

STAFF REPORT
PLANNING COMMISSION

FILE NO.: CP12-030

Submitted: July 26, 2012

PROJECT DESCRIPTION:

Conditional Use Permit to allow the demolition of an existing 1,695 square foot drive-through restaurant and the construction of a new 2,558 square foot drive-through restaurant, including 24-hour use of the drive through, on a 0.73 gross acre site

Zoning	CN Commercial Neighborhood
General Plan	Neighborhood/Community Commercial and Story Road NBD
Council District	5
Annexation Date	December 9, 1960 (Hillview No. 22)
Historic Resource	N/A
Redevelopment Area	Story Road
Specific Plan	N/A

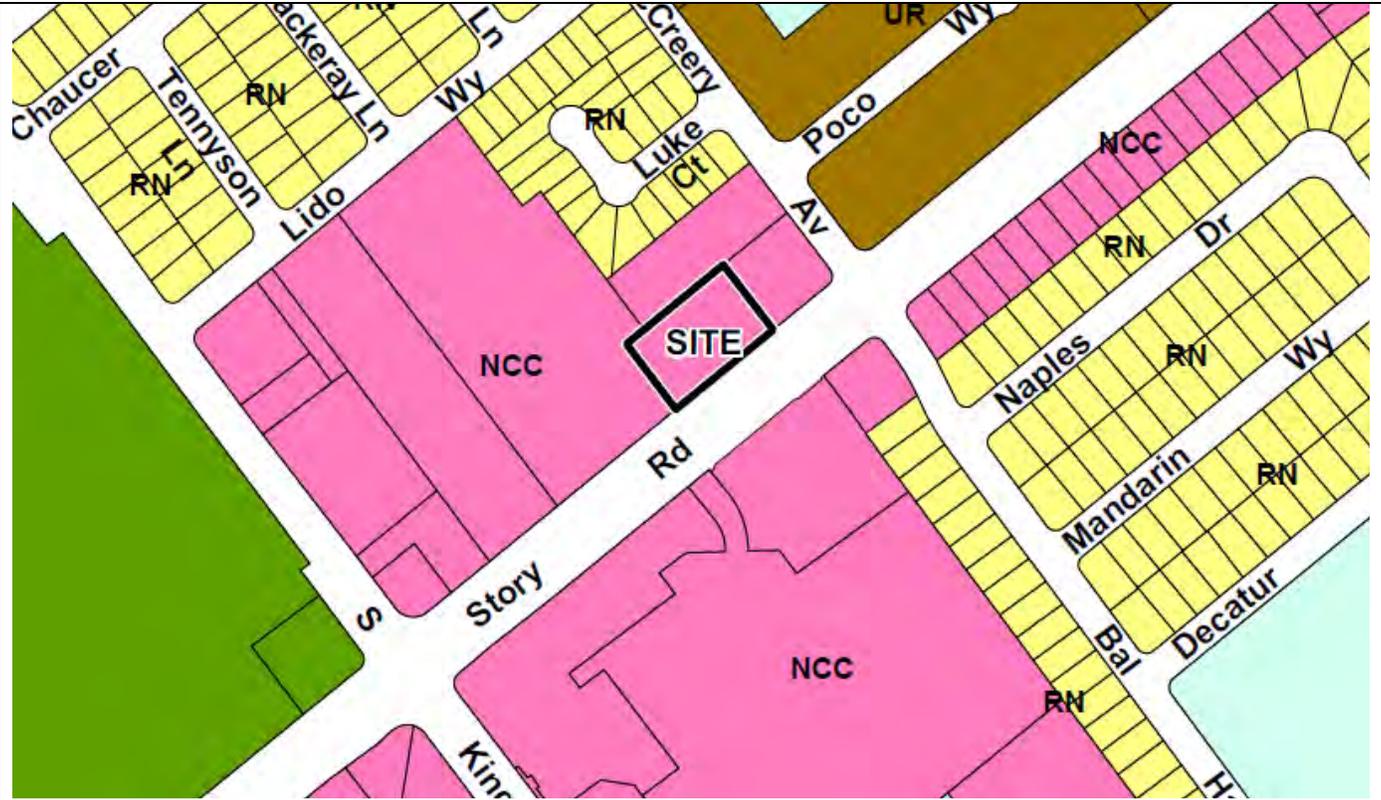
LOCATION:

North side of Story Road, approximately 150 feet westerly of McCreery Avenue (1841 Story Road)

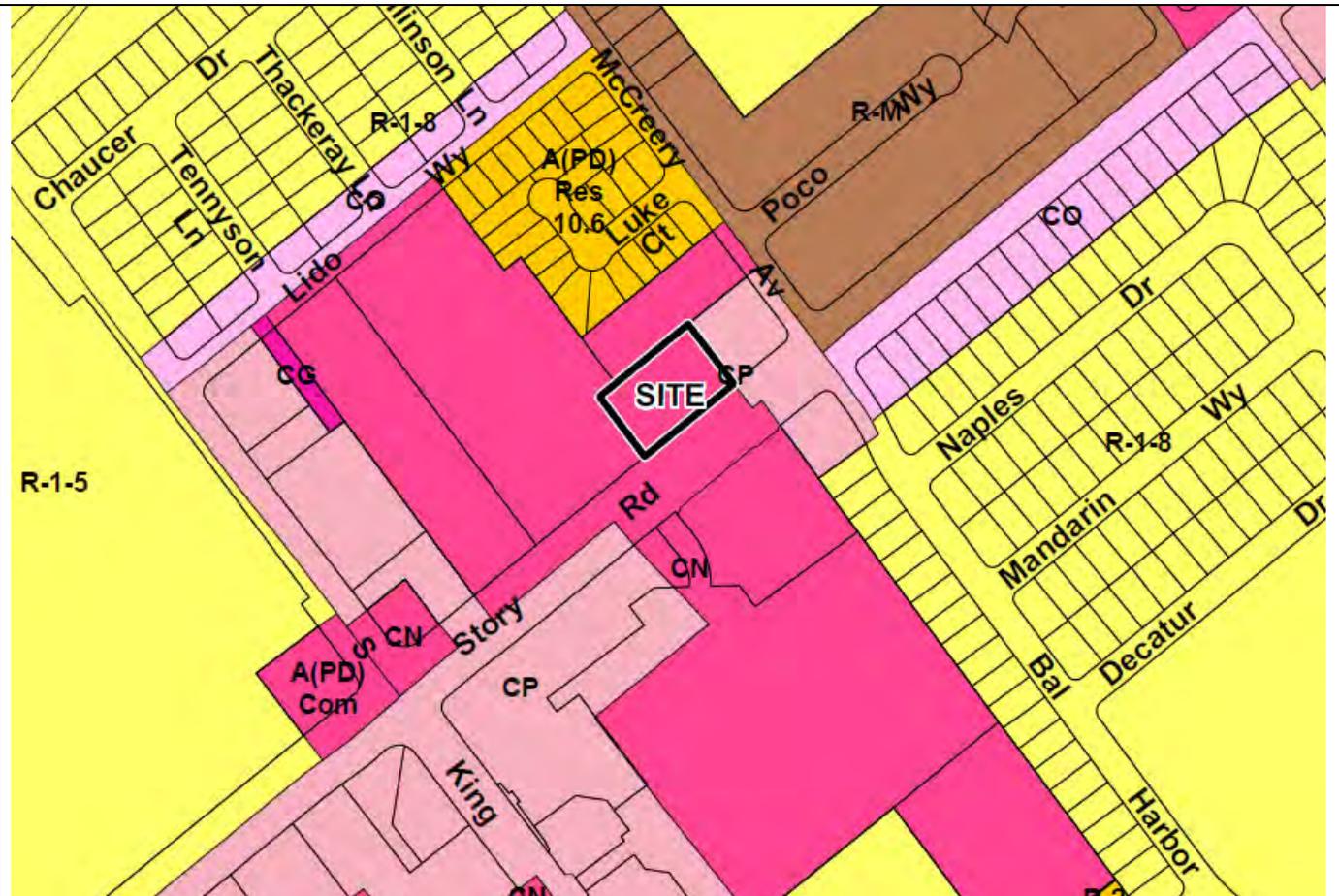
Aerial Map



GENERAL PLAN



ZONING



RECOMMENDATION

Planning staff recommends that the Planning Commission approve the proposed Conditional Use Permit on the subject site for the following reasons:

1. The subject Conditional Use Permit is consistent with the San Jose 2040 General Plan and its goals and policies, specifically:
 - a. The proposed use is compatible with existing uses in the surrounding area.
 - b. The Neighborhood/Community Commercial designation in the Envision San José 2040 General Plan supports commercial retail and service uses that serve neighboring communities and neighborhoods.
2. The project conforms to the development standards of the CN Commercial Neighborhood Zoning District.
3. The proposal conforms to the intent of the City Council Policy 6-10: Drive-Through Uses.
4. The proposal conforms to the intent of the City Council Policy 6-27: Evaluation of 24 Hour Uses.
5. The proposal conforms to the intent of the Commercial Design Guidelines.
6. The proposed project conforms to the requirements of CEQA.

BACKGROUND & DESCRIPTION

On July 26, 2012 Jack in the Box applied for a Conditional Use Permit on the subject site to construct a new 2,558 square foot public eating establishment that includes a drive-through with 24-hour use and the demolition of the existing drive-through restaurant building. The subject site was rezoned (File No. C12-008) from the CP Commercial Pedestrian zoning district to the CN Commercial Neighborhood zoning district on June 19, 2012. A Conditional Use Permit is required for drive-through uses and also for uses that propose to operate between the hours of 12:00 midnight and 6:00 a.m. This Conditional Use Permit also functions as a Site Development Permit to address the physical site and architectural design of the new restaurant facility.

The 0.73 gross acre site currently includes an existing 1,695 square foot drive-through restaurant, built circa 1966. A Conditional Use Permit (File No. CP04-002) was previously approved in 2004 to allow 24-hour operations of the existing drive-through. The site is surrounded by commercial uses on all sides. The closest residences are approximately 110 feet to the northwest of the site, beyond a commercial parking lot.

ANALYSIS

The key issues analyzed for the proposed Conditional Use Permit includes the project's conformance with the following: 1) Envision San José 2040 General Plan; 2) East Valley/680 Communities Strong Neighborhoods Initiative Neighborhood Improvement Plan; 3) Zoning Ordinance; 4) City Council Policy 6-10: Drive-Through Uses; 5) City Council Policy 6-27: 24-Hour Uses; 6) Commercial Design Guidelines; and 7) California Environmental Quality Act (CEQA)

San Jose 2040 General Plan Conformance

The site is designated Neighborhood/Community Commercial by the Envision San Jose 2040 General Plan Land Use/Transportation Diagram and is part of the Story Road Neighborhood Business District (NBD). The Neighborhood/Community Commercial and NBD designations support a broad range of

commercial uses that serve the community in neighboring areas, including neighborhood-serving retail, services, and amenities. The site is located on a major arterial street, Story Road, and is immediately adjacent to other automobile-oriented commercial uses at the intersection of King and Story Roads.

Additionally, the proposed project promotes the following goals and policies of the San Jose Envision 2040 General Plan with respect to neighborhood serving commercial uses:

1. Goal LU-5 – Neighborhood Serving Commercial: Locate viable neighborhood-serving commercial uses throughout the City in order to stimulate economic development, create complete neighborhoods, and minimize vehicle miles traveled.

The proposed project maintains and revitalizes an existing public eating establishment, which would provide enhanced retail services to the surrounding residential neighborhoods.

2. Policy LU-5.6: Encourage and facilitate the upgrading, beautifying, and revitalization of existing strip commercial areas and shopping centers. Minimize the visual impact of large parking lots by locating them away from public streets.

The proposed project upgrades and expands the existing restaurant building, thereby making the subject site a viable business location.

3. Policy EC-1.8: Allow commercial drive-through uses only when consistency with the City's exterior noise level guidelines and compatibility with adjacent land uses can be demonstrated.

The proposed project upgrades the drive-through speaker box to include a white noise sensor, which adjusts the speaker volume depending on the surrounding background noise. In addition, the two existing concrete masonry sound walls that separate the site from the residential uses will remain in place.

East Valley/680 Communities Strong Neighborhoods Initiative (SNI) Neighborhood Improvement Plan

The site is located in the Arbuckle neighborhood of the East Valley/680 Communities SNI area. The neighborhood improvement plan identifies the north side of Story Road located between King Road and McCreery Avenue, including the subject site, as an area in need of façade improvements. The Conditional Use Permit will significantly improve the architecture and landscaping present on the site.

Zoning Ordinance

Setbacks and Height

The site is located within the CN Commercial Neighborhood and conforms to all setback requirements for that district. The CN Commercial Neighborhood Zoning District development standards provide for a maximum height of fifty feet. The proposed building height is no greater than twenty-eight feet which is below the maximum height requirement, and is therefore in conformance. A public eating establishment is a permitted use in the CN Commercial Neighborhood District, however a Conditional Use Permit is required for drive-through and late night uses that operate past midnight.

Parking

A public eating establishment requires 1 parking space for every 2.5 seats or 1 parking space for every 40 square feet of dining area, whichever requires the greater number of parking spaces. Based on this requirement, the proposed restaurant would need 21 parking spaces. However, ground floor uses located within NBDs qualify for a reduced parking requirement of 1 parking space for every 400 square feet of floor area. The restaurant is 2,588 square feet, which would require 6 parking spaces. The site plan accommodates 32 parking spaces, which exceeds the parking requirement. The existing site currently includes 43 parking spaces; therefore, the applicant is proposing to remove 9 parking spaces.

Council Policy 6-10: Criteria for the Review of Drive-Through Uses

City Council Policy 6-10: Drive-Through Uses recommends that all drive-through uses should be 200 feet or more from residentially used, zoned or General Plan designated properties. The intent of the policy is to provide adequate separation between the residential use and a drive-through use in order to minimize noise impacts. Although the closest residential use is located approximately 110 feet from the drive-through lane, the proposed project will improve the existing situation by equipping the proposed drive through with speaker box that has a white noise sensor, which adjusts the speaker volume depending on the surrounding background noise. In addition, two existing concrete masonry sound walls will remain in place to separate the site from the residential uses.

The drive-through stacking lane, located on the west side of the building, provides adequate capacity for up to eight cars which meets the minimum stacking requirement identified in the policy. In the event that overflow might occur on occasion, such stacking would not impact on site circulation or the public right-of-way because there is sufficient driveway aisle width and substantial distance between the drive-through lane and the street.

The proposed drive-through use will improve the existing situation and meets the intent of the city council policy for drive-through uses.

City Council Policy 6-27: Evaluation of 24-Hour Uses

City Council Policy 6-27: Evaluation of 24 Hour Uses establishes guidelines to assure compatibility of late night and early morning uses with surrounding land uses. The policy recommends that 24-hour uses not be located within 300 feet from any property residentially zoned, planned, or used. The closest residential property is located approximately 110 feet from the edge of the drive-through lane. As mentioned above, a Conditional Use Permit was previously approved in 2004 to allow the 24-hour use of the existing drive-through. The current Conditional Use Permit proposal is the continuation of the existing use with significant site improvements and an improved overall design.

The project applicants have identified a Management Plan per the policy outlining their planned response to neighborhood complaints, control of noise, litter, and graffiti. The Management Plan will prohibit parking in the parking lot by patrons and use of the restroom facilities between the hours of midnight and 6:00 a.m., therefore limiting loitering on-site. The Management Plan also outlines the use of anti-graffiti paint, litter control measures, and an automatically adjusting drive-through speaker to control noise impacts, as discussed above. In addition, the Police Department recommended that the existing steps in the sound wall on the north side of the site be permanently closed due to loitering issues, which the applicant has agreed to do as part of this Conditional Use Permit. The Police Department is neutral to the issuance of this Conditional Use Permit. Based on this information, the proposal meets the intent of the City Council policy for 24-Hour Uses.

Commercial Design Guidelines

The Commercial Design Guidelines outline specific parking and circulation guidelines for drive-through uses. The project conforms to the intent of these guidelines in that the policy recommends that primary ingress and egress for a drive-through should be from a four lane major street; Story Road is a major arterial street. Sufficient stacking is provided in the drive-through lane (8 cars) and it is physically separated from the parking lot by the building. In addition, pedestrian access to the building does not cross the stacking lane. The use of an architecturally-integrated overhead roof canopy has dramatically improved the overall quality of the architecture along the west façade on which the drive-through window is located. In addition, the applicant is proposing significant landscaping upgrades along Story Road within a five foot setback area.

Based on the above analysis, staff concludes that the proposed use is consistent with the intent of the Commercial Design Guidelines and represents a significant improvement in the function and appearance of the site as compared to the existing facility.

ENVIRONMENTAL REVIEW (CEQA)

Under the provisions of Section 15303 (c) (New Construction or Conversion of Small Structures) of the State Guidelines for Implementation of the California Environmental Quality Act, this project is found to be exempt from the environmental review requirements of Title 21 of the San José Municipal Code, implementing the California Environmental Quality Act of 1970, as amended, in that the project is a restaurant less than 10,000 square feet in size, all necessary public services and facilities are available and the surrounding area is not environmentally sensitive. The proposed project is also in conformance with its San Jose 2040 General Plan Land Use/Transportation Diagram land use designation. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

PUBLIC OUTREACH/INTEREST

A community meeting was held on January 10, 2013 at Hillview Branch Library. Notices were sent to property owners and tenants within 500 feet of the subject site. There were four community members in attendance at the meeting. Community members expressed that they were satisfied with the proposed architecture and site design, but were concerned about safety and loitering on the project site. These concerns were generally alleviated with further discussion of the proposed lighting and specific site design measures.

A sign was posted on-site to notify the public of the proposed development, and a notice of this Planning Commission public hearing was mailed to the owners and tenants of all properties located within 500 feet of the project site and posted on the City website. This Staff Report is also posted on the City's website, and staff has been available to respond to questions from the public.

Project Manager: Rebecca Bustos Approved by:  Date: February 27, 2013

Owner/Applicant:	Attachments:
<p><u>Owners:</u> Richard R. and Deborah M. Anderson, trustees 107 Rockridge Court Santa Cruz, CA 95060</p> <p>Jeffrey M. Filice, trustee 358 North Island Drive, #105 Memphis, TN 38103</p> <p><u>Applicant:</u> David Lundy PM Design Group 4470 Yankee Hill Road, #100 Rocklin, CA 95677</p>	<p>Draft Permit Resolution Police Department Memorandum Reduced Plan Set</p>

RESOLUTION NO.

Resolution of the Planning Commission of the City of San José granting, subject to conditions, a Conditional Use Permit to use certain real property described herein for the purpose of allowing the demolition and reconstruction of an approximately 2,600 square foot commercial building, including drive-through and late-night uses (24-hours) for a public eating establishment, on a 0.73 gross acre site on the north side of Story Road, approximately 150 feet westerly of McCreery Avenue (1841 Story Road).

