

STAFF REPORT
PLANNING COMMISSION

FILE NOS.: PD12-017 & ABC13-001

Submitted: September 25, 2012

PROJECT DESCRIPTION:

A Planned Development Permit and Determination of Public Convenience or Necessity request to allow the construction of an approximately 32,900 square foot grocery store (Whole Foods) with off-sale of alcohol (beer and wine) and on-sale of alcohol associated with an on-site brewery on a 2.19 acre site.

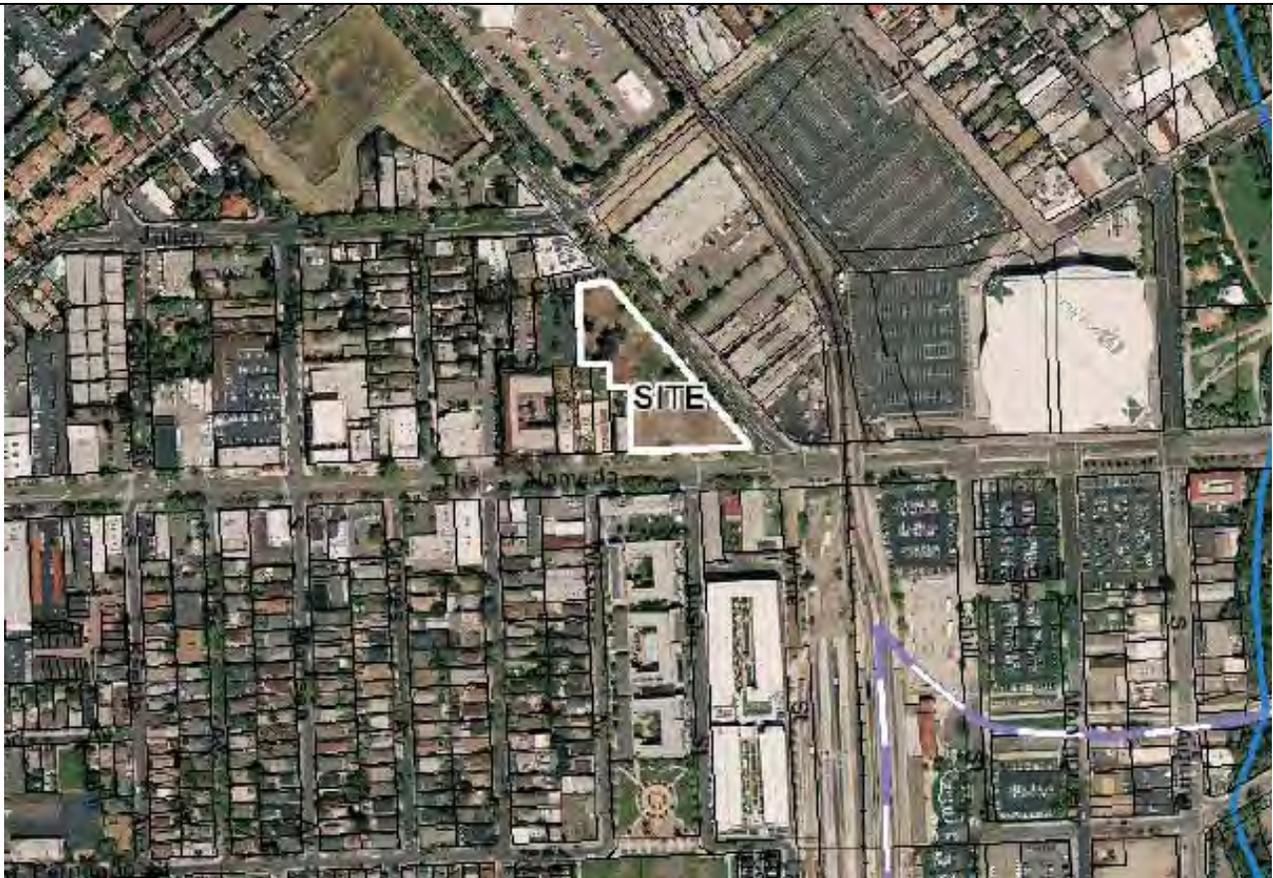
Zoning	A(PD) Planned Development
General Plan	Mixed Use Commercial
Council District	6
Annexation Date	December 8, 1925
Historic Resource	NA
Specific Plan	NA

