ Illegal dumping is a violation subject to a fine and/or time in jail. Be sure that trailers carrying your materials are covered during transit. If not, the hauler may be cited and fined.
- ✓ Do not dispose of plant material in a creek or drainage facility or leave it in a roadway where it can clog storm drain inlets.
- ✓ Avoid disposal of plant material in trash dumpsters or mixing it with other wastes. Compost plant material or take it to a landfill or other facility that composts yard waste.
- ✓ Check with the Fire Department with questions on proper storage of hazardous materials.
- ✓ Protect all wastes from rainwater and runoff.



## CLEAN BAY BLUEPRINT



1211 PARK AVENUE, SUITE 208  
SAN JOSE, CA 95128  
TEL: (408) 314-4506  
TEL: (408) 472-5062  
FAX: (408) 287-8830  
E-MAIL: SMPENGINEERS@YAHOO.COM

OWNER:

COPYRIGHT © 2004  
SMP COMPANY  
CIVIL ENGINEERS

E. SAN ANTONIO DEVELOPMENT

1716 E. SAN ANTONIO ST.  
SAN JOSE, CALIFORNIA

NON-STORM WATER POLLUTION BMPs



Revisions:

Date: OCTOBER 5, 2004  
Scale: AS SHOWN  
Designed by:  
Drawn by:  
Job #: 2446  
Sheet:

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with ANDERSON ARCHITECTS INC. without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**CORE DEVELOPMENT**

470 South Market St.  
 San Jose, CA 95113

Project:  
**San Antonio Place**  
 "Townhomes"  
 1716 E. San Antonio St.  
 San Jose, CA

Stamp:

Client Revisions		
No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

City Revisions		
No.	Description	Date
1	PD ZONING RESUBMITTAL	10/05/04
2		
3		
4		
5		
6		
7		
8		

Date: 06/02/04  
 Scale: 1/8" = 1'-0"  
 Drawn By: J.L.  
 Checked By: KA

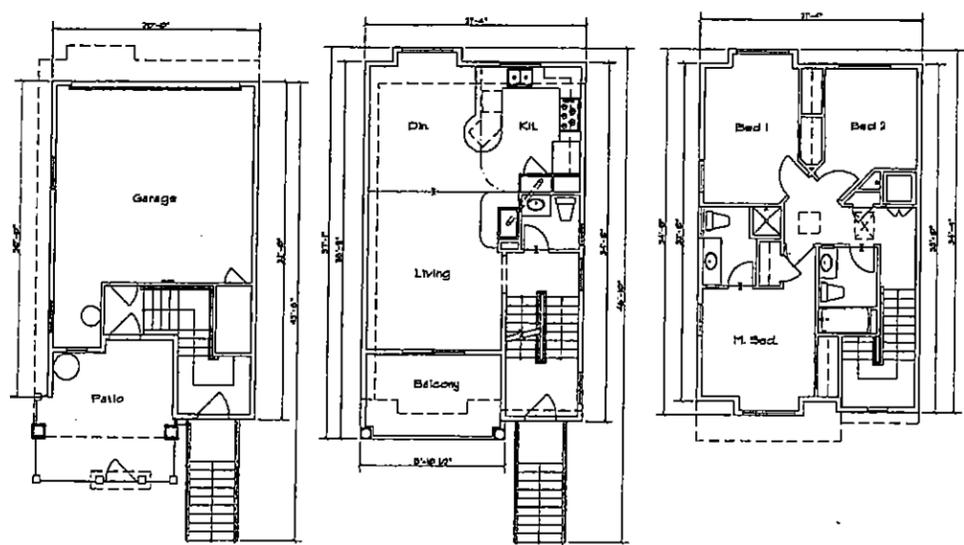
Sheet Title:

**Conceptual  
 Typical Unit  
 Floor Plans**

Sheet No.