FILE NO. CP12-030

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SAN JOSÉ:

WHEREAS, pursuant to the provisions of Chapter 20.100 of Title 20 of the San José Municipal Code, on July 26, 2012, an application (File No. CP12-030) was filed for a Conditional Use Permit for the purpose of allowing the development of an approximately 2,600 square foot commercial building, including drive-through and late-night uses (24-hours) for a public eating establishment, on that certain real property (hereinafter referred to as "subject property"), situate in the CN Commercial Neighborhood Zoning District, located on the north side of Story Road, approximately 150 feet westerly of McCreery Avenue (1841 Story Road), San José, and

WHEREAS, the subject property is all that real property described in Exhibit "A," which is attached hereto and made a part hereof by this reference as if fully set forth herein; and

WHEREAS, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code, this Planning Commission conducted a hearing on said application, notice of which was duly given; and

WHEREAS, at said hearing, this Planning Commission gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

WHEREAS, at said hearing this Planning Commission received and considered the reports and recommendation of the Director of Planning, Building and Code Enforcement; and

WHEREAS, at said hearing, this Planning Commission received in evidence a development plan for the subject property entitled, "MK9BD_SM2, 1841 Story Road, San Jose, CA 95122" dated January 21, 2013. Said plan is on file in the Department of Planning, Building and Code Enforcement and is available for inspection by anyone interested herein, and said development plan is incorporated herein by this reference, the same as if it were fully set forth

herein; and

WHEREAS, said hearing was conducted in all respects as required by the San José Municipal Code and the rules of this Planning Commission;

NOW, THEREFORE:

After considering evidence presented at the public hearing, the Planning Commission finds that the following are the relevant facts regarding this proposed project:

1. The project is located on a 0.73 gross acre site on the north side of Story Road, approximately 150 feet westerly of McCreery Avenue (1841 Story Road).
2. The subject parcel has a designation of Neighborhood/Community Commercial on the adopted San José 2040 General Plan Land Use/Transportation Diagram and is within the Story Road Neighborhood Business District.
3. A new 2,558 square foot drive-through restaurant is proposed. The existing restaurant building with a drive-through use will be demolished.
4. The site is zoned CN Commercial Neighborhood.
5. The 24-hour operation of the drive-through is proposed.
6. The existing facility to be demolished was constructed in 1966 and has a drive-through use that is open 24 hours per a previously approved Conditional Use Permit (File No. CP04-002).
7. Per Table 20-90 of the San José Municipal Code, drive-through uses are a conditional use in the CN Commercial Neighborhood Zoning District.
8. A six-foot tall masonry sound wall is located on the north side of the site.
9. Per Section 20.40.500 of the San Jose Municipal Code, a Conditional Use Permit is required for operation between 12:00 midnight and 6:00 a.m. in any commercial district.
10. The site is surrounded by commercial uses on all sides, with the closest residences approximately 110 feet to the northwest of the site, beyond a commercial parking lot.
11. The proposal is subject to City Council Policy 6-10: Drive-Through Uses.
12. The proposal is subject to City Council Policy 6-27: 24-Hour Uses.
13. The proposal is subject to the City's Commercial Design Guidelines.
14. The Council Policy 6-27: Evaluation of 24 Hour Uses recommends that 24-hour uses not be located within 300 feet from any property residentially zoned, planned, or used.
15. The speaker box proposed as part of the drive-through is equipped with a white noise sensor which adjusts the speaker volume depending on the surrounding background noise.
16. The project provides a stacking lane that accommodates to up to eight (8) vehicles. Additional overflow can be provided on the private property in the rear parking area.
17. Ingress and egress from the project site is from Story Road, a major six-lane arterial street.

18. The proposed project has a thirty-seven (37) feet and one (1) inch front setback.
19. Per Section 20.90.220 of the San Jose Municipal Code, if a project site is designated on the General Plan Land Use/Transportation Diagram with the neighborhood business district overlay and the use is located on the ground floor of a building the off-street vehicle parking requirement shall be reduced to one (1) space per four-hundred (400) square feet of floor area.
20. The proposed restaurant is 2,855 square feet, which would require six (6) parking spaces.
21. The site plan accommodates thirty-two (32) parking spaces, which exceeds the parking requirement.
22. The Project site is within the State of California Seismic Hazard Zone.
23. Under the provisions of Section 15303 (c) (New Construction or Conversion of Small Structures) of the State Guidelines for Implementation of the California Environmental Quality Act, this project is found to be exempt from the environmental review requirements of Title 21 of the San José Municipal Code, implementing the California Environmental Quality Act of 1970, as amended, in that the project is a restaurant less than 10,000 square feet in size, all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

This Planning Commission concludes and finds, based upon an analysis of the above facts that:

1. The interrelationship between the orientation, location, and elevations of proposed buildings and structures and other uses on-site are mutually compatible and aesthetically harmonious, in that:
 - a. The project conforms to the intent of City Council Policy 6-10: Criteria for the Evaluation of Drive-Through Uses in that:
 - 1) Two existing concrete masonry sound walls separate the site from the residential uses.
 - 2) The drive-through stacking lane provides adequate capacity for up to eight (8) cars.
 - 3) Overflow stacking would not disrupt on-site circulation and would not flow out onto any public street.
 - b. The project conforms to the intent of City council Policy 6-27: 24-Hour Uses in that:
 - 1) The applicant has prepared a Management Plan outlining their planned response to neighborhood complaints, control of noise, litter, and graffiti.
 - 2) Parking in the parking lot by patrons and use of the restroom facilities between the hours of midnight and 6:00 a.m. will be prohibited.
 - 3) The existing steps in the sound wall on the north side of the site would be permanently closed.
 - 4) The speaker box proposed as part of the drive-through is equipped with a white noise sensor, which adjusts the speaker volume depending on the surrounding background noise.

- c. The project conforms to the intent of the City's Commercial Design Guidelines in that:
 - 1) Ingress and egress from the site is from Story Road, a major arterial street.
 - 2) Sufficient stacking is provided in the drive-through lane (8 cars).
 - 3) The drive-through lane is physically separated from the parking lot by the building.
 - 4) Pedestrian access to the building does not cross the stacking lane.
2. The orientation, location, and elevation of the proposed buildings and structures and other uses on the site are compatible with and are aesthetically harmonious with adjacent development or the character of the neighborhood, in that:
 - a. The proposed building height, materials, and colors are similar to surrounding buildings and structures.
 - b. The building and structures are located and oriented on-site to provide convenient and safe vehicular and pedestrian access.
3. The environmental impacts of the project, including but not limited to noise, vibration, dust, drainage, erosion, storm water runoff, and odor which, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative affect on adjacent property or properties.
 - a. Under the provisions of Section 15303 (c) (New Construction or Conversion of Small Structures) the project has been deemed exempt from CEQA.
 - b. The proposed project will not individually or cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the California Department of Fish and Game Code.
4. Landscaping, irrigation systems, walls and fences, features to conceal outdoor activities, exterior hearing, ventilating, plumbing, utility and trash facilities are sufficient to maintain or upgrade the appearance of the neighborhood.
 - a. The proposed project includes improved landscaping on all street frontages and within the parking lot.
5. Traffic access, pedestrian access and parking are adequate.
 - a. The proposed project improves pedestrian and vehicular circulation around the property by moving the drive-through lane to the west side of the property, providing adequate stacking (8 cars). In the event of occasional overflow, there is sufficient driveway aisle width and substantial distance between the drive-through lane and the street to prevent overflow onto Story Road.
 - b. Pedestrian access to the building does not cross the drive-through stacking lane.
 - c. The proposed number, size and access of parking spaces for the proposal comply with the requirements of the Zoning Ordinance.

6. The Permit, as issued, furthers the policies of the General Plan, in that the project is consistent with the site's General Plan Land Use/Transportation Diagram designation of Neighborhood/Community Commercial and General Plan goals and policies.
 - a. The proposed restaurant use is consistent with the site's General Plan Land Use/Transportation Diagram designation of Neighborhood/Community Commercial.

Further, this Planning Commission concludes and finds, based on the analysis of the above facts, that:

1. Under the provisions of Section 20.80.440(A) of the San José Municipal Code, except as specifically exempted by Section 20.80.450, no demolition permit or removal permit shall be issued unless and until a Development Permit which specifically approves such demolition or removal has been issued and has become effective pursuant to the provisions of Chapter 20.100.
 - a. The Planning Commission has considered all of the following criteria in evaluating the proposed demolition of the existing building.
 - i. The failure to approve the permit would result in the creation of continued existence of a nuisance, blight or dangerous condition.
 - ii. The failure to approve the permit would jeopardize public health, safety or welfare.
 - iii. Both inventoried and non-inventoried buildings, sites and districts of historical significance should not be negatively impacted.
 - iv. Rehabilitation or reuse of the existing building(s) would not be feasible.
 - v. The approval of the demolition of the building(s) should facilitate a project, which is compatible with the surrounding neighborhood.

Finally, based upon the above-stated findings and subject to the conditions set forth below, the Planning Commission finds that:

1. The proposed use at the location requested will not:
 - a. Adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; or
 - b. Impair the utility or value of property of other persons located in the vicinity of the site; or
 - c. Be detrimental to public health, safety or general welfare; and
2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding areas; and
3. The proposed site is adequately served:
 - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quality of traffic such use would generate; and
 - b. By other public or private service facilities as are required.

In accordance with the findings set forth above, a Conditional Use Permit to use the subject property for said purpose specified above and subject to each and all of the conditions hereinafter set forth is hereby granted. This Planning Commission expressly declares that it would not have granted this permit except upon and subject to each and all of said conditions, each and all of which conditions shall run with the land and be binding upon the owner and all subsequent owners of the subject property, and all persons who use the subject property for the use conditionally permitted hereby.

CONDITIONS

This Conditional Use Permit shall have no force or effect and the subject property shall not be used for the hereby permitted uses unless and until all things required by the below-enumerated precedent conditions shall have been performed or caused to be performed and this Resolution has been recorded with the County Recorder.

1. **Acceptance of Permit.** Per Section 20.100.290(B), should the applicant fail to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the applicant shall be deemed to constitute all of the following on behalf of the applicant:
 - a. Acceptance of the Permit by the applicant; and
 - b. Agreement by the applicant to be bound by, to comply with, and to do all things required of or by the applicant pursuant to all of the terms, provisions, and conditions of this permit or other approval and the provisions of Title 20 applicable to such Permit.
2. **Permit Expiration.** This Conditional Use Permit shall automatically expire two years from and after the date of adoption of the Resolution by the Planning Commission, or by the City Council on appeal, granting this Permit, if within such two-year period, the construction of buildings has not commenced, pursuant to and in accordance with the provisions of this Conditional Use Permit. The date of adoption is the date the Resolution granting this Conditional Use Permit is approved by the Planning Commission. However, the Director of Planning may approve a Permit Adjustment to extend the validity of this Permit for a period of up to two years.
3. **Building Permit/Certificate of Occupancy.** Procurement of a Building Permit and/or Certificate of Occupancy from the Building Official for the structures described or contemplated under this permit shall be deemed acceptance of all conditions specified in this permit and the applicant's agreement to fully comply with all of said conditions. No change in the character of occupancy or change to a different group of occupancies as described by the "Building Code" shall be made without first obtaining a Certificate of Occupancy from the Building Official, as required under San José Municipal Code Section 24.02.610, and any such change in occupancy must comply with all other applicable local and state laws.

4. **Sewage Treatment Demand.** Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the applicant for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José-Santa Clara Water Pollution Control Plant represented by approved land uses in the area served by said Plant will cause the total sewage treatment demand to meet or exceed the capacity of San José-Santa Clara Water Pollution Control Plant to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Quality Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approval authority.
5. **Conformance with Plans.** Construction and development shall conform to approved Conditional Use Permit plans entitled, “MK9BD_SM2, 1841 Story Road, San Jose, CA 95122” dated January 21, 2013 on file with the Department of Planning, Building and Code Enforcement and to the San José Building Code (San José Municipal Code, Title 17, Chapter 17.04).
6. **Noise.** Per Section 20.40.600 of the San Jose Municipal Code, the applicant shall ensure that the volume of the speaker system for the drive-through use shall be appropriately adjusted so that it does not exceed the City’s noise standards (60 decibels at the property line) and is not audible from inside any nearby residential unit.
7. **Demolition of Existing Structure.** The Demolition Permit for the removal of the existing structure will not be issued until a Building Permit for construction of the new structure as set forth in this Conditional Use Permit has been obtained .
8. **Public Works Clearance for Building Permit(s) or Map Approval:** Prior to the approval of the Tract or Parcel Map (if applicable) by the Director of Public Works, or the issuance of Building permits, whichever occurs first, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.
 - a. *Minor Improvement Permit:* The execution of a Minor Street Improvement Permit is required that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works.
 - b. *Grading/Geology:*
 - i. A grading permit is required prior to the issuance of a Public Works Clearance. The construction operation shall control the discharge of pollutants (sediments) to the storm drain system from the site.

- ii. The Project site is within the State of California Seismic Hazard Zone. A geotechnical investigation report addressing the potential hazard of liquefaction must be submitted to, reviewed and approved by the City Geologist prior to issuance of a grading permit or Public Works Clearance, consistent with the guidelines published by the State of California (CGS Special Publication 117A) and the Southern California Earthquake Center (SCEC, 1999).
 - c. *Sewage Fees*: In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
 - d. *Undergrounding*: The In Lieu Undergrounding Fee shall be paid to the City for all frontage adjacent to Story Road prior to issuance of a Public Works clearance. One hundred percent (100%) of the base fee in place at the time of payment will be due. Currently, the 2011 base fee is \$412 per linear foot of frontage and is subject to change every January 31st based on the Engineering News Record's 20 City Average Cost Index. The project will be required to pay the current rate in effect at the time the Public Works Clearance is issued.
 - e. *Street Improvements*:
 - i. Applicant shall be responsible to remove and replace curb, gutter, and sidewalk damaged during construction of the proposed project.
 - ii. Remove and replace broken or uplifted curb, gutter, and sidewalk along project frontage.
 - iii. Upgrade two (2) existing handicap ramps along Story Road to conform to current City and ADA standards.
 - f. *Street Trees*: Install street trees within public right-of-way along entire project street frontage per City standards; refer to the current "Guidelines for Planning, Design, and Construction of City Streetscape Projects". Street trees shall be installed in cut-outs at the back of curb. Obtain a DOT street tree planting permit for any proposed street tree plantings. Contact the City Arborist at (408) 794-1901 for the designated street tree.
9. **Building Clearance for Issuing Permits.** Prior to the issuance of a Building Permit, the following requirements must be met to the satisfaction of the Chief Building Official:
- a. *Emergency Address Card.* The project developer shall file an Emergency Address Card, Form 200-14, with the City of San José Police Department.
 - b. *Construction Plans.* This permit file number, CP12-030, shall be printed on all construction plans submitted to the Building Division.

- c. *Construction Conformance.* A project construction conformance review by the Planning Division is required. Planning Division review for project conformance will begin with the initial plan check submittal to the Building Division. Prior to final inspection approval by the Building Department, Developer shall obtain a written confirmation from the Planning Division that the project, as constructed, conforms to all applicable requirements of the subject Permit, including the plan sets. To prevent delays in the issuance of Building Permits, please notify Planning Division staff at least one week prior to the final Building Division inspection date.
 - d. *Compliance with Required Major Permit Adjustment.* The developer shall comply with project design modifications as noted under condition number 6.
10. **Fire Department Requirements.** The project shall conform to the requirements of the Fire Department at the building plan review stage to the satisfaction of the Chief Building Official and the Fire Chief.
 11. **Storm Water Stenciling.** All drain inlets shall be labeled “No Dumping-Flows to Bay.” Please contact the City of San José, Department of Public Works, at (408) 277-5161 to obtain free stencils.
 12. **Protection of Storm Drains.** No hazardous materials, paint, rinse water, or construction sediments or debris shall be allowed to enter the public right-of-way or any storm drain inlet.
 13. **Hours of Operation.** This Conditional Use Permit does not allow late night use of commercial uses beyond midnight for the dining room within the restaurant.
 14. **Signage.** This Conditional Use Permit does not include the approval of any signage. Any future signs are to conform to the regulations of Title 23 of the Municipal Code and allowed with the issuance of a Sign Permit Adjustment.
 15. **Nuisance.** This use shall be operated in a manner which does not create a public or private nuisance. Any such nuisance must be abated immediately upon notice by the City.
 16. **Refuse.** All trash areas shall be effectively screened from view and covered and maintained in an orderly state to prevent water from entering into the garbage container. No outdoor storage is allowed / permitted unless designated on the approved plan set. Trash areas shall be maintained in a manner to discourage illegal dumping.
 17. **Trash Bins and Recycling Containers.** Any drainage within trash enclosure areas shall be connected to sanitary system. No hazardous waste material shall be allowed to enter the solid waste stream (garbage or recycling). The property owner shall provide for independent disposal of waste, such as, but is not limited to, paint products and solvents, chemicals and nutrients used for landscaping, batteries and automotive fluids.
 18. **Colors and Materials.** All building colors and materials are to be as specified on the approved plan set.

19. **Street Cleaning and Dust Control.** During construction, the developer shall sweep and wash down the public streets each working day. In any on-site area visible to the public from the public right-of-way, the site shall be clean of debris, rubbish and trash at least once a week. The developer shall implement effective dust control measures to prevent dust and other airborne matter from leaving the construction site.
20. **Construction Hours.** Construction shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday for any on-site or off-site work within 500 feet of any residential unit. Interior construction that is not audible at the adjacent property lines is permitted on Saturday and Sunday between 9:00 am and 6:00 pm.
21. **Landscaping.** Planting and irrigation are to be provided by the applicant as indicated on the final Approved Plan Set. Landscaped areas shall be maintained and watered and all dead plant material is to be removed and replaced by the property owner. Irrigation is to be installed in accordance with the State Model Water Efficient Landscape Ordinance Part 4 of Chapter 15.10 of Title 15 of the San José Municipal Code, Water Efficient landscape Standards for New and Rehabilitated Landscaping and the City of San José Landscape and Irrigation Guidelines.
22. **Certification.** Pursuant to San José Municipal Code, Section 15.10.486, certificates of substantial completion for landscape and irrigation installation shall be completed by licensed or certified professionals and provided to the Department of Planning, Building and Code Enforcement prior to approval of the final inspection of the project.
23. **Recycling.** It is required that scrap construction and demolition debris be recycled instead of disposing of it in a landfill. An infrastructure exists within San José to accommodate such recycling efforts. Integrated Waste Management staff can provide assistance on how to recycle construction and demolition debris from the project, including information on where to conveniently recycle the material. Additional information may be found at <http://www.sjrecycles.org/construction-demolition/cddd.asp> or by contacting the Commercial Solid Waste Program at (408) 535-8550.
24. **Anti-Graffiti.** The applicant shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement.
25. **Lighting.** All proposed lighting shall conform to the City of San José's Outdoor Lighting Policy and be installed as indicated on the final Approved Plan Set.
26. **Air Quality.** Consistent with guidance from the BAAQMD, the following measures shall be required of construction contracts and specifications for the project.
 - a. *Demolition.* The following controls shall be implemented during demolition:
 - i. Watering shall be used to control dust generation during demolition of structures and break-up of pavement.
 - ii. Cover all trucks hauling demolition debris from the site.
 - iii. Use dust-proof chutes to load debris into trucks whenever feasible.