LOCATION:

Northwest corner of Stockton Avenue and The Alameda

Aerial Map

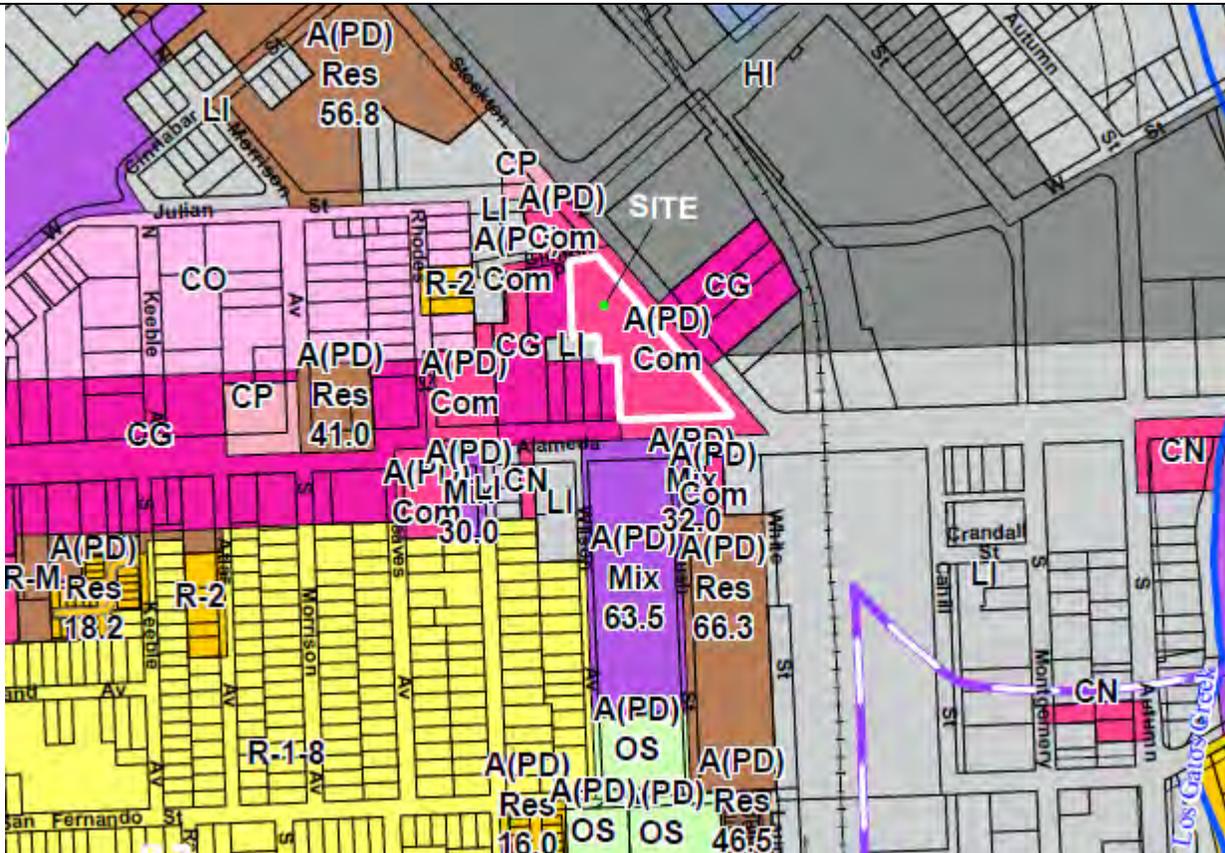
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GENERAL PLAN