**5.0**

File: Job: San Antonio

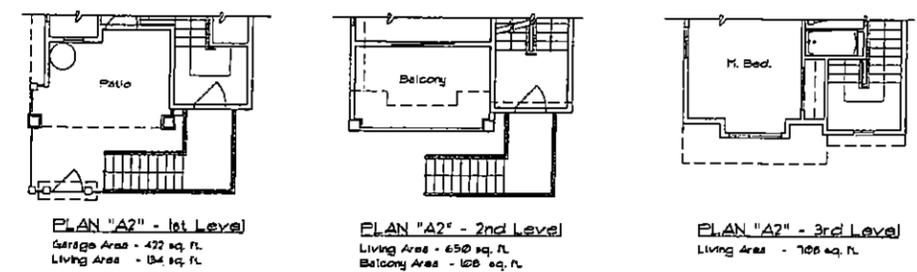


**UNIT "A1" - 1st Level**  
 Garage Area - 422 sq. ft.  
 Living Area - 134 sq. ft.

**UNIT "A1" - 2nd Level**  
 Living Area - 650 sq. ft.  
 Balcony Area - 108 sq. ft.

**UNIT "A1" - 3rd Level**  
 Living Area - 106 sq. ft.

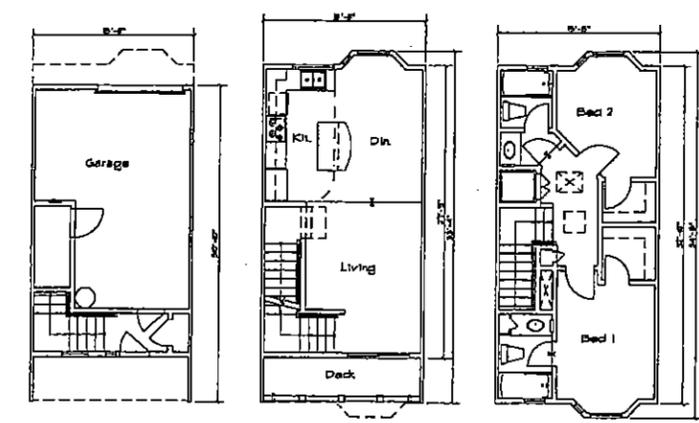
- 1 PLAN "A1" (Straight Stairs)  
 1/8" = 1'-0" (AT BLDG. 1 & 2)
- 2 PLAN "A1-R" - Reverse of Plan "A1"  
 1/8" = 1'-0" (AT BLDG. 1 & 2)
- 3 PLAN "A2" (L-Stairs) - Sim. to Plan "A1" See Plan Below  
 1/8" = 1'-0" (AT BLDG. 3 & 4)
- 4 PLAN "A2-R" - Reverse of Plan "A2"  
 1/8" = 1'-0" (AT BLDG. 3 & 4)