- b. *Construction.* The following controls shall be implemented at all construction sites:
- i. Water all active construction areas at least twice daily and more often during windy periods; active areas adjacent to existing land uses shall be kept damp at all times, or shall be treated with non-toxic stabilizers to control dust;
 - ii. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard;
 - iii. Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites;
 - iv. Sweep daily (with water sweepers) all paved access roads, parking areas, and staging areas at construction sites; water sweepers shall vacuum up excess water to avoid runoff-related impacts to water quality;
 - v. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets;
 - vi. Apply non-toxic soil stabilizers to inactive construction areas;
 - vii. Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.);
 - viii. Limit traffic speeds on unpaved roads to 15 mph;
 - ix. Install sandbags or other erosion control measures to prevent silt runoff to public roadways;
 - x. Replant vegetation in disturbed areas as quickly as possible;
 - xi. Install base rock at entryways for all exiting trucks, and wash off the tires or tracks of all trucks and equipment in designated areas before leaving the site;
 - xii. Suspend excavation and grading activity when winds (instantaneous gusts) exceed 25 mph.

27. **Green Building.** The development is subject to the City's Green Building Ordinance for Private Sector New Construction - Non-Residential Development Less Than 25,000 square feet. Prior to the issuance of any shell or complete building permits for the construction of buildings approved through the scope of this Conditional Use Permit, the applicant shall submit a LEED green building checklist as a part of the Building Permit plan submittal.

28. **Revocation, Suspension, Modification.** This Conditional Use Permit may be revoked, suspended or modified by the Planning Commission, or by the City Council on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing in accordance with Part 3, Chapter 20.44, Title 20 of the San José Municipal Code it finds:

- a. A violation of any conditions of the Conditional Use Permit was not abated, corrected or rectified within the time specified on the notice of violation; or

- b. A violation of any City ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation; or
- c. The use as presently conducted creates a nuisance.

In accordance with the findings set forth above, a permit to use the subject property for said purpose specified above is hereby approved.

APPROVED and issued this **27th day of February 2013**, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

EDESA BIT-BADAL
Chairperson

ATTEST:

JOSEPH HORWEDEL
Director of Planning, Building & Code Enforcement
Planning Commission Secretary

NOTICE TO PARTIES

The time within which judicial review must be sought to review this decision is governed by the provisions of the California Code of Civil Procedure Section 1094.6.



Memorandum

TO: Joseph Horwedel
Director of Planning

FROM: Officer Kevin Mank #2796
C.P.T.E.D. Detail

PROJECT MANAGER: Sylvia Do

DATE: 09/21/12

PLANNING FILE #: CP12-030

LOCATION: 1841 Story Road

DESCRIPTION: Conditional Use Permit to allow the demolition and construction of an approximately 2600 square foot commercial building, including drive thru and after midnight use. (Jack in the Box)

The Police Department has reviewed the above referenced application for a Conditional Use Permit to allow the complete demolition of the existing building and construction of a new Jack in The Box. The Hours of Operation would be from 6:00 a.m. to Midnight for the dining room, and 24 hour operation for the drive-thru.

General Site Comments:

The applicant for the proposed project would like to leave the existing steps with an opening in the pre-cast wall on the N/E side of the project site. The opening in the pre-cast wall and steps are used as pedestrian access for the surrounding Community. Immediately North of the opening for the pre-cast wall is a retail store (Liquor Store) which primary business is the off-sale of alcohol. The steps often are used as an area to congregate/loiter and often contribute to disturbances in the area.

The proposed development will be using the area south of the opening in the pre-cast wall for the entry point to the drive-thru which would also endanger the safety of pedestrians walking in the parking lot.

I would recommend that the applicant close off the opening in the pre-cast wall with the construction of the new development to eliminate these issues. If this pedestrian access is closed, pedestrians can still travel on sidewalks to gain access to the affected areas.

The proposed project is utilizing existing parking lot light standards on the Westside and North side of the project site which are not adequate in their existing condition.

LIGHTING:

- Adequate lighting of parking lot and grounds contiguous to the building shall be provided with enough lighting of sufficient wattage to provide adequate illumination to make clearly visible the presence of any person on or about the premises during the hours of darkness and provide a safe secure environment for all persons, property, and vehicles on site.

LANDSCAPING:

- Landscaping shall be of the type and situated in locations to maximize observation while providing the desired degree of aesthetics. Tree Canopy should be properly maintained so it does not interfere with parking lot light standard which would diminish lighting/illumination of parking lots.

The San Jose Police Department is neutral to the issuance of a Conditional Use Permit and to allow drive-thru with after midnight use for application CP12-030.



MK9BD_SM2

1841 STORY ROAD

SAN JOSE, CA 95122

CP12-030



LEGEND & ABBREVIATIONS	
ALSO REFER TO LEGEND & ABBREVIATIONS ON CIVIL, SITE, PLUMBING, MECHANICAL, ELECTRICAL & KITCHEN DRAWINGS.	
	INDICATES SHEARWALL LOCATIONS WHERE NO CONDUIT OR PIPING WILL BE PERMITTED TO PENETRATE SILL OR TOP PLATE. SEE PLANS FOR ADDITIONAL NOTES.
	BATT INSULATION
	RIGID INSULATION
	GYPSUM BOARD
	CERAMIC AND QUARRY TILE
	PLYWOOD
	CONCRETE
	MASONRY
	ASPHALTIC CONCRETE PAVING
	EARTH GRADE
	SAND BASE
KITCHEN	ROOM NAME ROOM NUMBER
	INTERIOR FINISHES
	ITEMS SUPPLIED BY OWNER
	EXTERIOR MATERIAL / FINISH EXTERIOR COLOR
	INTERIOR ELEVATION
	DOOR SYMBOL
	SHEARWALL / ANCHOR BOLT SYMBOL
	FOOTING SYMBOL
	DETAIL NUMBER SHEET NUMBER
	WALL SECTION NUMBER / ELEV. NO. SHEET NUMBER
	BLDG. SECTION NUMBER SHEET NUMBER
	REVISION SYMBOL
	ELEVATION/DATUM MARK

DEFERRED SUBMITTALS
THE FOLLOWING DOCUMENTS WILL BE SUBMITTED AT A FUTURE DATE:

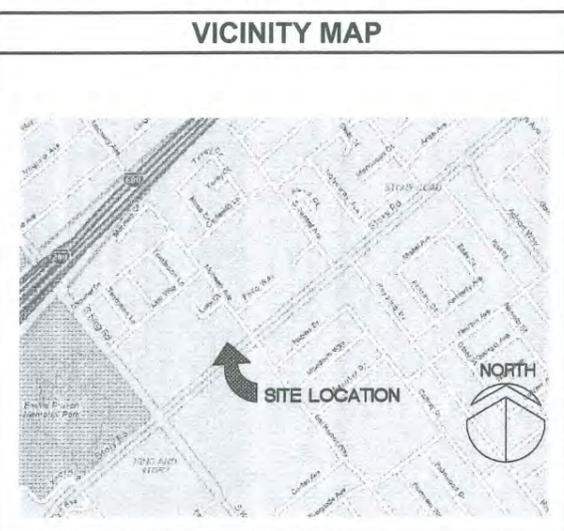
PLANNING NOTES
THE FOLLOWING ARE ARCHITECTURAL & SITE REVIEW CONDITIONS:

SHEET INDEX (TOTAL OF 15 SHEETS)	
GENERAL	
TS1.0	TITLE SHEET
D1.0	ALTA
SD1.0	DEMO SITE PLAN
SD1.1	SITE PLAN
SD2.1	AERIAL PLAN
SD2.2	DETAILS
ES1.1	SITE PLAN PHOTOMETRICS
C1	PRELIMINARY GRADING PLAN
C2	STORM WATER CONTROL PLAN
L1.0	PRELIMINARY LANDSCAPE PLAN
A1.0	FLOOR PLAN
A3.0	ROOF PLAN
A4.0	EXTERIOR ELEVATIONS
A4.1	EXTERIOR ELEVATIONS
SP1.0	EXISTING SITE PHOTOS

PROJECT DESCRIPTION
<p>THE PROPOSED PROJECT INCLUDES THE COMPLETE DEMOLITION OF AN EXISTING 1,695 SQ.FT. JACK IN THE BOX RESTAURANT AND CONSTRUCTION OF A NEW 2,588 SQ.FT. JACK IN THE BOX RESTAURANT WITH DRIVE-THRU AT 1841 STORY ROAD, SAN JOSE.</p> <p>ON SITE WORK WILL INCLUDE LANDSCAPING, PAVING FOR THE DRIVE-THRU AND WALKWAYS, NEW TRASH ENCLOSURE, AND PARKING SPACES. THE BUILDING STYLE AND FINISHES HAVE BEEN CHOSEN TO MATCH THE SURROUNDING AREA.</p> <p>PROPOSED USES/ACTIVITIES THAT WILL OCCUR INSIDE THE BUILDING ARE TYPICAL RESTAURANT/FAST FOOD DINING ACTIVITIES WHICH INCLUDE PREPARATION OF FOOD, TAKE-OUT/DRIVE-THRU TRANSACTIONS AND SEATED DINING.</p> <p>PROPOSED USES/ACTIVITIES THAT WILL OCCUR OUTSIDE THE BUILDING INCLUDE A DRIVE-THRU LANE, CUSTOMER PARKING, AND TRASH PICK-UP.</p> <p>HOURS OF OPERATION ARE MONDAY-SUNDAY 6:00AM-MIDNIGHT FOR THE DINING ROOM, AND 24 HR. OPERATION FOR THE DRIVE-THRU.</p> <p>TOTAL NUMBER OF EMPLOYEES: ±45 TOTAL NUMBER OF EMPLOYEES ON LARGEST SHIFT: 8</p>

CONSULTANT INFORMATION
<p>ARCHITECT: PM DESIGN GROUP, INC. ROY PEDRO, ARCHITECT 4470 YANKEE HILL RD., SUITE 100 ROCKLIN, CA 95677 PHONE: (916) 415-5358 rpdro@pmdginc.com</p> <p>OWNER: JACK IN THE BOX MIKE HOGENBOOM, CONST. MANAGER 9330 BALBOA AVENUE SAN DIEGO, CA 92123 PHONE: (916) 206-9024 steve.bowen@jackinthebox.com</p> <p>LANDSCAPE ARCHITECT: OLIVE STREET LANDSCAPE ROD SCACCALOSI, LANDSCAPE ARCHITECT 125 OLIVE STREET PETALUMA, CA 94952 PHONE: (707) 280-8990 rscac@obcglobal.net</p> <p>CIVIL ENGINEER: YANG CONSULTING GROUP ANDREW YANG, CIVIL ENGINEER 2703 7TH STREET, #354 BERKELEY, CA 94710 PHONE: (510) 730-2080 andrew@ycg-inc.com</p>

24 HOUR USE MITIGATION MEASURES
<p>POLICE ISSUES: DIRECT CONTACT INFORMATION FOR THE STORE MANAGER WILL BE PROVIDED TO THE POLICE DEPARTMENT. THE POLICE DEPARTMENT WILL BE CONTACTED IF ANY CRIMINAL ACTIVITIES OCCUR ON THE PROPERTY.</p> <p>RESIDENTIAL SEPARATION: THERE ARE 2 EXISTING CMU SOUND WALLS BETWEEN THE JACK IN THE BOX SITE AND THE NEAREST RESIDENTIAL TO THE NORTHWEST OF THE SITE.</p> <p>LITTER CONTROL: THE EXTERIOR OF THE SITE WILL BE PATROLLED ON A DAILY BASIS TO REMOVE AN LITTER. NO EXTERIOR TRASH RECEPTACLES WILL BE PLACED ON THE SITE.</p> <p>PARKING: SIGNS WILL BE INSTALL STATING THAT CUSTOMERS WILL BE TOWED IF PARKING IN THE PARKING LOT BETWEEN THE HOURS OF MIDNIGHT AND 6:00AM.</p> <p>LIGHTING: THE SITE WILL BE EVENLY LIT THROUGHOUT THE SITE.</p> <p>GRAFFITI: ALL PAINTED USED ON THE BUILDING, TRASH CAN, AND EXISTING SOUND WALL WILL BE PAINTED WITH ANTI-GRAFFITI PAINT.</p> <p>NOISE CONTROL: THE DRIVE THRU SPEAKER IS EQUIPPED WITH A WHITE NOISE SENSOR, SO THAT THE SPEAKER VOLUME WILL AUTOMATICALLY ADJUST DEPENDING ON THE SURROUNDING BACKGROUND NOISE.</p> <p>RESTROOM FACILITIES: RESTROOM FACILITIES WILL NOT BE ACCESSIBLE TO CUSTOMERS WHEN THE DINING ROOM IS CLOSED DURING THE HOURS OF MIDNIGHT AND 6:00AM.</p> <p>OUTDOOR ACTIVITIES: THE ONLY OUTDOOR ACTIVITIES THAT WILL OCCUR BETWEEN MIDNIGHT AND 6:00 AM ARE VEHICLES DRIVING THRU THE DRIVE THRU TO ORDER AND PICK UP FOOD.</p> <p>DRIVE THRU: NO WALK UP CUSTOMERS WILL BE SERVED IN THE DRIVE THRU AT ANYTIME.</p>



PROJECT INFORMATION	
OWNER:	JACK IN THE BOX, INC.
BUILDING ADDRESS:	1841 STORY ROAD
LEGAL JURISDICTION:	SAN JOSE, CA
APN NUMBER:	AB1-38-017
PLANNING ZONE:	CN
MUNICIPAL CODES:	2010 C.B.C., 2010 C.P.C., 2010 C.M.C., 2010 C.E.C., 2010 C.F.C. AND ALL APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS
USE/OCCUPANCY:	A-2 / RESTAURANT
CONSTRUCTION TYPE:	V-B
EXISTING BUILDING AREA:	1,695 S.F.
PROPOSED BUILDING AREA:	2,588 S.F.
TOTAL SITE AREA:	32,160 S.F. OR .7383 ACRES
EXISTING SEATING:	32 SEATS (INDOOR)
PROPOSED SEATING:	53 SEATS (INDOOR)
SITE COVERAGE:	LANDSCAPE 6,101 SQ.FT. = 19% PARKING LOT/DRIVE THRU 21,685 SQ.FT. = 67% BUILDING 2,588 SQ.FT. = 8%
PARKING EXISTING:	43
PARKING REQUIRED:	400 SQUARE FEET PER SEAT 2588/400 = 6 SPACES REQUIRED
PARKING PROVIDED:	30 SPACES + 2 HANDICAP SPACE = 32 SPACES
HOURS OF OPERATION:	6:00 AM TO MIDNIGHT FOR DINING AREA 24 HOUR FOR DRIVE-THRU

DATE: NOV 12, 2010

RELEASE: NOV 12, 2010

P.M. UPDATES: JUL 18, 2010

SUBMITTAL DATE: JUL 17, 2010

BID: _____

CONSTRUCTION: _____

REVISIONS

△ CITY COMMENTS 8/24/10

△ RESUBMIT 1/21/2012

△

△

△

△

PM Design Group Architects

4470 Yankee Hill Road, Suite 100
Rocklin, CA 95677
Ph: (916) 415-5358
e-mail: rpdro@pmdginc.com
Roy Pedro, Architect

SITE INFORMATION

MK TYPE: MK9BD_SM2

JIB #: 0415

ADDRESS: 1841 STORY ROAD
SAN JOSE, CA

DRAWN BY: _____

PROJECT #: 10B11002.1

SCALE: _____

TITLE SHEET

TS1.0



MK9BD_SM2 1841 STORY ROAD SAN JOSE, CA 95122

CP12-030



in the box

9330 BALBOA AVENUE
SAN DIEGO, CA 92123

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These designs, drawings and specifications are the property of Jack in the Box Inc. and shall not be copied or reproduced without its previous written consent. These drawings attached are intended to assist the architect in preparing site-specific construction documents provided that such use does not conflict with rules governing architects in the state where the work is to be performed. They will need to be modified to comply with all applicable codes and site-specific conditions.