ZONING



RECOMMENDATION

Planning staff recommends that the Planning Commission make a report and recommendation to the City Council to approve the proposed Planned Development Permit and Determination of Public Convenience or Necessity, for the construction of an approximately 32,900 square foot grocery store with off-sale of alcohol (full range of alcoholic beverages) and an on-site brewery for the following reasons:

1. The project conforms to the Envision San Jose 2040 General Plan Land Use/Transportation Diagram's designation of Mixed Use Commercial.
2. The proposed use at the location requested will not adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area and will not impair the utility or value of the property of other persons located within the vicinity of the site.
3. The proposed off-sale of alcohol is associated with and located within a full service grocery store.
4. The San José Police Department is neutral to the proposed Whole Foods grocery store with off-sale of alcohol and on-sale of alcohol associated with the on-site brewery.
5. The proposed project conforms to the requirements of CEQA.

BACKGROUND & DESCRIPTION

The subject site is located in the A(PD) Planned Development Zoning District. The Planned Development Zoning (File No. PDC06-064) for the site was adopted by the City Council (Ordinance No. 28076) on June 19, 2007. A Planned Development Permit (File No. PD07-039) was approved on September 28, 2007 to allow construction of an approximately 44,000 square foot Whole Foods grocery store with off-sale of alcohol. The Planned Development Permit was not implemented and the permit expired on March 28, 2012.

On April 27, 2012, Field Paoli Architects, representing the applicant, Whole Foods Market, applied for a Planned Development Permit and on January 15, 2013 for a Determination of Public Convenience or Necessity (PCN) on the subject site to allow construction of an approximately 32,900 square foot grocery store with off-sale of alcohol and an on-site brewery.

The proposed grocery store component of the project is within an approximately 27,291 square foot 1-story building and the on-site brewery is within an approximately 5,600 square foot 2-story building. The two buildings are connected by a roof over an outdoor courtyard/seating area. Similar to the previous approval, the proposed buildings are located in the southern portion of the site along The Alameda and Stockton Avenue with surface parking and loading at the rear/northern portion of the site.

Typically, the initial decision making body for a Planned Development Permit is the Director of Planning. However, when a Determination of Public Convenience or Necessity (PCN) for the off-sale or on-sale of alcohol is required by the State Department of Alcoholic Beverage Control (ABC) the PCN determination is made by the Planning Commission under the San Jose Municipal Code. As a result, the Planned Development Permit and PCN are considered concurrently by the Planning Commission. As discussed in this report, not all of the required findings can be made by the Planning Commission for the

proposed off-sale of alcohol use. Therefore, the Planning Commission is asked to make a recommendation to the City Council.

Site and Surrounding Uses

The approximately 2.19 acre project site is bounded by Clinton Place to the north, Stockton Avenue to the east, The Alameda to the south and is adjacent to commercial uses to the west. To the north of the site across Clinton Place is an existing senior care facility. There is a mix of commercial and industrial uses to the east across Stockton Avenue, including a car wash and auto repair use. To the south of the subject site across The Alameda is the Midtown Specific Plan area, which includes a mix of industrial, retail and residential uses. The San José Diridon Station is approximately 1,200 feet (walking distance) southeast of the project site. A Special Use Permit (File No. SP06-080) was approved in February 2007 to allow the demolition of seven commercial buildings. The site has been vacant since 2007.

ANALYSIS

The key issues analyzed for the proposed grocery store with the off-sale of alcohol and on-site brewery includes the project's conformance with the following: 1) the Envision San José 2040 General Plan; 2) the San José Municipal Code; and 3) the California Environmental Quality Act (CEQA).