**PLAN "A2" - 1st Level**  
 Garage Area - 422 sq. ft.  
 Living Area - 134 sq. ft.

**PLAN "A2" - 2nd Level**  
 Living Area - 650 sq. ft.  
 Balcony Area - 108 sq. ft.

**PLAN "A2" - 3rd Level**  
 Living Area - 106 sq. ft.

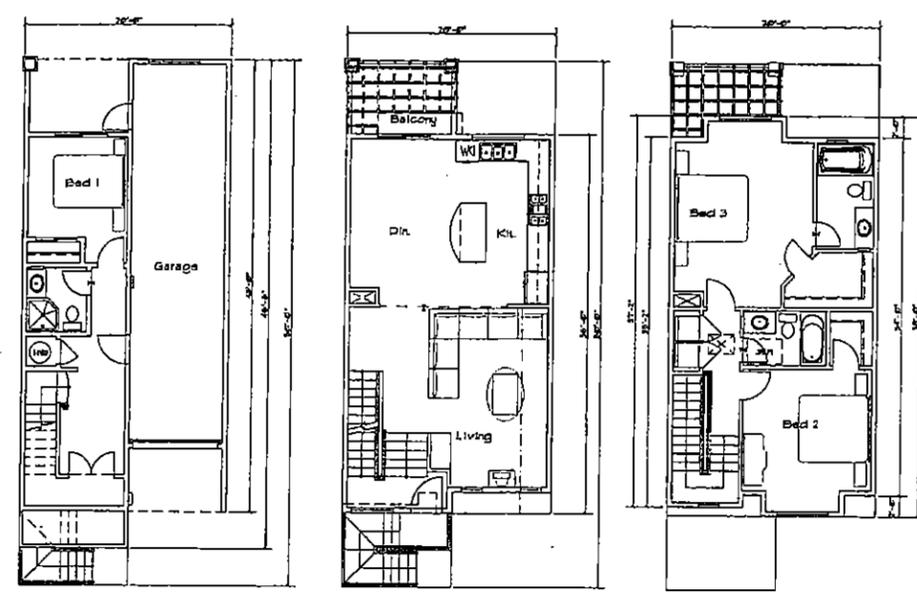


**PLAN "B" - 1st Level**  
 Garage Area - 294 sq. ft.  
 Living Area - 118 sq. ft.

**PLAN "B" - 2nd Level**  
 Living Area - 481 sq. ft.  
 Deck Area - 66 sq. ft.

**PLAN "B" - 3rd Level**  
 Living Area - 493 sq. ft.

**5 PLAN "B" - AT BLDG. 1, 2, 3, 4 4**  
 1/8" = 1'-0"



**PLAN "C" - 1st Level**  
 Garage Area - 310 sq. ft.  
 Living Area - 404 sq. ft.

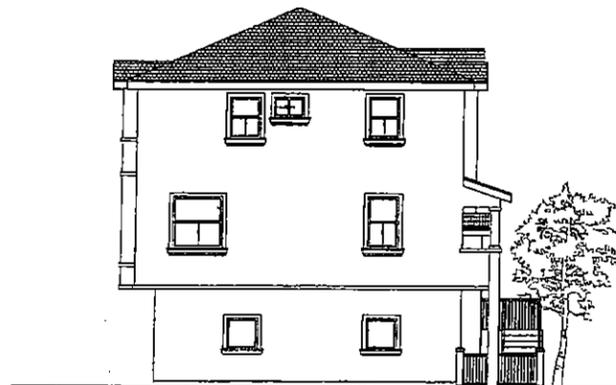
**PLAN "C" - 2nd Level**  
 Living Area - 101 sq. ft.  
 Balcony Area - 13 sq. ft.

**PLAN "C" - 3rd Level**  
 Living Area - 120 sq. ft.

**6 PLAN "C" - AT BLDG. 4**  
 1/8" = 1'-0"



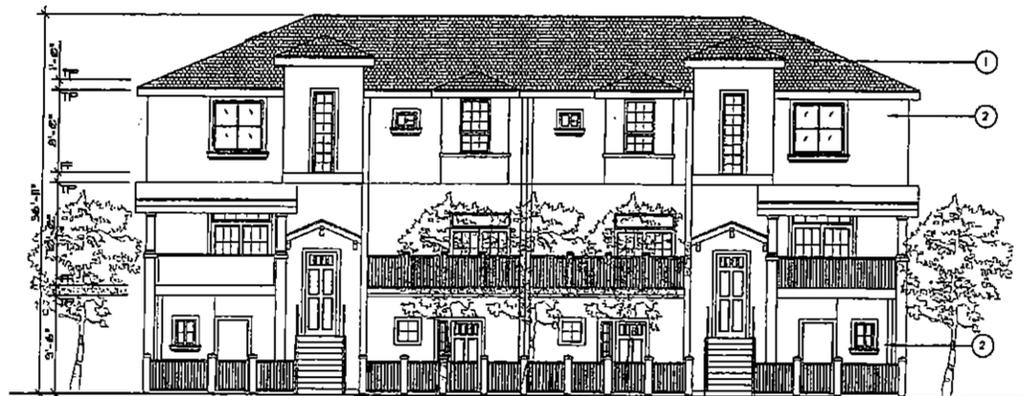
6 BUILDING 5-FRONT ELEVATION  
1/8" = 1'-0"



4 BUILDING 3-LEFT ELEVATION  
1/8" = 1'-0"



5 BUILDING 4-FRONT ELEVATION  
1/8" = 1'-0"



3 BUILDING 3-FRONT ELEVATION  
1/8" = 1'-0"

**ELEVATION NOTES:**

- 1. ASPHALTIC SHINGLES (TYP)
- 2. STUCCO (TYP)



1 BUILDING 1-FRONT ELEVATION  
1/8" = 1'-0"

2 BUILDING 2-FRONT ELEVATION  
1/8" = 1'-0"

**Anderson Architects INC**

anderson@andarch.com  
Carl 408.283.5462

Karl E. Anderson, AIA  
Principal  
Tel. 408.446.1269  
Fax. 408.446.3482  
www.andarch.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title in the plans and specifications remains with ANDERSON ARCHITECTS INC, without prejudice. Verbal contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**CORE DEVELOPMENT**

470 South Market St.  
San Jose, CA 95113

Project:  
**San Antonio Place**  
"Townhomes"  
1716 E. San Antonio St.  
San Jose, CA

Stamp

**Client Revisions**

No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

**City Revisions**

No.	Description	Date
1	PD ZONING RESUBMITTAL	JUN0504
2		
3		
4		
5		
6		
7		
8		

Date: 06/22/04

Scale: 1/8" = 1'-0"

Drawn By: ML

Checked By: KA

Sheet Title

**Conceptual  
Exterior Elevations  
Bldgs. 1-5**

Sheet No:

**5.1**

File: Job: San Antonio