DATES

RELEASE: NOV 12, 2010

P.M. UPDATES: JUL 18, 2011

SUBMITTAL DATE:

1: JUL 17, 2012

2:

3:

BID:

CONSTRUCTION:

REVISIONS

△ CITY COMMENTS 8/24/12

△ RESUBMIT 1/21/2012

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ALSO REFER TO LEGEND & ABBREVIATIONS ON CIVIL, SITE, PLUMBING, MECHANICAL, ELECTRICAL & KITCHEN DRAWINGS.	
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	PLYWOOD
	CONCRETE
	MASONRY
	ASPHALTIC CONCRETE PAVING
	EARTH GRADE
	SAND BASE
KITCHEN	
	ROOM NAME
	ROOM NUMBER
	INTERIOR FINISHES
	ITEMS SUPPLIED BY OWNER
	EXTERIOR MATERIAL / FINISH
	EXTERIOR COLOR
	INTERIOR ELEVATION
	DOOR SYMBOL
	SHEARWALL / ANCHOR BOLT SYMBOL
	FOOTING SYMBOL
	DETAIL NUMBER SHEET NUMBER
	WALL SECTION NUMBER / ELEV. NO. SHEET NUMBER
	BLDG. SECTION NUMBER SHEET NUMBER
	REVISION SYMBOL
	ELEVATION/DATUM MARK
AND	ANCHOR BOLT
AT	ASPHALTIC CONCRETE
A.C.	AMERICAN CONCRETE INSTITUTE
A.C.I.	ACOUSTIC CEILING PANEL
ACP	AMERICANS WITH DISABILITIES ACT
A.D.A.A.G.	ACCESSIBILITY GUIDELINES
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
A.P.A.	AMERICAN PLYWOOD ASSOCIATION
A.Q.T.	ABRASIVE QUARRY TILE
ARCH.	ARCHITECTURAL
A.S.T.M.	AMERICAN SOCIETY FOR TESTING MATERIALS
BLK'G	BLOCKING
B.N.	BOUNDARY NAIL
BM.	BEAM
B.O.J.	BOTTOM OF JOIST
BUR	BUILT UP ROOFING
BOTT. OR (B)	BOTTOM
C	CONDUIT
CL	CENTER LINE
C.B.B.	CEMENTITIOUS BACKER BOARD
C.J.	CONTROL JOINT (COLD JOINT)
CL.G.	CLEAR
CL.R.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION JOINT
CONST. JT.	CONSTRUCTION JOINT
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
COMP.	COMPACTED (ION)
C.T.	CERAMIC TILE
DBL	DOUBLE
DEG. OR °	DEGREE
DIA. OR Ø	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DR.	DOOR
DWG.(S)	DRAWING(S)
EA.	EACH
E.C.	ELECTRICAL CONTRACTOR
E.F.	EACH FACE
EL.	ELEVATION
E.N.	EDGE NAIL
E.O.C.	EDGE OF COUNTER / EDGE OF EQUIPMENT
EQ. OR =	EQUAL
E.S.	EACH SIDE
EXP.	EXPANSION
F.D.	FLOOR DRAIN
FIN.	FOUNDATION
F.F.	FINISHED FLOOR
F.G.	FLOAT GLASS
FL.	FLOOR
FIN.	FINISH
F.N.	FIELD NAIL
F.O.B.	FACE OF BEAM
F.O.J.	FACE OF JOIST
F.O.M.	FACE OF MASONRY
F.O.P.	FACE OF POST
F.O.S.	FACE OF STUD
F.R.P.	FIBERGLASS REINFORCED PANEL
F.S.	FLOOR SINK
FT.	FEET
FTG.	FOOTING
GA.	GAUGE (GAGE)
G.B.	GYPSUM BOARD
G.C.	GENERAL CONTRACTOR
GALV.	GALVANIZED
G.I.	GALVANIZED IRON
GLB.	GLUE-LAMINATED BEAM
H.D.	HUB DRAIN
HDR.	HEADER
HDW.	HARDWARE
HGR.	HANGER
HST. OR (HT)	HEIGHT
H.M.	HOLLOW METAL
HORIZ. OR (H)	HORIZONTAL
H.S.B.	HIGH STRENGTH BOLT
IN.	INCH
INFO.	INFORMATION
INV.	INVERTED
JT. OR (JNT.)	JOINT
JIB OR (J.I.B.)	Jack in the Box Inc. JOIST
JST.	JOIST
L	ANGLE
L.B. OR (#)	POUNDS
LG.	LONG
MAT.	MATERIAL
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MEZZ.	MEZZANINE
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MPH.	MILES PER HOUR
M.P.S.	MODULAR PANELBOARD SYSTEM
M.S.B.	MAIN SWITCH BOARD
MTL.	METAL
NO. OR (#)	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
O.H.	OPPOSITE HAND
OPNG.	OPENING
P.C.	PLUMBING CONTRACTOR
P. LAM	PLASTIC LAMINATE OR PARALLAM (BEAM)
PL	PLATE
R	PROPERTY LINE
PLYWD.	PLYWOOD
PR.	PAIR
PSF.	POUNDS PER SQ. FOOT
PSI.	POUNDS PER SQ. INCH
Q.T.	QUARRY TILE
RAD. OR (R)	RADIUS
REINF.	REINFORCEMENT
S.C.	SAW-CUT JOINT
SCHED.	SCHEDULE
SHT.	SHEET
SIM.	SIMILAR
SM	SHEET METAL
SMS	SHEET METAL SCREW
SPEC.(S)	SPECIFICATION(S)
SQ.	SQUARE
SQ. IN.	SQUARE INCH
SQ. FT.	SQUARE FOOT
STD.	STANDARD
STL	STEEL
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYM.	SYMMETRICAL
(T)	TOP
TEMP.	TEMPERED (TEMPERATURE)
THK.	THICKNESS
T & G	TONGUE & GROOVE
T.N.	TOE NAIL
T.O.B.	TOP OF BEAM
T.O.F.	TOP OF FOOTING
T.O.P.L.	TOP OF PLATE
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.B.C.	UNIFORM BUILDING CODE
U.O.N.	UNLESS OTHERWISE NOTED
VERT. OR (V)	VERTICAL
V.W.C.	VINYL WALLCOVERING
W/	WITH
WD.	WOOD
W.G.B.	BOARD
WT.	WEIGHT
WMM.	WELDED WIRE MESH

DEFERRED SUBMITTALS

THE FOLLOWING DOCUMENTS WILL BE SUBMITTED AT A FUTURE DATE:

PLANNING NOTES

THE FOLLOWING ARE ARCHITECTURAL & SITE REVIEW CONDITIONS:

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(TOTAL OF 15 SHEETS)

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THE PROPOSED PROJECT INCLUDES THE COMPLETE DEMOLITION OF AN EXISTING 1,695 SQ.FT. JACK IN THE BOX RESTAURANT AND CONSTRUCTION OF A NEW 2,588 SQ.FT. JACK IN THE BOX RESTAURANT WITH DRIVE-THRU AT 1841 STORY ROAD, SAN JOSE.

ON SITE WORK WILL INCLUDE LANDSCAPING, PAVING FOR THE DRIVE-THRU AND WALKWAYS, NEW TRASH ENCLOSURE, AND PARKING SPACES. THE BUILDING STYLE AND FINISHES HAVE BEEN CHOSEN TO MATCH THE SURROUNDING AREA.

PROPOSED USES/ACTIVITIES THAT WILL OCCUR INSIDE THE BUILDING ARE TYPICAL RESTAURANT/FAST FOOD DINING ACTIVITIES WHICH INCLUDE PREPARATION OF FOOD, TAKE-OUT/DRIVE-THRU TRANSACTIONS AND SEATED DINING.

PROPOSED USES/ACTIVITIES THAT WILL OCCUR OUTSIDE THE BUILDING INCLUDE A DRIVE-THRU LANE, CUSTOMER PARKING, AND TRASH PICK-UP.

HOURS OF OPERATION ARE MONDAY-SUNDAY 6:00AM-MIDNIGHT FOR THE DINING ROOM, AND 24 HR. OPERATION FOR THE DRIVE-THRU.

TOTAL NUMBER OF EMPLOYEES: ±45
TOTAL NUMBER OF EMPLOYEES ON LARGEST SHIFT: 8

CONSULTANT INFORMATION

ARCHITECT:
PM DESIGN GROUP, INC.
ROY PEDRO, ARCHITECT
4470 YANKEE HILL RD., SUITE 100
ROCKLIN, CA 95677
PHONE: (916) 415-5358
rpedro@pmdginc.com

LANDSCAPE ARCHITECT:
OLIVE STREET LANDSCAPE
ROD SCACCALOSI, LANDSCAPE ARCHITECT
125 OLIVE STREET
PETALUMA, CA 94952
PHONE: (707) 280-8990
rscoc@obcglobal.net

OWNER:
JACK IN THE BOX
MIKE HOGENBOOM, CONST. MANAGER
9330 BALBOA AVENUE
SAN DIEGO, CA 92123
PHONE: (916) 206-9024
steve.bowen@jackinthebox.com

CIVIL ENGINEER:
YANG CONSULTING GROUP
ANDREW YANG, CIVIL ENGINEER
2703 7TH STREET, #354
BERKELEY, CA 94710
PHONE: (510) 730-2080
andrew@ycg-inc.com

24 HOUR USE MITIGATION MEASURES

POLICE ISSUES: DIRECT CONTACT INFORMATION FOR THE STORE MANAGER WILL BE PROVIDED TO THE POLICE DEPARTMENT. THE POLICE DEPARTMENT WILL BE CONTACTED IF ANY CRIMINAL ACTIVITIES OCCUR ON THE PROPERTY.

RESIDENTIAL SEPARATION: THERE ARE 2 EXISTING CMU SOUND WALLS BETWEEN THE JACK IN THE BOX SITE AND THE NEAREST RESIDENTIAL TO THE NORTHWEST OF THE SITE.

LITTER CONTROL: THE EXTERIOR OF THE SITE WILL BE PATROLLED ON A DAILY BASIS TO REMOVE AN LITTER. NO EXTERIOR TRASH RECEPTACLES WILL BE PLACED ON THE SITE.

PARKING: SIGNS WILL BE INSTALL STATING THAT CUSTOMERS WILL BE TOWED IF PARKING IN THE PARKING LOT BETWEEN THE HOURS OF MIDNIGHT AND 6:00AM.

LIGHTING: THE SITE WILL BE EVENLY LIT THROUGHOUT THE SITE.

GRAFFITI: ALL PAINTED USED ON THE BUILDING, TRASH CAN, AND EXISTING SOUND WALL WILL BE WILL BE PAINTED WITH ANTI-GRAFFITI PAINT.

NOISE CONTROL: THE DRIVE THRU SPEAKER IS EQUIPPED WITH A WHITE NOISE SENSOR, SO THAT THE SPEAKER VOLUME WILL AUTOMATICALLY ADJUST DEPENDING ON THE SURROUNDING BACKGROUND NOISE.

RESTROOM FACILITIES: RESTROOM FACILITIES WILL NOT BE ACCESSIBLE TO CUSTOMERS WHEN THE DINING ROOM IS CLOSED DURING THE HOURS OF MIDNIGHT AND 6:00AM.

OUTDOOR ACTIVITIES: THE ONLY OUTDOOR ACTIVITIES THAT WILL OCCUR BETWEEN MIDNIGHT AND 6:00 AM ARE VEHICLES DRIVING THRU THE DRIVE THRU TO ORDER AND PICK UP FOOD.

DRIVE THRU: NO WALK UP CUSTOMERS WILL BE SERVED IN THE DRIVE THRU AT ANYTIME.

VICINITY MAP



PROJECT INFORMATION

OWNER: JACK IN THE BOX, INC.

BUILDING ADDRESS: 1841 STORY ROAD

LEGAL JURISDICTION: SAN JOSE, CA

APN NUMBER: 481-38-017

PLANNING ZONE: CN

MUNICIPAL CODES: 2010 C.B.C., 2010 C.P.C., 2010 C.M.C., 2010 C.E.C., 2010 C.F.C., AND ALL APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS

USE/OCCUPANCY: A-2 / RESTAURANT

CONSTRUCTION TYPE: V-B

EXISTING BUILDING AREA: 1,695 S.F.

PROPOSED BUILDING AREA: 2,588 S.F.

TOTAL SITE AREA: 32,160 S.F. OR .7383 ACRES

EXISTING SEATING: 32 SEATS (INDOOR)

PROPOSED SEATING: 53 SEATS (INDOOR)

SITE COVERAGE: LANDSCAPE 6,101 SQ.FT. = 19%
PARKING LOT/DRIVE THRU 21,685 SQ.FT. = 67%
BUILDING 2,588 SQ.FT. = 8%

PARKING EXISTING: 43

PARKING REQUIRED: 400 SQUARE FEET PER SEAT
2588/400 = 6 SPACES REQUIRED

PARKING PROVIDED: 30 SPACES + 2 HANDICAP SPACE = 32 SPACES

HOURS OF OPERATION: 6:00 AM TO MIDNIGHT FOR DINING AREA
24 HOUR FOR DRIVE-THRU

SITE INFORMATION

MK TYPE: MK9BD_SM2

JIB #: 0415

ADDRESS:
1841 STORY ROAD
SAN JOSE, CA

DRAWN BY:

PROJECT #: JB11002.1

SCALE:

TITLE SHEET

TS1.0

2-030



4470 Yankee Hill Road, Suite 100
Rocklin, CA 95677

Ph: (916) 415-5358

rpedro@pmdginc.com

Roy Pedro, Architect

ABBREVIATIONS

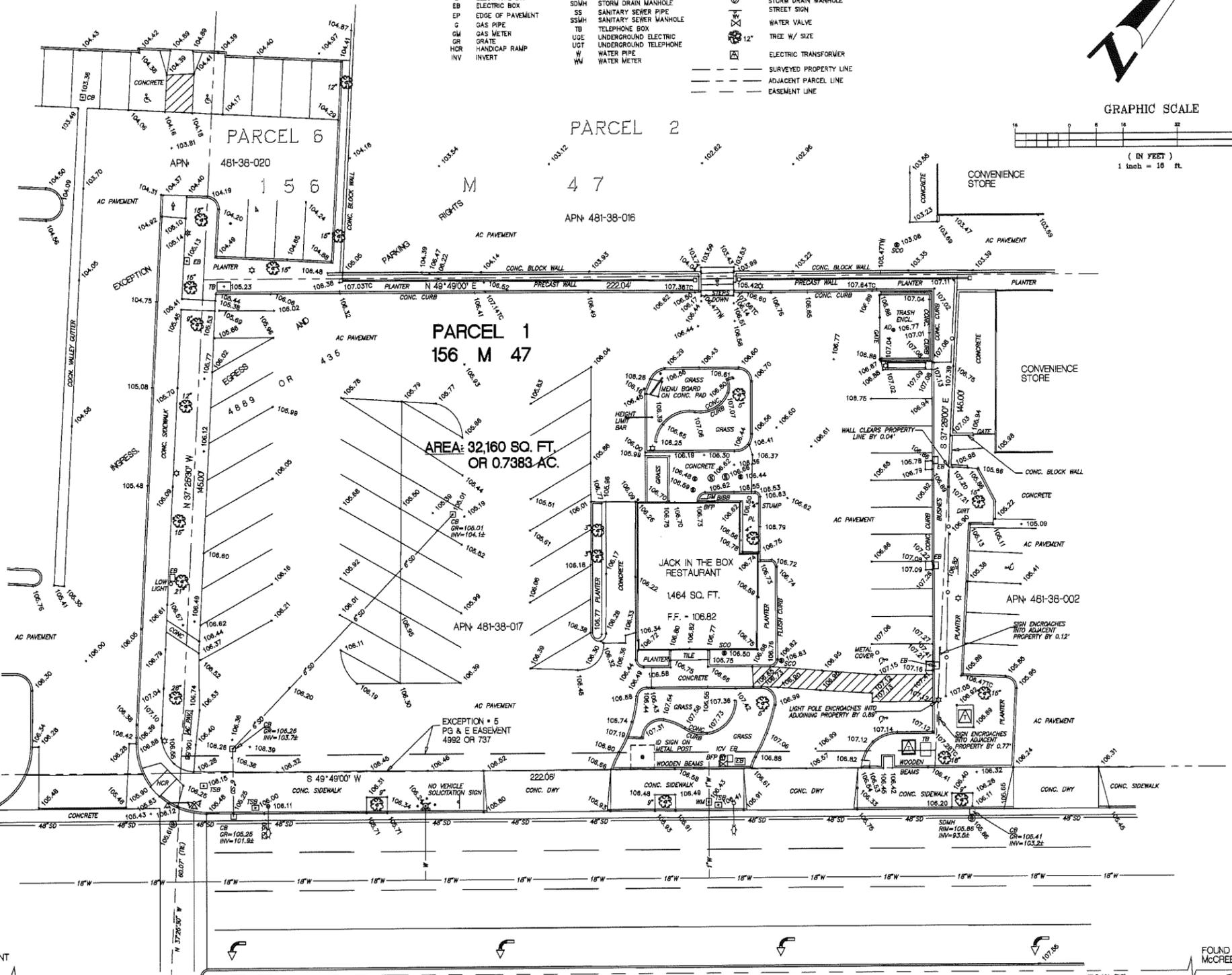
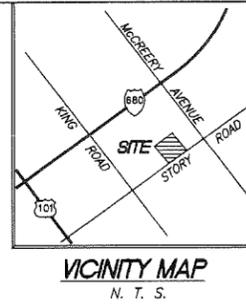
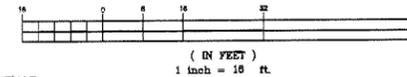
AC	ASPHALT CONCRETE	ICV	IRRIGATION CONTROL VALVE
AD	AREA DRAIN	PL	PLANTER
CB	CATCH BASIN	SCD	SEWER CLEANOUT
DWY	DRIVEWAY	SD	STORM DRAIN PIPE
E	ELECTRICAL LINE	SDMH	STORM DRAIN MANHOLE
EB	ELECTRIC BOX	SS	SANITARY SEWER PIPE
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
G	GAS PIPE	TB	TELEPHONE BOX
GM	GAS METER	UG	UNDERGROUND ELECTRIC
GR	GRATE	UGT	UNDERGROUND TELEPHONE
HDR	HANDICAP RAMP	W	WATER PIPE
INV	INVERT	WM	WATER METER

SYMBOLS

	FIRE HYDRANT
	LIGHT POST
	FOUND MONUMENT
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	STREET SIGN
	WATER VALVE
	TREE W/ SIZE
	ELECTRIC TRANSFORMER
	SURVEYED PROPERTY LINE
	ADJACENT PARCEL LINE
	EASEMENT LINE



GRAPHIC SCALE



PARCEL 2
M 47
APN 481-38-016

PARCEL 1
156 M 47
AREA: 32,160 SQ. FT. OR 0.7383 AC.
APN 481-38-017

JACK IN THE BOX RESTAURANT
1464 SQ. FT.
F.F. = 106.82

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE CITY OF SAN JOSE, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1, AS SHOWN ON THAT CERTAIN MAP ENTITLED "RECORD OF SURVEY FOR TITLE INSURANCE & TRUST CO.", WHICH MAP WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, ON FEBRUARY 15, 1963 IN BOOK 156 OF MAPS AT PAGE 47.

EXCEPTING THEREFROM THE UNDERGROUND WATER, AS GRANTED IN THE DEED FROM CALIFORNIA PACIFIC TITLE INSURANCE COMPANY, A CORPORATION, TO SAN JOSE WATER WORKS, A CALIFORNIA CORPORATION, DATED AUGUST 15, 1960, RECORDED AUGUST 23, 1960 IN BOOK 4894, OFFICIAL RECORDS, PAGE 236, SANTA CLARA COUNTY RECORDS.

EASEMENTS PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE ORDER NO. NCS-474687-SAL DATED FEBRUARY 3, 2011.

EXCEPTION # 4: COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSESSMENTS, LIENS, CHARGES, TERMS AND PROVISIONS IN THE DOCUMENT RECORDED AUGUST 17, 1960 IN BOOK 4889, PAGE 435 OF OFFICIAL RECORDS.

DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED OCTOBER 8, 1962 IN BOOK 5746, PAGE 469 OF OFFICIAL RECORDS.

AFFECTS ENTIRE PROPERTY

EXCEPTION # 5: EASEMENT FOR PIPELINE PURPOSES IN FAVOR OF PACIFIC GAS AND ELECTRIC COMPANY, RECORDED NOVEMBER 25, 1960 IN BOOK 4992, PAGE 737 OF OFFICIAL RECORDS.

BASIS OF BEARINGS

THE MONUMENT LINE IN STORY ROAD SHOWN ON RECORD OF SURVEY FILED FOR RECORD IN BOOK 156 OF MAPS AT PAGE 47, SANTA CLARA COUNTY RECORDS, TAKEN AS NORTH 49°49'00" EAST, WAS USED AS BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

CITY OF SAN JOSE BM # 254
TOP OF FIRE HYDRANT, 3 FEET WEST OF THE WESTERLY CURB RETURN, LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF STORY ROAD WITH SUNSET AVENUE.

ELEVATION = 108.80 FEET, NGVD 29 DATUM.

FLOOD ZONE

D, PER COMMUNITY PANEL NO. 06 085C 0254H, DATED MAY 18, 2009.