Envision San Jose 2040 General Plan Conformance

The subject site is designated Mixed Use Commercial on the Envision San José 2040 General Plan Land Use/Transportation Diagram. This designation is intended to accommodate a mix of commercial and residential uses with an emphasis on commercial activity as the primary use. Properties with this designation should generally be developed with at least a 0.5 FAR. Although the proposed project represents only approximately 0.35 FAR, per General Plan Policy IP-1.4 implementation of existing planned development zonings which were previously found to be in conformance with the General Plan prior to its comprehensive update, are considered as being in conformance with the Envision General Plan.

Implementation of the existing planned development zoning supports the City's Vibrant Neighborhoods Goals by providing the surrounding neighborhoods with an increased opportunity for social interaction and access to healthful foods.

Conformance with the San José Municipal Code

Determination of Public Convenience or Necessity (PCN)

As of January 1995, the State of California Legislature implemented AB2897 by amending the Business and Professions Code (Section 23958) to require the Department of Alcohol Beverage Control (ABC) to deny an application for a liquor license "if issuance of that license would tend to create a law enforcement problem, or if the issuance would result in or add to an undue concentration of liquor licenses," unless the City makes a Determination of Public Convenience or Necessity. Undue concentration means the case in which the applicant premises for any retail license is located in an area where any of the following conditions exist:

1. The applicant premises are located in a crime reporting district that has a 20 percent greater number of reported crimes than the average number of reported crimes as determined from all crime reporting districts within the City, or
2. As to off-sale retail license applications, the ratio of off-sale retail licenses to population in the census tract in which the applicant premises are located exceeds the ratio of off-sale retail licenses to population in the County.
3. As to on-sale retail license applications, the ratio of on-sale retail licenses to population in the census tract in which the applicant premises is located exceeds the ratio of on-sale retail licenses to population in the County.

Off-Sale of Alcohol

The project site is not located within an area over the 20% crime index. The site is considered unduly concentrated with off-sale licenses because the premises of the proposed license are located in a census tract where the ratio of existing off-sale licenses to population in the census tract exceeds the ratio in the County as a whole. For ABC to be able to issue a license for the off-sale of alcohol in an unduly concentrated area, the City must grant a Determination of Public Convenience or Necessity.

Subject to the provisions of Chapter 6.84 of Title 6 of the Municipal Code, the Planning Commission may issue a determination of Public Convenience or Necessity in connection with an application for a license from the California Department of Alcoholic Beverage Control for the off-premises sale of alcoholic beverages only after making all of the following findings:

1. The proposed use is not located within a Strong Neighborhoods Initiative or Neighborhood Revitalization area or other area designated by the City for targeted neighborhood enhancement services or programs, or located within an area in which the Chief of Police has determined based upon quantifiable information that the proposed use: (a) would be detrimental to the public health, safety, or welfare of persons located in the area; or (b) would increase the severity of existing law enforcement or public nuisance problems in the area; and

Analysis of Required Finding: The subject site is not located within a Strong Neighborhood Initiative area or a Neighborhood Revitalization area. This finding can be made.

2. The proposed use would not lead to the grouping of more than four off-premises sale of alcoholic beverage uses within a one thousand-foot radius from the exterior of the building containing the proposed use; and

Analysis of Required Finding: There are three other establishments that provide off-sale of alcohol within a thousand foot radius from the project site. The proposed use would not lead to the grouping of more than four off-premises sale of alcoholic beverage uses within a one thousand-foot radius. This finding can be made.

3. The proposed use would not be located within five hundred feet of a school, day care center, public park, social services agency, or residential care or service facility, or within one hundred fifty feet of a residence; and

Analysis of Required Finding: The proposed use meets the separation requirements for all other uses noted except that it is within 500 feet of a school to the northwest across Clinton Place (San José Unified School District Alternative High School) and is within 150 feet of residential uses situated to the south of the project site across The Alameda (Avalon at Cahill Park). This required finding cannot

be made by the Planning Commission, and therefore, the Commission should make a recommendation to the City Council regarding this application.

4. Alcoholic beverage sales would not represent a majority of the proposed use; and

Analysis of Required Finding: The proposed off-sale of alcohol use is incidental to the grocery store use.

5. At least one of the following additional findings:

- a. The census tract in which the proposed outlet for the off-premises sale of alcoholic beverages is located is unusually configured and the proposed outlet would act as a convenience to an underserved portion of the community without presenting a significant adverse impact on public health or safety; or
- b. The proposed outlet for the off-premises sale of alcoholic beverages would enhance or facilitate the vitality of an existing commercial area without presenting a significant adverse impact on public health or safety; or
- c. The census tract in which the proposed outlet is located has a low population density in relation to other census tracts in the city, and the proposed outlet would not contribute to an over-concentration in the absolute numbers of outlets for the off-premises sale of alcoholic beverages in the area; or
- d. The proposed off-premises sale of alcoholic beverages is incidental and appurtenant to a larger retail use and provides for a more complete and convenient shopping experience.

Analysis of Required Finding: The proposed off-sale of alcohol use is incidental and appurtenant to a full service grocery store use and will provide for a more complete and convenient shopping experience. Finding 5.d. can be made.

As noted above, all required findings required for off-sale of alcohol, as identified in Title 6 of the San Jose Municipal Code for Determination of Public Convenience and Necessity cannot be made in this instance and therefore, the Planning Commission is requested to make a recommendation to the City Council.

On-Sale of Alcohol for On-Site Brewery

The State Department of Alcoholic Beverage Control (ABC) records indicate that the subject site is located within a census tract where the ratio of on-sale retail licenses to population in the census tract exceeds the ratio of on-sale licenses to population in the county. The process and findings related specifically to the Determination of Public Convenience or Necessity for the on-sale of alcohol are not listed by the San Jose Municipal Code. Absent of required findings set forth by the Municipal Code, the findings for the on-sale of alcohol can be based upon the required Conditional Use Permit findings identified in Section 20.100.720 of the San Jose Municipal Code, as specified below:

1. The proposed use at the location requested will not:

- a. Adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; or
- b. Impair the utility or value of property of other persons located in the vicinity of the site; or
- c. Be detrimental to public health, safety or general welfare.

Analysis of Required Finding: The draft resolution for the Planned Development Permit includes conditions to address potential nuisances. The proposed on-site brewery with associated on-sale of

alcohol is incidental to the primary full-service grocery store use. The nearest residentially designated property is located approximately 120-feet to the south across The Alameda.

2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding areas.

Analysis of Required Finding: The proposed site is adequately sized to accommodate the proposed grocery store and the required parking, loading, and landscaping.

3. The proposed site is adequately served:
 - d. By highways or streets of sufficient width and improved as necessary to carry the kind and quality of traffic such use would generate; and
 - e. By other public or private service facilities as are required.

Analysis of Required Finding: The project site is sufficiently served by existing transportation systems and other service facilities in that the subject site was intended for commercial uses.

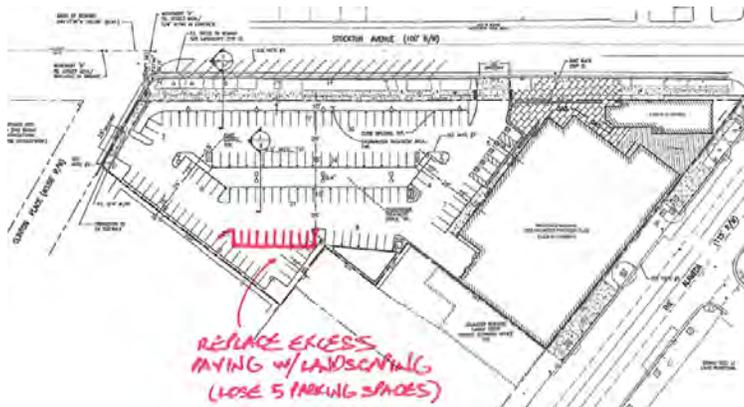
Based on the above analysis, staff believes that the specific findings related to the on-sale of alcohol for approval of a Planned Development Permit could be made for the proposed use.