SITE ZONE

CP: COMMERCIAL PEDESTRIAN

PARKING

43 TOTAL, INCLUDING 2 ACCESSIBLE SPACES

SURVEYOR'S CERTIFICATE

TO JACK IN THE BOX EASTERN DIVISION LP, A TEXAS LIMITED PARTNERSHIP AND FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 8(a), 8, 9, AND 11(b) OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON JULY 5, 2011.

DATE OF PLAN OR MAP JULY 19, 2011.



SIGNED: *Peter Zieba*
PIETR ZIEBA, LS 8248

UTILITY NOTE
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES, EXCEPT AS SHOWN ON THIS SURVEY. THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

NO.	DATE	DESCRIPTION	BY

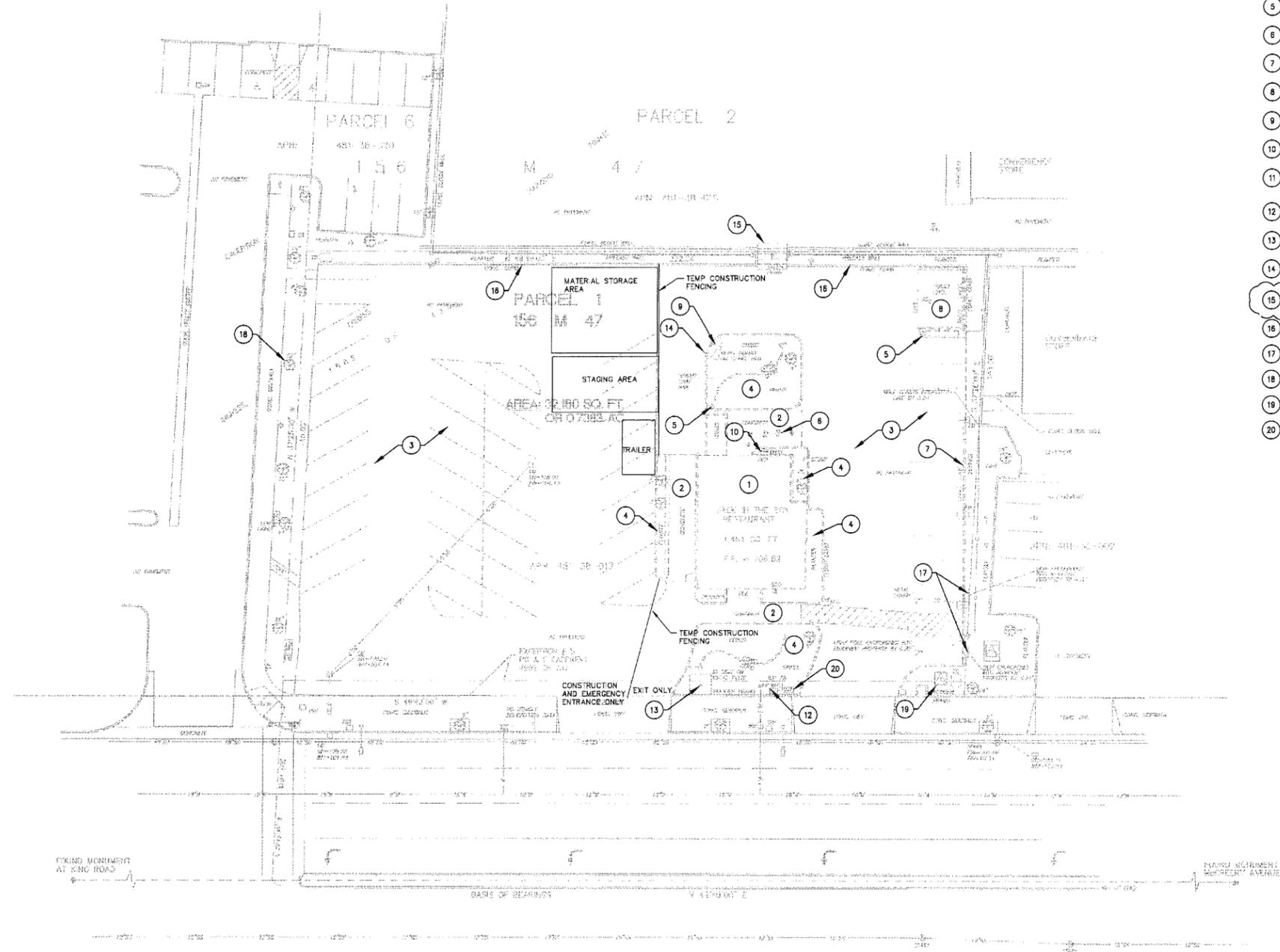
A.L.T.A. SURVEY			SHEET 1 OF 1 SHEETS
1841 STORY ROAD			
SAN JOSE	SANTA CLARA COUNTY	CALIFORNIA	JOB NO. 11 - 0718
Prepared for Jack in the Box			
ZIBATECH LAND SURVEYING			STORE • 415
8925 WINDBOR WAY SAN RAMON, CALIFORNIA 94583			
PHONE: (925) 551-0108			FAX: (925) 551-0108

CONSTRUCTION NOTES

1. BUILDING TO REMAIN OPEN AND IN OPERATION DURING CONSTRUCTION.
2. PARKING LOT TO EAST OF BUILDING AND DRIVE THRU TO REMAIN ACCESSIBLE DURING CONSTRUCTION.

DEMOLITION PLAN NOTES

- 1 DEMOLISH EXISTING BUILDING, PROTECT EXISTING UTILITIES IN PLACE. PER CIVIL PLANS.
- 2 DEMOLISH EXISTING CONCRETE PAVING AND WALKWAYS.
- 3 DEMOLISH EXISTING PARKING LOT AS REQUIRED FOR NEW LAYOUT.
- 4 DEMOLISH EXISTING LANDSCAPE AREA AND/OR TREES.
- 5 DEMOLISH EXISTING PARKING LOT LIGHT STANDARD.
- 6 DEMOLISH EXISTING GREASE INTERCEPTOR.
- 7 DEMO EXISTING CURB. PROTECT EXISTING LANDSCAPE.
- 8 DEMOLISH EXISTING TRASH ENCLOSURE.
- 9 DEMOLISH EXISTING MENU BOARD. PROTECT ELECTRICAL.
- 10 EXISTING GAS METER TO BE REMOVED. GAS LINE TO BE REDIRECTED TO NEW GAS METER LOCATION.
- 11 EXISTING ELECTRICAL SWITCH GEAR TO BE REMOVED AND LINES TO BE REDIRECTED TO NEW ELECTRICAL LOCATION.
- 12 EXISTING BACK FLOW PREVENTER TO REMAIN. PROTECT IN PLACE.
- 13 DEMOLISH EXISTING NON CONFORMING POLE SIGN.
- 14 DEMOLISH ALL EXISTING GUARD POSTS.
- 15 EXISTING STEPS TO BE REMOVED.
- 16 EXISTING CURB TO REMAIN.
- 17 REMOVE EXISTING HANDICAP POLE SIGN.
- 18 EXISTING PALM TREES ALONG DRIVE AISLE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 19 EXISTING TRANSFORMER TO REMAIN. PROTECT DURING CONSTRUCTION.
- 20 REMOVE EXISTING WOOD BEANS ALONG SIDEWALK AND AROUND ELECTRICAL BOX. PROTECT ALL EXISTING SURROUNDING UTILITIES.



**Jack
in the box**

9330 BALBOA AVENUE
SAN DIEGO, CA 92123

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These drawings attached are intended to assist the contractor in preparing all-step construction documents provided that such use does not conflict with rules governing architects in the state where the work is to be performed. They are not to be modified to comply with all applicable codes and site-specific conditions.

DATES

RELEASE: NOV 12, 2010

P.M. UPDATES: JUL 18, 2011

SUBMITTAL DATE:

1: JUL 17, 2012

2: _____

3: _____

BID: _____

CONSTRUCTION: _____

REVISIONS

▲ CITY COMMENTS 8/24/12

▲ RESUBMIT 1/21/2012

▲ _____

▲ _____

▲ _____

▲ _____

▲ _____



4470 Yankee Hill Rd, Suite 100
ROCKLIN CA 95677

Ph: (916) 415-5358

e-mail: rpedro@pmdginc.com

Roy Pedro, Architect

SITE INFORMATION

MK TYPE: MK9BD_SM2

JIB #: 0415

ADDRESS:

1841 STORY ROAD

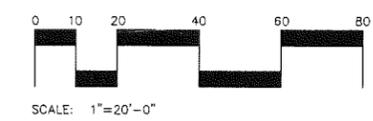
SAN JOSE, CA

DRAWN BY:

PROJECT #: JIB11002.1

SCALE:

SCALE: _____



SCALE: 1"=20'-0"



**EXISTING/DEMO
SITE PLAN**

D1.0



Jack
in the box

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SAN DIEGO, CA 92123

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REVISIONS

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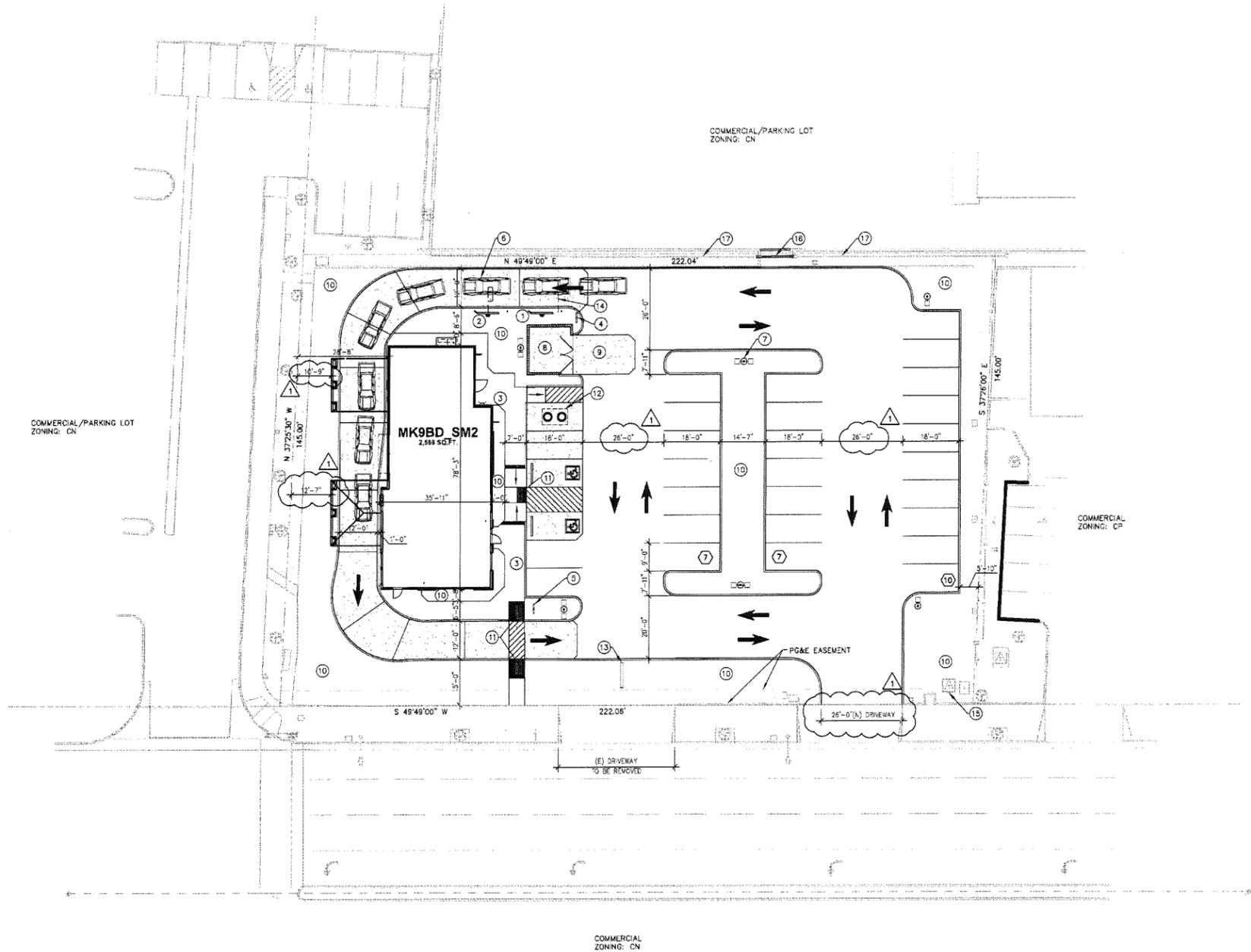
▲ RESUBMIT 1/21/2012

▲ _____

▲ _____

▲ _____

▲ _____

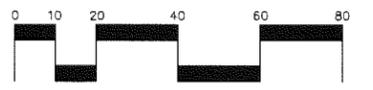


SITE PLAN NOTES

- ① MENU BOARD
- ② SPEAKER BOARD
- ③ CONCRETE SIDEWALK
- ④ DRIVE-THRU DIRECTIONAL SIGN
- ⑤ 'THANK YOU' AND 'DO NOT ENTER' SIGN
- ⑥ DRIVE-THRU CAR STACKING 7
- ⑦ NEW PARKING LOT LIGHT STANDARD (TYP. OF 6)
- ⑧ CMU TRASH ENCLOSURE
- ⑨ CONCRETE APRON FOR TRASH ENCLOSURE
- ⑩ NEW LANDSCAPE TO BE INSTALLED
- ⑪ DETECTABLE WARNINGS (IE: TRUNCATED DOMES)
- ⑫ 1500 GAL. GREASE INTERCEPTOR
- ⑬ (N) MONUMENT SIGN, UNDER SEPARATE PERMIT.
- ⑭ HEIGHT CLEARANCE POLE SIGN
- ⑮ (E) TRANSFORMER LOCATION

- ▲ ⑯ INFILL SOUND WALL TO MATCH EXISTING WALL WHERE STEPS ARE REMOVED.
- ▲ ⑰ (E) WALL TO REMAN. 6' TO BE PAINTED WITH ANTI-GRAFFITI PAINT.

NORTH



SCALE: 1"=20'-0"

SITE INFORMATION

MK TYPE: MK9BD_SM2

JIB #: 0415

ADDRESS:
1841 STORY ROAD
SAN JOSE, CA

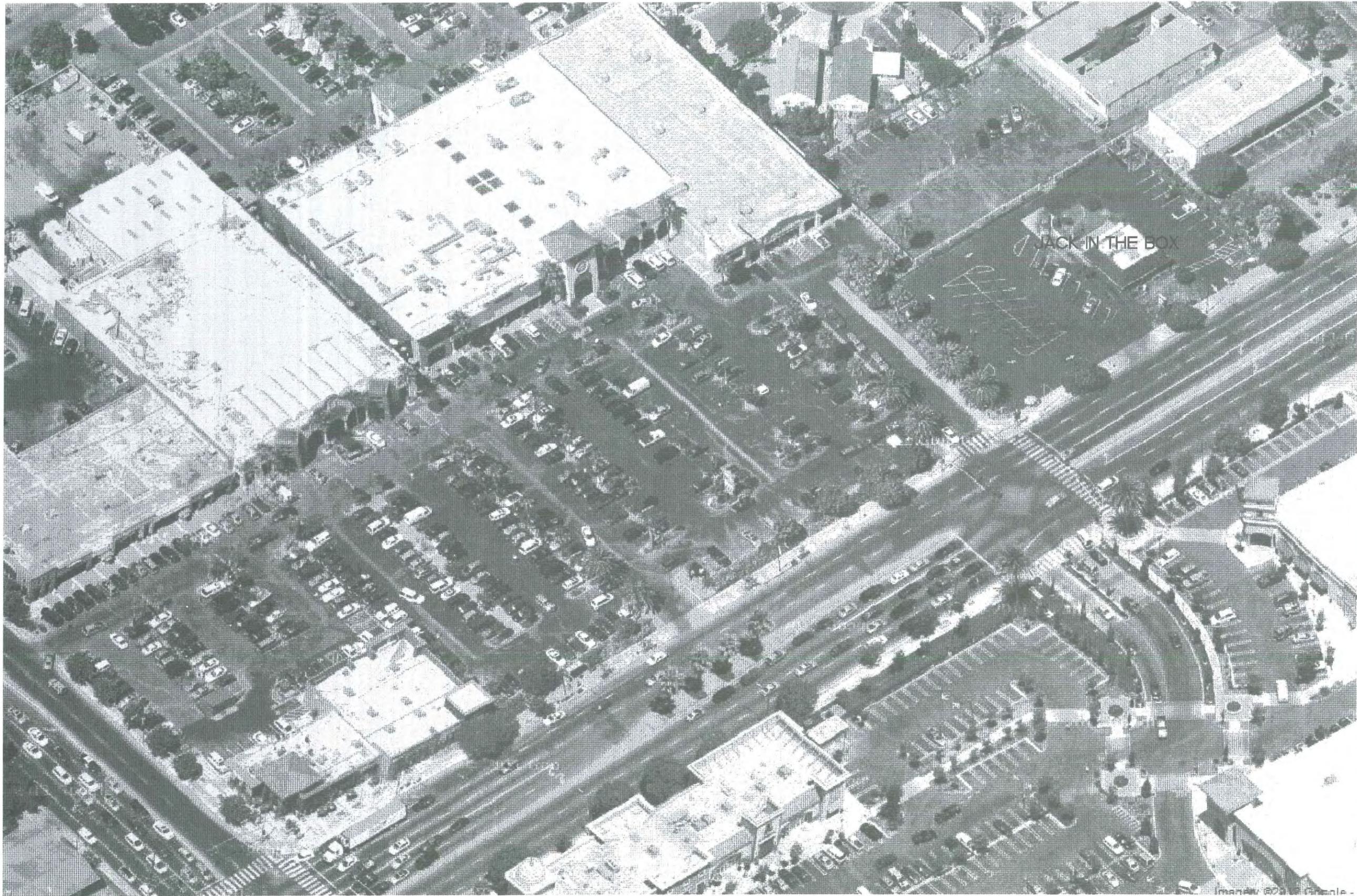
DRAWN BY: _____

PROJECT #: JIB11002.1

SCALE: 1"=10'-0"

SITE
PLAN

SD1.0



in the box

9330 BALBOA AVENUE
SAN DIEGO, CA 92123

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1: JUL 17, 2012

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BID: _____

CONSTRUCTION: _____

REVISIONS

▲ CITY COMMENTS 8/24/12

▲ RESUBMIT 1/21/2012

▲ _____

▲ _____

▲ _____

▲ _____

▲ _____



4470 Yancee Hill Rd., Suite 100
ROCKLIN CA 95677

Ph. (916) 415-5358

e-mail: rpardo@pmdginc.com

Roy Pardo, Architect

SITE INFORMATION

MK TYPE: MK9BD_SM2

JIB #: 0415

ADDRESS:
1841 STORY ROAD
SAN JOSE, CA

DRAWN BY: _____

PROJECT #: JIB11002.1

SCALE: 1"=10'-0"

**AERIAL
PLAN**

SD1.1





**Jack
in the box**

9330 BALBOA AVENUE
SAN DIEGO, CA 92123

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P.M. UPDATES: JUL 18, 2011

SUBMITTAL DATE:

1: JUL 17, 2012

2:

3:

BID:

CONSTRUCTION:

REVISIONS

- △
- △
- △
- △
- △
- △



ROBISON ENGINEERING, INC
20300 10TH AVE N.E.
SHORELINE, WA 98155
PH: 206-364-3343 FAX: 206-364-3383



4470 Yankee Hill Rd., Suite 100
ROCKLIN CA 95677
Ph: (916) 415-5358
e-mail: rpedra@pmdginc.com
Roy Pedro, Architect

SITE INFORMATION

MK TYPE: MK9BD_SM2

JIB #: 0415

ADDRESS:
1841 STORY ROAD
SAN JOSE, CA

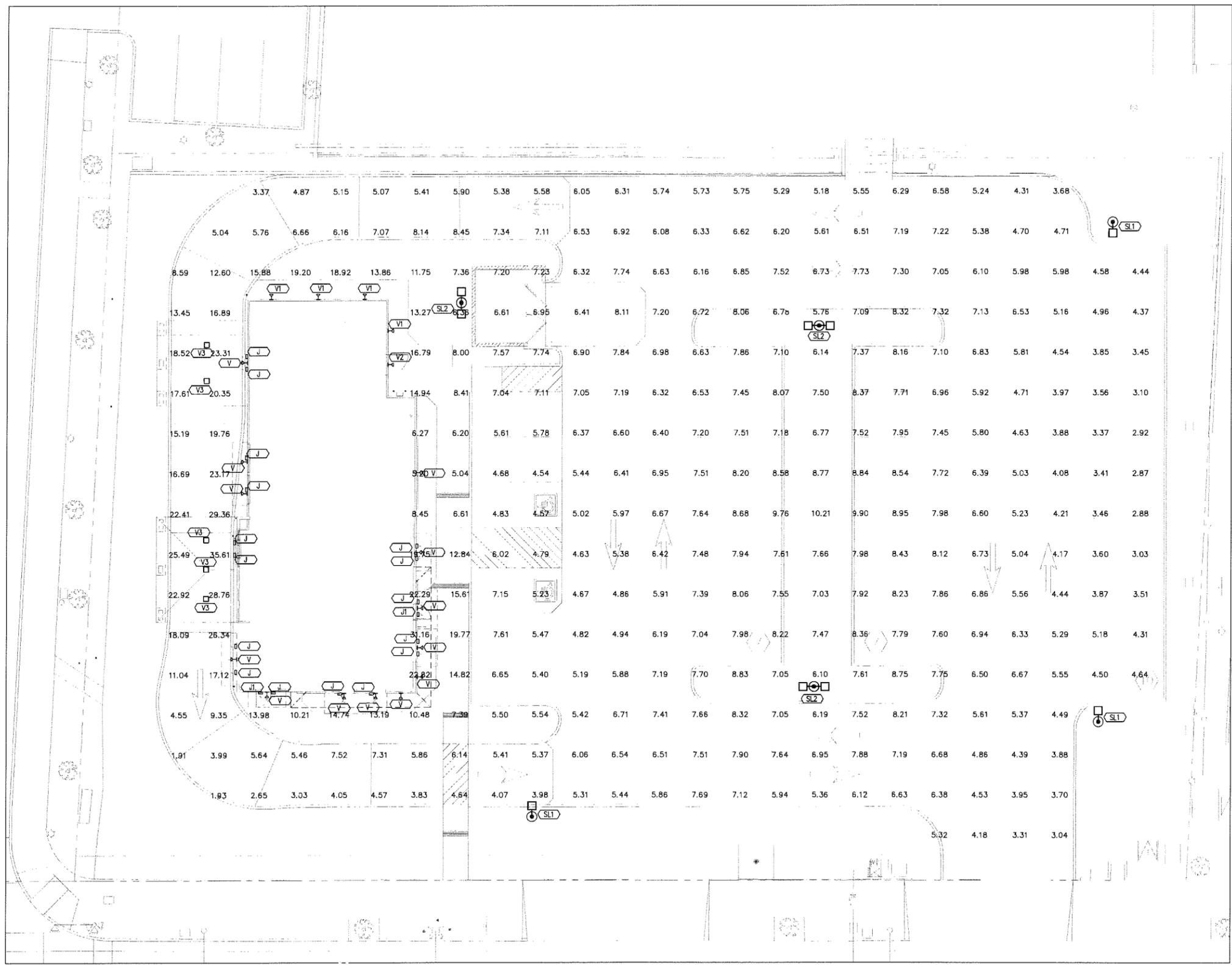
DRAWN BY:

PROJECT #: JIB11002.1

SCALE: AS NOTED

**SITE PLAN
PHOTOMETRICS**

ES1.1



Mounting Height Detail

POLE HEIGHT=22'

BASE HT = 3'

ELEVATION (N.T.S.)

- Proposed poles meet 100 MPH sustained winds with fixture type and configuration specified here
- Pole base design by others

Pole Schedule

(3) PS4S25C1BK (22' X 4" STEEL SQUARE POLE)

(3) PS4S25C2BK (22' X 4" STEEL SQUARE POLE 2@180)

* EC TO CONFIRM FINAL POLE SPECIFICATIONS WITH MANUFACTURER

Proposed poles meet 100MPH sustained winds.

Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Description
⊥	13	V	SINGLE	700	0.850	10W LED GOOSENECK (BY OTHERS)
⊥	5	V1/V2	SINGLE	2280	0.850	33W LED WALL SCONCE (BY OTHERS)
□	5	V3	SINGLE	5628	0.850	CREE CAN-304-5M-RS-08-D-350-43K
□	18	J/J1	SINGLE	1763	0.850	CREE SEC-EDG-2M-WM-02-D-350-40K
⊙	3	SL1	SINGLE	20743	0.750	CREE ARE-EHO-4MB-DM-12-D-1000-57K
⊙	3	SL2	BACK-BACK	20743	0.750	CREE ARE-EHO-4MB-DM-12-D-1000-57K(DUAL)

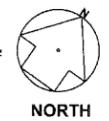
PARKING LOT LIGHTING

General Photometric Schedule

AVERAGE FOOTCANDLES	7.70
MAXIMUM FOOTCANDLES	35.61
MINIMUM FOOTCANDLES	1.91
MINIMUM TO MAXIMUM FC RATIO	0.05
MAXIMUM TO MINIMUM FC RATIO	18.62
AVERAGE TO MINIMUM FC RATIO	4.03

SITE PHOTOMETRIC PLAN

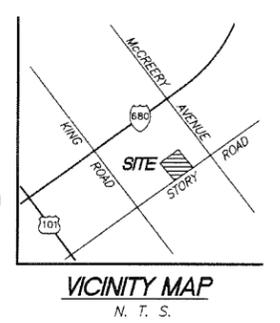
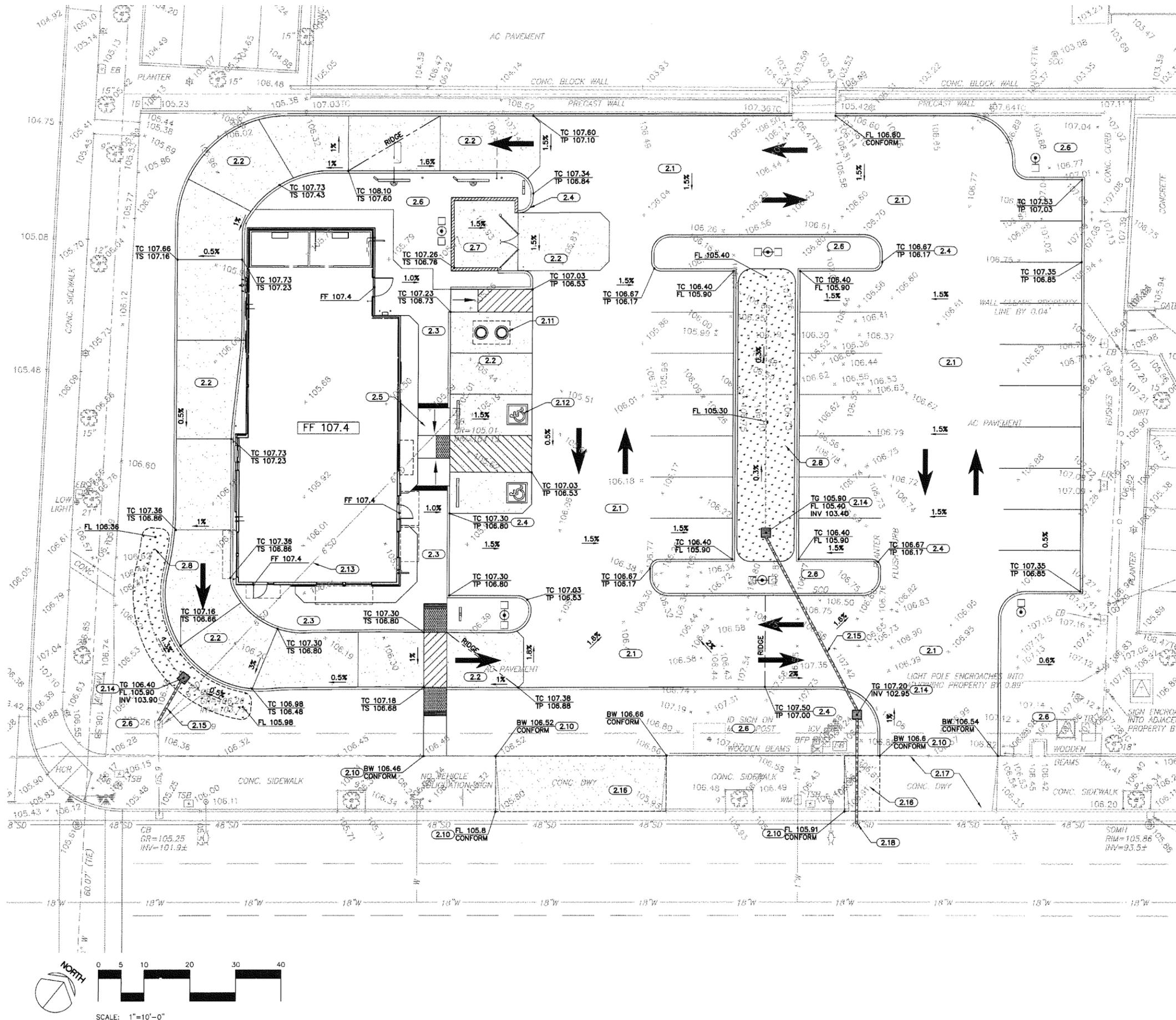
SCALE: 1" = 10'



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GRADING LEGEND

	EXISTING SPOT ELEVATION
	PROPOSED ELEVATION
	DIRECTION OF DRAINAGE FLOW
	PROPERTY LINE
	GRADE BREAK
	LIMIT OF PROPOSED WORK/CONFORM
	FLOW LINE
	STORM DRAIN PIPE
	SUB DRAIN PIPE
	NEW CONCRETE
	BIO-SWALE

EP	EDGE OF PAVEMENT	LP	LOW POINT
BW	BACK OF WALK	TC	TOP OF CURB
FG	FINISH GRADE	FF	TOP OF FLOOR SLAB
FL	FLOW LINE	TP	TOP OF PAVEMENT
GB	GRADE BREAK	TS	TOP OF SLAB
LIP	EDGE OF SWALE OR GUTTER	TG	TOP OF GRATE
HP	HIGHT POINT		

KEY NOTES

- 0.0 ASPHALT PAVEMENT
- 2.1 CONCRETE PAVEMENT
- 2.3 RAISED CONCRETE SIDEWALK
- 2.4 CONCRETE CURB
- 2.5 ACCESSIBLE RAMP, 8.33% MAXIMUM SLOPE, WITH A 2% MAXIMUM CROSS-SLOPE.
- 2.6 LANDSCAPE AREA
- 2.7 TRASH ENCLOSURE
- 2.8 NEW BIO-RETENTION SYSTEM
- 2.9 NOT USED.
- 2.10 LIMIT OF IMPROVEMENT
- 2.11 GREASE TRAP, REFER TO ARCHITECTURAL AND MECHANICAL PLANS FOR SIZE AND DETAILS.
- 2.12 VAN ACCESSIBLE PARKING SPACE, 2% MAXIMUM SLOPE FROM ALL DIRECTIONS.
- 2.13 ABANDON EXISTING 6" STORM DRAIN PIPING
- 2.14 DROP INLET
- 2.15 NEW STORM DRAINAGE PIPE
- 2.16 REPLACE EXISTING DRIVEWAY WITH NEW CONCRETE SIDEWALK, CURB AND GUTTER PER CITY OF SAN JOSE DETAIL.
- 2.17 EXISTING DRIVEWAY TO REMAIN.
- 2.18 CONNECT NEW STORM LINE TO 48" MAIN PER CITY STANDARDS.

FLOOD ZONE NOTE

1. THIS PROJECT IS IN FLOOD ZONE D - AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE, FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) ON IN COMMUNITY PANEL NO: 06085C 0254H DATED: MAY 18, 2009

Jack
in the box
9330 BALBOA AVENUE
SAN DIEGO, CA 92123
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2:
3:

REVISIONS

▲ CITY COMMENTS 8/24/12
▲
▲
▲
▲



PM group
Architects
4470 Yankee Hill Rd, Suite 100
ROCKLIN, CA 95777
Ph: (916) 415-5358
e-mail: rpardo@pmginc.com
Roy Fears, Architect

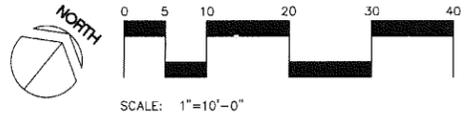
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SAN JOSE, CA

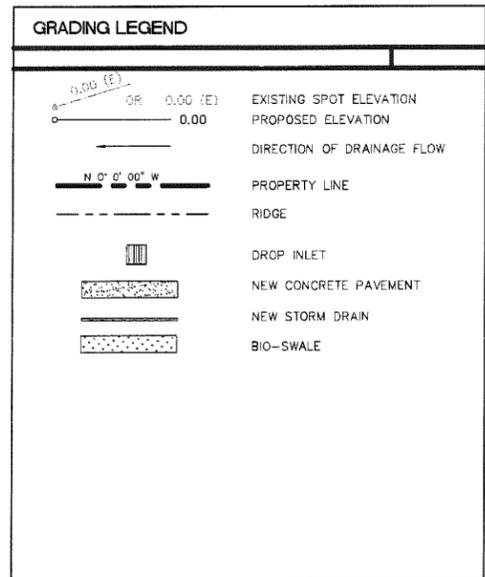
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PROJECT #: JIB11002.1
SCALE:

PRELIMINARY
GRADING AND
DRAINAGE PLAN

C1



BMP NUMERIC SIZING CALCULATION						
AREA ID	SURFACE	TOTAL AREA (S.F.)	BMP TO BE USED	DESIGN FACTOR	TREATMENT AREA REQUIRED (S.F.)	TREATMENT AREA PROVIDED (S.F.)
AREA 1	ROOF, DRIVE-THRU CONCRETE WALK	7,000 (0.16 ACRE)	BIO-RETENTION	0.04	280	306
AREA 2	ROOF, DRIVE-THRU CONCRETE, ASPHALT PAVING	18,700 (0.43 ACRE)	BIO-RETENTION	0.04	750	800
TOTAL		25,700			1,030	1,106



Page 4

INSTRUCTIONS FOR FILING A CONDITIONAL USE PERMIT/AMENDMENT

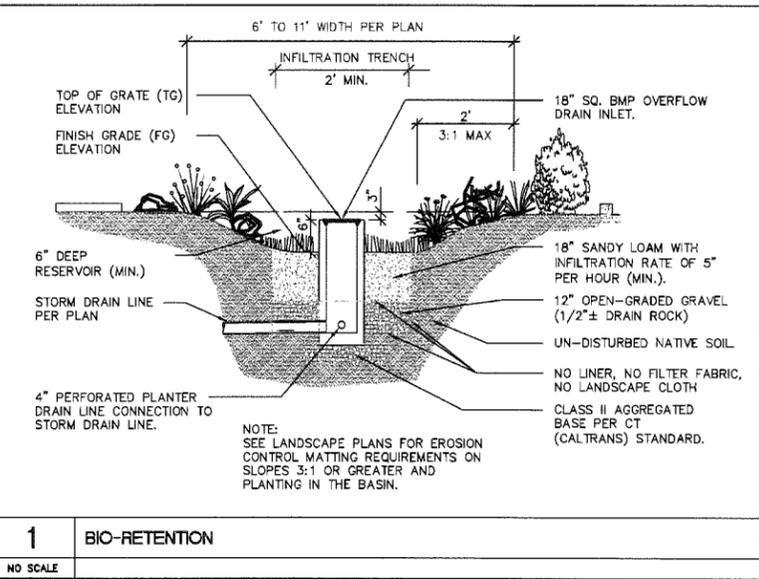
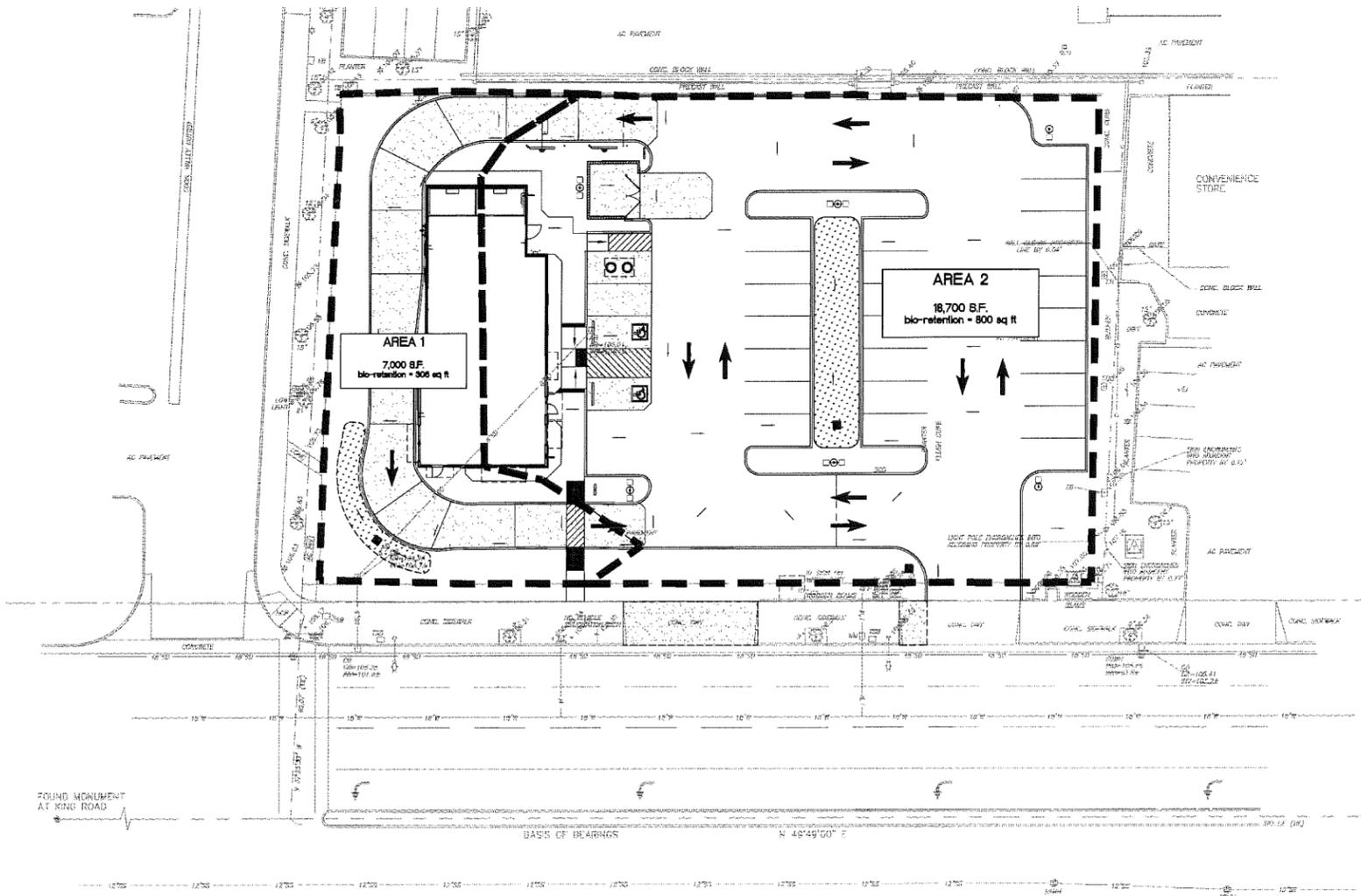
Please include this table on the stormwater/grading plan.