Conformance to Zoning Code

The Planned Development Zoning for the project site references the allowed uses and development standards of the CP – Commercial Pedestrian District. Grocery stores are a permitted use in the CP Zoning District, while off-sale of alcohol uses and breweries require issuance of a Conditional Use Permit (Planned Development Permit in Planned Development Zoning District).

Based on 1 parking space per 400 square feet of ground floor uses in a Neighborhood Business District (NBD), 1 parking space per 200 square feet of second floor retail space and 1 parking space per 40 square feet of dining (beer garden), the proposed project is required to provide 93 vehicle parking spaces. The proposed project is providing 141 parking spaces.

Considering that the proposed site is over-parked per City standards there is an opportunity to reduce an area of excess paving in a corner of the parking lot and create more “prime” parking that is in-line with one of the two main parking aisles. This also allows for additional landscaping to help buffer the parking lot from future development on the adjacent property to the west. The reconfigured parking would result in the loss of approximately 5 parking spaces bringing the total provided parking to 136 spaces (43 spaces over the minimum requirement).



California Environmental Quality Act (CEQA)

The environmental impacts of this project were addressed in the *Whole Foods Market: San Jose Project, PDC06-064* Initial Study and Mitigated Negative Declaration circulated on May 3, 2007 and adopted on June 5, 2007.

The Initial Study analyzed the proposed project and its environmental setting, identified potentially significant environmental impacts, and proposed mitigation measures to reduce significant impacts to less than significant levels, for the following issues: biological resources (nesting raptors and trees); and hazardous materials.

All of the mitigation measures identified in the previously approved Planned Development Rezoning (File No. PDC06-064) and incorporated into the previously approved Planned Development Permit (File No. PD07-039) will be incorporated into the conditions of the proposed Planned Development Permit. The entire Initial Study and Mitigated Negative Declaration are available for review through the City's On-Line Permits website: www.sjpermits.org

CONCLUSION

Based on the above analysis, staff concludes that all the required findings for issuance of a Planned Development Permit for the construction of the proposed 32,900 square foot grocery store and on-site brewery with on-sale of alcohol can be made. The off-sale of alcohol is incidental to the grocery store use and meets the required findings under the Zoning Ordinance. However, one of the required findings for the Determination of Public Convenience or Necessity for off-sale of alcohol cannot be made in this instance and therefore, the Planning Commission is requested to make a recommendation to the City Council.

PUBLIC OUTREACH/INTEREST

Staff attended a meeting with approximately 40 residents of the Plant 51 development on July 10, 2012 to discuss the proposed project and the Planning process. A publicly noticed community was held on July 31, 2012. Approximately 90 members of the public attended. The attendees at both meetings were nearly unanimous in their support of the proposed Whole Foods, but at the general community meeting were evenly split on the proposed design of the building specifically as it related to The Alameda.

Staff shared the concerns of several community members regarding earlier designs for The Alameda elevation which showed an unbroken expanse of approximately 160 feet of corrugated metal siding and roofing running from the entrance to the western property line.

The revised elevation for The Alameda addresses the concern regarding the monotony of the earlier design by replacing portions of the corrugated metal siding with complementary materials including brick and glass. The western portion of the building in the revised plans shows an approximately 40-foot wide brick façade element that simulates an old warehouse storefront. A number of windows (transparent, translucent, and spandrel) were also added to The Alameda elevation to break-up the expanse of corrugated metal siding and to provide transparency into the store. The revised design incorporates four dormers with clear windows along the roofline between the brick storefront element and the entrance to further enhance transparency. The addition of the dormers also brings a level of articulation to the elevation that was lacking in the initial design, which had a shallow sloping roofline.