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE			
Total Site (acres)	Existing Condition of Site Area Disturbed (square feet)	Proposed Condition of Site Area Disturbed (square feet)	
		Replaced	New
0.73 ACRES		0.73 ACRES	
Impervious Surfaces			
Roof Areas	1,470	2,600	
Parking	25,480	18,280	
Stairwells, Patios, Decks, etc.	600	1,340	
Streets (public)			
Streets (private)			
Total Impervious Surfaces:	27,550	22,220	
PerVIOUS Surfaces			
Landscaped Areas	4,430	9,760	
PerVIOUS Paving			
Other PerVIOUS Surfaces (green roof, etc.)			
Total PerVIOUS Surfaces:	4,430	9,760	
Total Proposed Replaced - New Impervious Surfaces:			22,220
Total Proposed Replaced - New PerVIOUS Surfaces:			9,760

Regulation Projects: Any project that creates new and/or replaces (hardship or otherwise) 10,000 square feet or more of impervious surface area. Additional rules apply to the replacement of impervious surfaces when they are required for the Regulated Project that applies to its location (A.2.3.1.1) or (A.2.3.1.2) (commonly known as the "50% rule").

PerVIOUS: Impervious Surfaces: Impervious Surfaces: All impervious surfaces except to the extent of the site that use a pervious substrate (interlocking pavers, permeable concrete, etc.). Impervious Surfaces: All impervious surfaces except to the extent of the site that use a pervious substrate (interlocking pavers, permeable concrete, etc.).

PLEASE CALL THE APPOINTMENT DESK AT (408) 585-3656 FOR AN APPLICATION APPOINTMENT.



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DATES

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P.M. UPDATES: JUL 18, 2011

SUBMITTAL DATE:

1: JUL 17, 2012

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△ _____

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△ _____

REGISTERED PROFESSIONAL ENGINEER
ENGLU YANG
No. 70085
EXP. 9/30/14
CIVIL
STATE OF CALIFORNIA

PM
group
Architects

4470 Yankee Hill Rd. Suite 100
ROCKLIN CA 95677
Ph. (916) 415-5358
@PMG
pedro@pmdginc.com
Roy Pedro, Architect

SITE INFORMATION

MK TYPE: MK9BD_SM2

JIB #: 0415

ADDRESS:
1841 STORY ROAD
SAN JOSE, CA

DRAWN BY: _____

PROJECT #: JIB11002.1

SCALE: _____

STORM WATER CONTROL PLAN

C2



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These drawings are intended to assist the contractor in preparing the construction documents. It is the contractor's responsibility to verify all dimensions and quantities shown on these drawings. They are not to be used for any other purpose. They are not to be used for any other purpose. They are not to be used for any other purpose.

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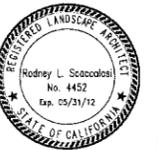
3: _____

BID: _____

CONSTRUCTION: _____

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- △ _____
- △ _____
- △ _____
- △ _____
- △ _____



ROD SCACCALOSI
LANDSCAPE ARCHITECT
707-280-8990
Clive@streetlandscape.com
Rod@livestreetlandscape.com



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ROCKLIN CA 95677
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e-mail: pearo@pmdginc.com
Roy Pedro, Architect

SITE INFORMATION

MK TYPE: MK9BD_SM2

JIB #: 0415

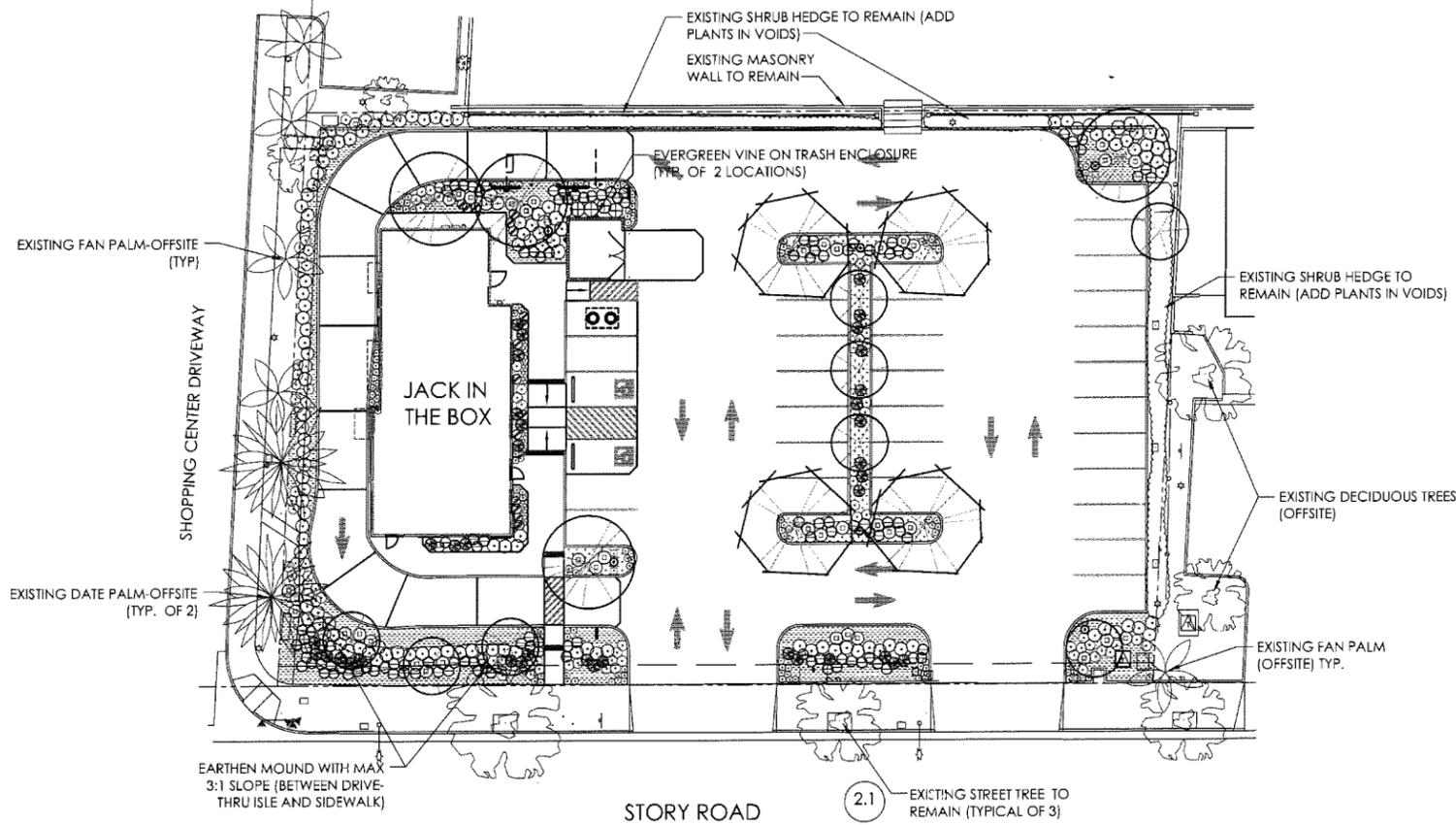
ADDRESS:
1641 STORY ROAD
SAN JOSE, CA

DRAWN BY: _____

PROJECT #: JIB11002

SCALE: 1"=20'-0"

PRELIMINARY
LANDSCAPE
PLAN
L1.0



LEGEND-PLANTS

TREES		Name	size	hgt.	h2o
					ramt.
4	Arbutus Marina	No common name	15 G.	30'	L
8	Lagerstroemia indica 'Cherokee'	Crape Myrtle	15 G.	25'	M
4	Zelkova serrata	Sawleaf Zelkova	15 G.	40'	M

SHRUBS

136	Hemerocallis 'Pardon Me'	Daylily	1 G.	1-6"	M
118	Rosmarinus officinalis prostrata	Trailing Rosemary	1 G.	2'	L
37	Phormium tenax 'Evening Glow'	New Zealand Flax	5 G.	3'-6"	M
42	Phormium 'Dazzler'	New Zealand Flax	5 G.	3'-6"	M
16	Camellia sasanqua 'Tanya'	Trailing camellia	1 G.	2'	H
12	Escallonia Fradesii	Escallonia	5 G.	6'	M
119	Rhaphiolepis Indica 'Spring Rapture'	India Hawthorne	5 G.	4'	M
103	Lantana martinicensis	Lantana	1 G.	2'6"	M
4	Buxus 'Green Beauty'	Boxwood	1 G.	5'	M

GROUNDCOVER

	Arctostaphylos 'Emerald Carpet'	1 gal.	6"	L
	Trailing Manzanita	3 oc.		
	Myoporum parvifolium	1 gal.	6"	L
	Myoporum	3 oc.		
	Ajuga reptans 'Callin's giant'	1 gal.	1'	H
	Carpet Bugle	18' oc.		

VINE

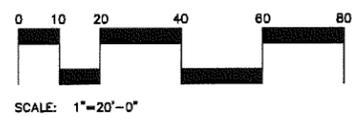
2	Ficus pumila	5 G.	-	M
	Creeping Fig			

GENERAL NOTES

- All landscape planting areas shall receive a uniform 3'-4" layer of organic mulch top dressing.
- The placement and spacing for groundcover shall be uniform and shall include planting up to base of tree and shrub crowns so that plant spacing is never greater than the spacing indicated on the legend.

KEY NOTE

- 2.1 PRESERVE/PROTECT EXISTING STREET TREES DURING CONSTRUCTION TO THE FULLEST EXTENT POSSIBLE. COORDINATE WITH CITY OF SAN JOSE STAFF FOR PROPER MEASURES





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▲ _____



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ROCKLIN CA 95677
Ph: (916) 415-5358
e-mail: rpetero@pmdginc.com
Roy Petero, Architect

SITE INFORMATION

MK TYPE: MK9BD_SM2

JIB #: 0415

ADDRESS:
1841 STORY ROAD
SAN JOSE, CA

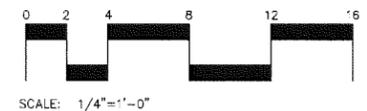
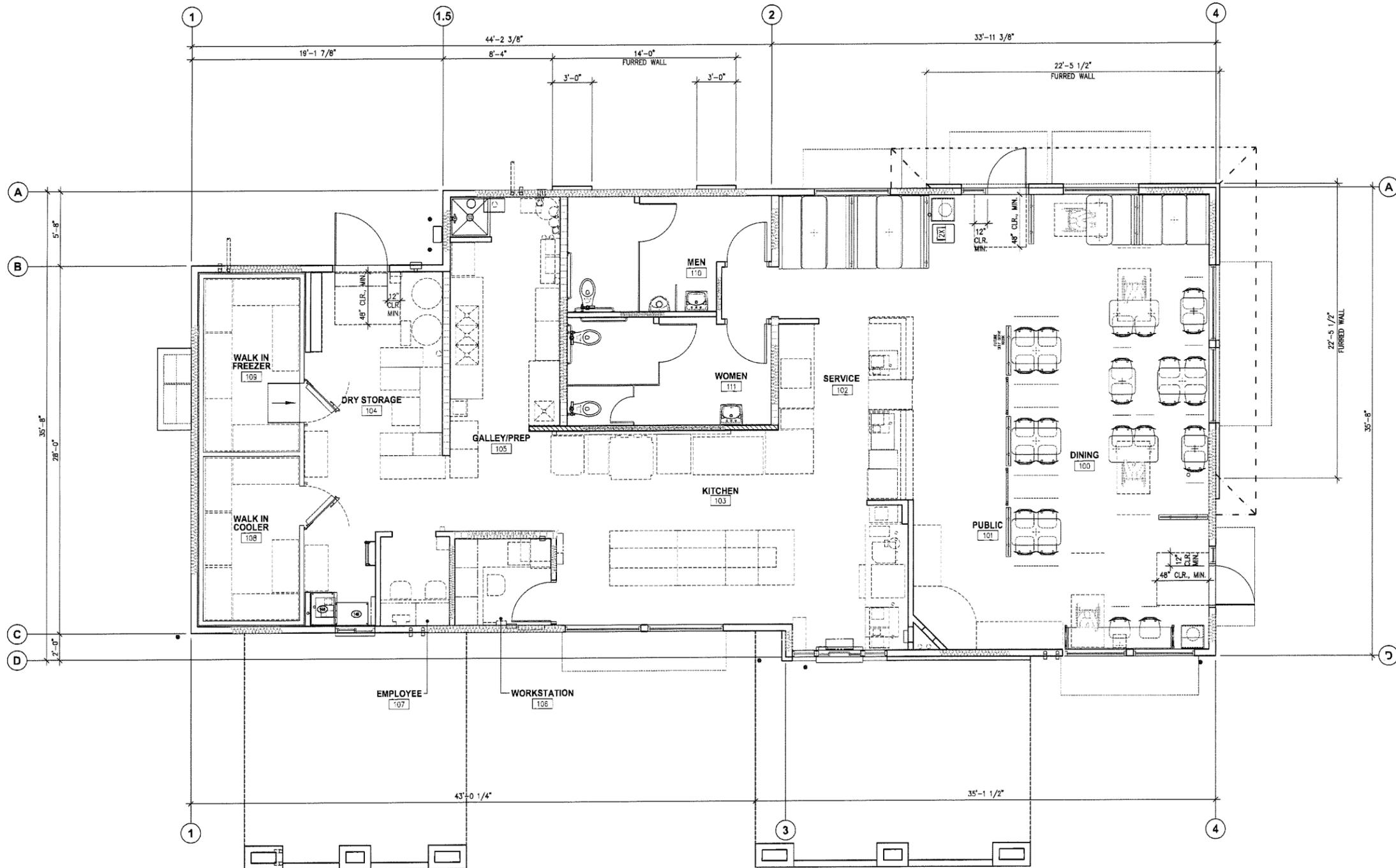
DRAWN BY: _____

PROJECT #: JIB11002.1

SCALE: 1/4" = 1'-0"

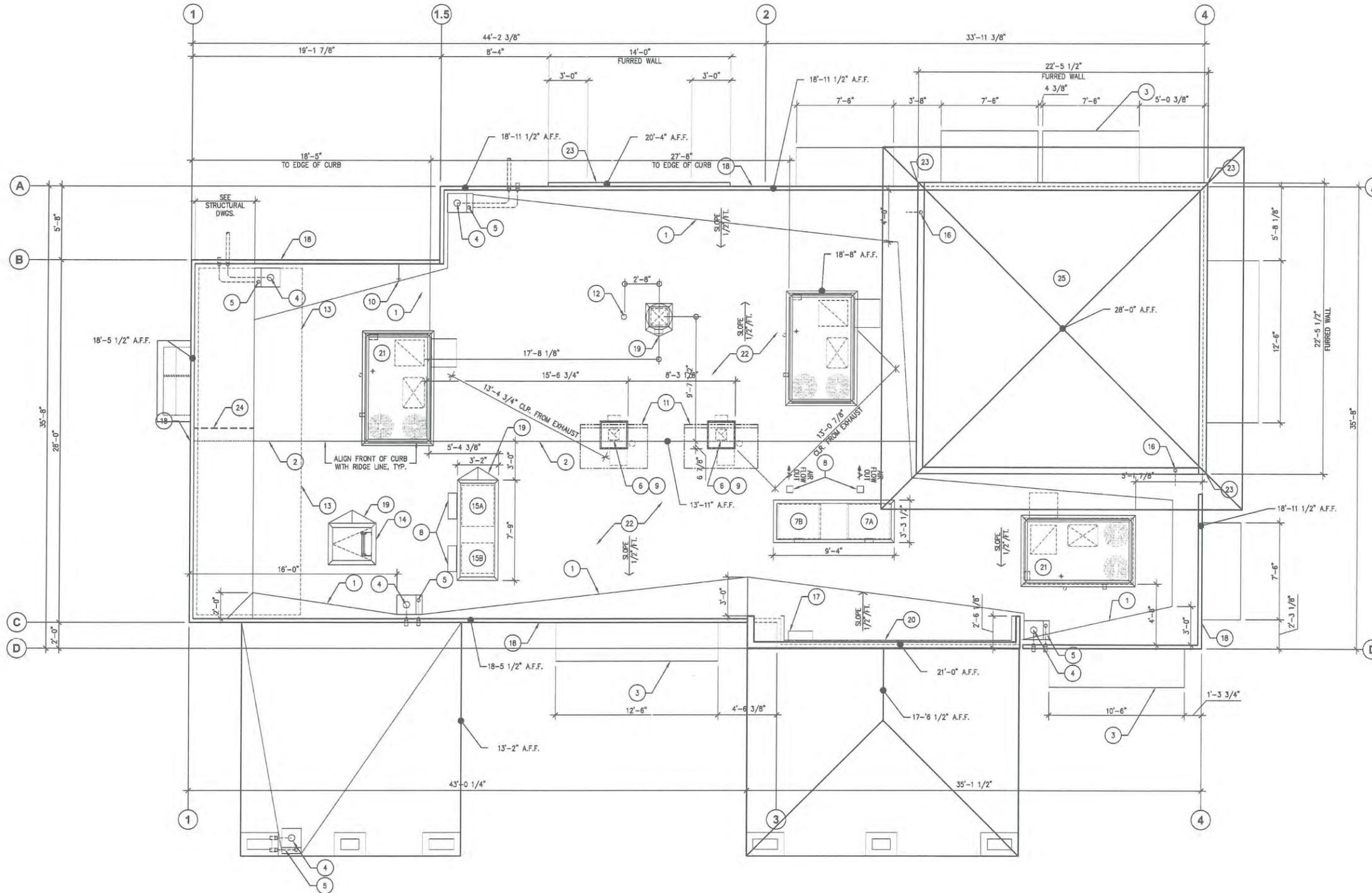
FLOOR PLAN

A1.0



KEY NOTES

- | | | | |
|--|---|---|----------------------|
| 1 CRICKET, TYP. SEE DETAIL 8/A9.0. | 9 GREASE EXHAUST FAN UNIT | 17 KITCHEN HOOD EXHAUST CONTROL PANELS, SEE ELECTRICAL DWGS. | 25 SPANISH TILE ROOF |
| 2 RIDGE LINE | 10 HOSE BIBB AT +18" ABOVE ROOF LEVEL, SEE PLUMBING DRAWINGS. | 18 PREFABRICATED DECORATIVE CAP, SEE EXT. ELEV. | |
| 3 AWNING BELOW | 11 HOOD BELOW | 19 CRICKET AT EQUIPMENT BASES | |
| 4 ROOF AND OVERFLOW DRAINS AT ROOF | 12 PLUMBING VENT, SEE DETAIL 12/A9.0. | 20 CANT STRIP, TYP. | |
| 5 ROOF DRAIN OVERFLOW LEADERS DOWN IN WALL | 13 LINE OF W.I.B. BELOW | 21 HVAC UNIT | |
| 6 1 HR. FIRE RATED DUCT WRAP AT HOOD, SEE SPECIFICATIONS. | 14 ROOF ACCESS | 22 CLASS 'A' BUILT-UP ROOFING | |
| 7A DRIVE-THRU ICE MAKER CONDENSER ON ROOF EQUIPMENT PLATFORM | 15A FREEZER REFRIGERATION UNIT | 23 AREA OF ADDITIONAL FURRING | |
| 7B SELF-SERVE ICE MAKER CONDENSER ON ROOF EQUIPMENT PLATFORM | 15B COOLER REFRIGERATION UNIT | 24 PROVIDE "FIRE BLOCK" AT 20'-0" O.C. MAX. WITH 5/8" TYPE 'X' GYP. BD. ON 2x4 STUDS AT 24" O.C., ALL JOINTS TAPED. | |
| 8 PITCH PAN | 16 DOWN SPOUT FROM GUTTER TO DRAIN ONTO ROOF DECK | | |



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ROCKLIN CA 95677
Ph: (916) 415-5358
e-mail: rpedra@pmdginc.com
Roy Pedro, Architect

SITE INFORMATION

MK TYPE: MK9BD_SM2
JOB #: 0415
ADDRESS:
1841 STORY ROAD
SAN JOSE, CA
DRAWN BY:
PROJECT #: JIB11002.1
SCALE: 1/4" = 1'-0"

ROOF PLAN

A3.0



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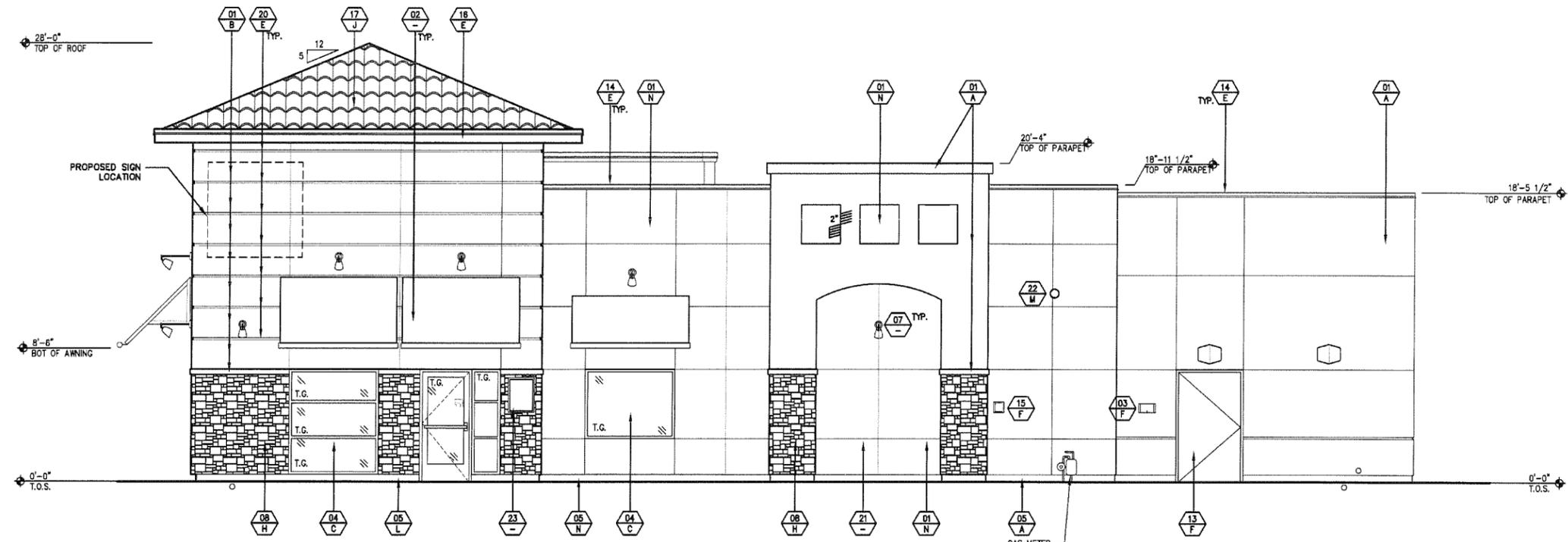
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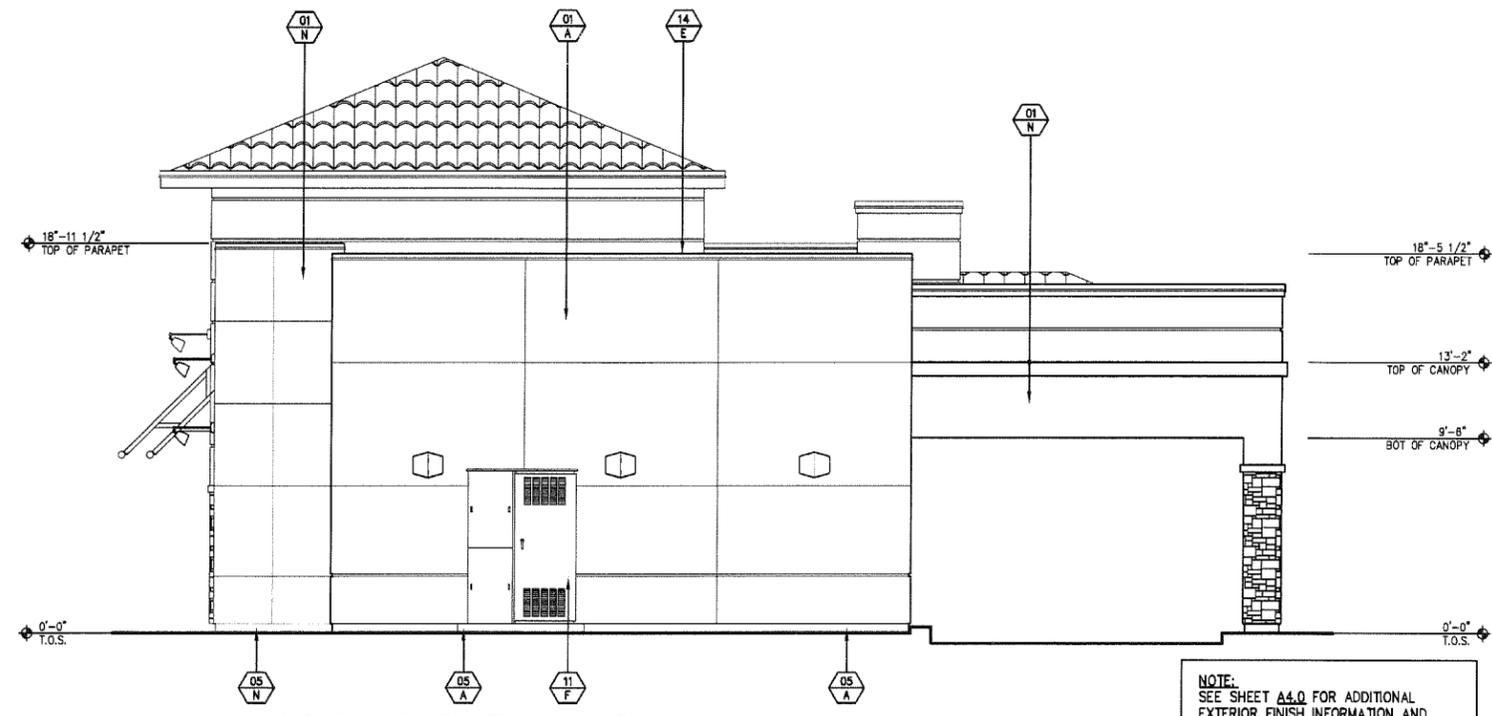
EAST ELEVATION SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE USE CHECKED BOX ONLY

01 MATERIAL/FINISH COLOR ANTI-GRAFFITI COATING: DUMOND CPU647 GRAFFITI BARRIER COAT BY DUMOND CHEMICALS INC. (212) 869-6350 COLOR: CLEAR

- MATERIAL/FINISH:**
- 01 EXTERIOR CEMENT PLASTER- SAND FLOAT FINISH (SEE SPECIFICATIONS)
 - INTEGRAL COLOR & PAINT
 - THOROLACTIC ELASTOMERIC: #400, FINE TEXTURE
 - 02 AWNING & SUPPORT (BY SIGN CONTRACTOR)
 - 03 GREASE TANK / BULK OIL SYSTEM BOX
 - 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
 - 1" CLEAR INSULATED GLASS
 - 1/4" CLEAR GLASS
 - 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
 - ANTI-GRAFFITI FILM
 - 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
 - 06 INTERNALLY ILLUMINATED SIGNAGE (O.F.O.I., NOT A PART OF THIS PERMIT)
 - 07 WALL MOUNTED LIGHT FIXTURE
 - 08 STONE VENEER
 - 09 NOT USED
 - 10 12" HIGH BUILDING ADDRESS LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
 - 11 MAIN ELECTRICAL SERVICE
 - 12 NOT USED
 - 12A NOT USED
 - 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
 - 14 GALVANIZED METAL COPING
 - 15 CO2 FILL BOX METAL COVER
 - 16 METAL FACIA
 - 17 SPANISH TILE ROOF
 - 18 NOT USED
 - 19 NOT USED
 - 20 DECORATIVE REVEAL SCREED PER SPECS, NOTE: ALL OUTSIDE CORNERS TO BE MITERED.
 - 21 DISPLAY POSTER PANEL
 - 22 WATER HEATER FLUE
 - 23 ENTRANCE DISPLAY HOURS PANEL
 - 24 DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL

- COLOR:**
- A SHERWIN WILLIAMS: SW 7037 "BALANCED BEIGE" OR COLOR TO MATCH
 - B SHERWIN WILLIAMS: SW 6328 "FIREWEED"
 - C STANDARD STOREFRONT: CLEAR ANODIZED
 - D WHITE TEXT ON RED BACKGROUND
 - E CLEAR ANODIZED
 - F COLOR/FINISH TO MATCH ADJACENT SURFACE
 - G SHERWIN WILLIAMS: SW 6990 "CAVIAR" OR COLOR TO MATCH
 - H CORONADO STONE, VERSAILLES TRAVERTINE, "WHEATFIELD"
 - J EAGLE TILE ROOF, CAPISTRANO, 3124, "HILO SUNSET"
 - K NOT USED
 - L NATURAL CONCRETE, GRAY
 - M STAINLESS STEEL
 - N SHERWIN WILLIAMS: SW 2813 "DOWNING STRAW" OR COLOR TO MATCH



NORTH ELEVATION SCALE: 1/4" = 1'-0"

NOTE:
SEE SHEET A4.0 FOR ADDITIONAL EXTERIOR FINISH INFORMATION AND DETAILS (TYP.)



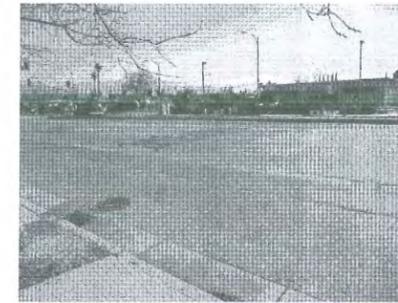
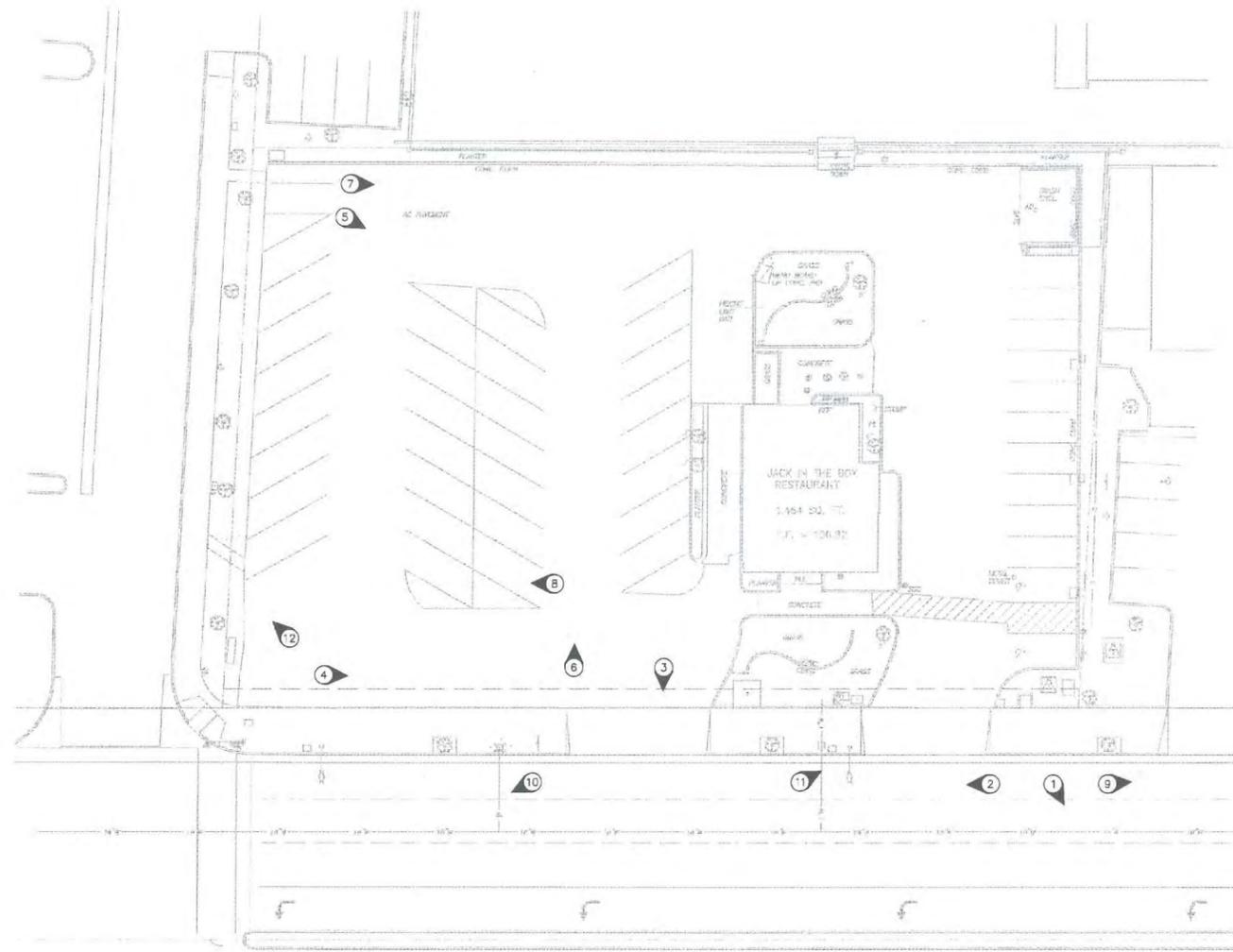
4470 Yankee Hill Rd. Suite 100
 RICKLIN CA 95177
 Ph: (916) 415-5358
 e-mail: pmarca@pmgroupinc.com
 Ray Pezala, Architect

SITE INFORMATION

MK TYPE: MK9803_SM2
 JIB #: 0415
 ADDRESS:
 1841 STORY ROAD
 SAN JOSE, CA
 DRAWN BY:
 PROJECT #: JIB11002.1
 SCALE: AS NOTED

EXTERIOR ELEVATIONS

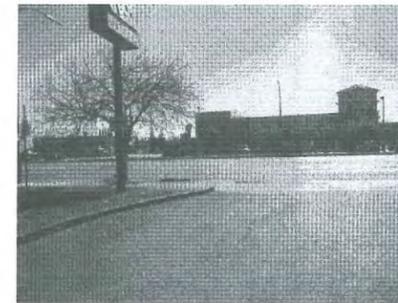
A4.1



1



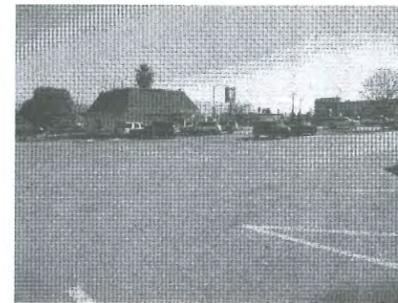
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4



5



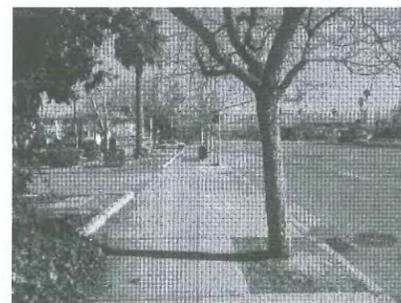
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7



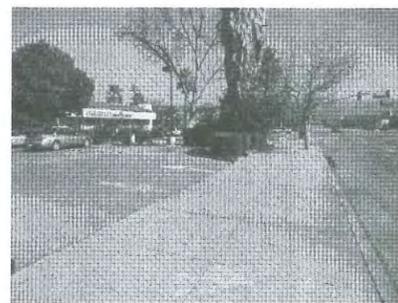
8



9



10



11



12



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**EXISTING
SITE PHOTOS**

SP1.0



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Ray Pardo, Architect

SITE INFORMATION

MK TYPE: MK9BD_SM2

JIB #: 0415

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1841 STORY ROAD
SAN JOSE, CA

DRAWN BY: _____

PROJECT #: JIB11002.1

SCALE: _____