The property owners and occupants within a 1,000-foot radius were sent public hearing notices for the Planning Commission and City Council hearings. This staff report has been posted on the City's web site. Signage has been posted at the site to inform the public about the proposal. Staff has been available to discuss the proposal with interested members of the public.

Project Manager: John W. Baty **Approved by:**  **Date:** 2/06/2013

<u>Owner/Applicant:</u>	<u>Attachments:</u>
<u>Owner:</u> Whole Foods Market c/o Isabelle Francois, Regional V.P. 5980 Horton St. Suite 200 Emeryville, CA 94608 <u>Applicant:</u> Christen Soares Field Paoli Architects 150 California St., 7 th Floor San Francisco, CA 94111	Draft Resolution Plan Set

RESOLUTION NO.

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SAN JOSÉ APPROVING A REQUEST FOR A PLANNED DEVELOPMENT PERMIT AND GRANTING A DETERMINATION OF PUBLIC CONVENIENCE OR NECESSITY TO ALLOW THE CONSTRUCTION OF AN APPROXIMATELY 32,900 SQUARE FOOT GROCERY STORE (WHOLE FOODS) WITH OFF-SALE OF ALCOHOL (BEER AND WINE) AND ON-SALE OF ALCOHOL ASSOCIATED WITH AN ON-SITE BREWERY ON A 2.19 GROSS ACRE SITE LOCATED ON THE NORTHWEST CORNER OF STOCKTON AVENUE AND THE ALAMEDA

FILE NO. PD12-027 & ABC13-001

WHEREAS, pursuant to the provisions of Chapter 20.100 of Title 20 of the San Jose Municipal Code, on April 27, 2012 and January 15, 2013 applications (File No. PD12-027 and ABC13-001) were filed for a Planned Development Permit and Determination of Public Convenience or Necessity to allow the construction of an approximately 32,900 square foot grocery store with off-sale of alcohol (beer and wine) and on-sale of alcohol associated with an on-site brewery on a 2.19 gross acre site in the A(PD) Planned Development Zoning District (PDC06-064) located on the northwest corner of Stockton Avenue and The Alameda, San José; and

WHEREAS, the subject property is all that real property described in Exhibit "A," which is attached hereto and made a part hereof by this reference as if fully set forth herein; and

WHEREAS, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San Jose Municipal Code, the Planning Commission conducted a hearing on said application on February 13, 2013, notice of which was duly given; and

WHEREAS, at said hearing, the Planning Commission gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

WHEREAS, at said hearing, the Planning Commission made a recommendation to the City Council respecting said matter based on the evidence and testimony; and

WHEREAS, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San Jose Municipal Code, this City Council conducted a hearing on said application, notice of which was duly given; and

WHEREAS, at said hearing, this City Council gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

WHEREAS, at said hearing this City Council received and considered the reports and recommendation of the Planning Commission and the Director of Planning, Building and Code Enforcement; and development plan for the subject property entitled "Whole Foods Market The Alameda," last revised January 11, 2013, and said plan is on file in the Department of Planning, Building and Code Enforcement and is available for inspection by anyone interested herein, and said development plan is incorporated herein by this reference, the same as if it were fully set forth herein; and

WHEREAS, said hearing was conducted in all respects as required by the San Jose Municipal Code and the rules of this City Council.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SAN JOSE AS FOLLOWS:

After considering evidence presented at the Public Hearing, the City Council finds that the following are the relevant facts regarding this proposed project:

1. The subject site has a land use designation of Mixed Use Commercial on the Envision San José 2040 General Plan Land Use/Transportation Diagram.
2. The project site is located in the A(PD) Planned Development Zoning District (File No. PDC06-064).
3. The site is bounded by Clinton Place to the north, Stockton Avenue to the east, The Alameda to the south, and is adjacent to commercial uses to the west. To the north of the site across Clinton Place is an existing senior care facility. There is a mix of commercial and industrial uses to the east across Stockton Avenue. To the south of the subject site across The Alameda is the Midtown Specific Plan area, which includes a mix of industrial, retail/commercial, and residential uses. The San José Diridon Station is approximately 1,200 feet (walking distance) southeast of the project site.
4. A Special Use Permit (File No. SP06-080) was approved in February 2007 to allow the demolition of commercial buildings. The site has been vacant since 2007.
5. A Planned Development Permit (File No. PD07-039) was approved on September 28, 2007 to allow construction of an approximately 44,000 square foot Whole Foods

- grocery store with off-sale of alcohol. This permit was not implemented and expired on March 28, 2012.
6. This Planned Development Permit and Determination of Public Convenience or Necessity will allow the construction of an approximately 32,900 square foot grocery store with off-sale of alcohol (beer and wine) and on-sale of alcohol associated with an on-site brewery.
 7. Development consists of a one-story, approximately 27,300 square foot grocery store building and a two-story, approximately 5,600 square foot office and brewery building. The two buildings are connected by a roof that creates a partially covered outdoor area for customer seating and outdoor produce display. The proposed buildings are located in the southern portion of the site along The Alameda and Stockton Avenue property lines. Parking and loading for the proposed use is located behind the buildings.
 8. The parking required for the proposed uses is based on 1 parking space per 400 square feet of ground floor uses in a Neighborhood Business District (NBD), 1 parking space per 200 square feet of second floor retail space, and 1 parking space per 40 square feet of dining area on the second floor.
 9. The project is required to provide 93 vehicle parking spaces. The proposed project provides 141 parking spaces.
 10. Primary vehicular access to the site is provided by a new driveway on Stockton Avenue. A secondary driveway is located off of Clinton Place.
 11. A request for tree removal permit pursuant to the provisions of Chapter 13.32 may be included as part of an application for development permit under the provisions of Title 20.
 12. The previously approved Planned Development Permit (File No. PD07-039) approved the removal of all on-site trees, including 12 Ordinance size and 14 non-Ordinance size trees. Several of the trees identified for removal under the previous approval were removed prior to the expiration of the permit. This Planned Development Permit is proposing to remove all of the remaining on-site trees and is subject to the replacement requirements identified in the previous permit.
 13. The project site is not located within an area over the 20% crime index.
 14. The project site is not located within a Strong Neighborhoods Initiative or Neighborhood Revitalization area.
 15. The site is considered unduly concentrated with off-sale licenses because the premises of the proposed license are located in a census tract where the ratio of existing off-sale licenses to population in the census tract exceeds the ratio in the County as a whole.
 16. The site is located within a census tract where the ratio of on-sale retail licenses to population in the census tract exceeds the ratio of on-sale licenses to population in the County.

17. There are three other establishments that provide off-sale of alcohol within a thousand foot radius from the project site.
18. The proposed use is not located within 500 feet of a day care center, public park, social services agency, or residential care or service facility.
19. The proposed use is within 500 feet of a school to the northwest across Clinton Place (San José Unified School District Alternative High School).
20. The proposed use is within 150 feet of residential uses situated to the south of the project site across The Alameda (Avalon at Cahill Park).
21. The proposed off-sale of alcohol use is incidental and appurtenant to the proposed grocery store use.
22. Pursuant to the State Guidelines for implementation of the California Environmental Quality Act (CEQA), an Initial Study and Mitigated Negative Declaration (MND) were prepared by the Director of Planning, Building, and Code Enforcement for the Planned Development Zoning that was approved for the project. The documents were circulated for public review on May 3, 2007 and the MND was adopted on June 5, 2007.
23. On February 13, 2013 the Planning Commission conducted a public hearing on the Planned Development Permit and Determination of Public Convenience or Necessity.

After investigation and hearing held pursuant to Chapter 13.32 of the San José Municipal Code, the City Council finds:

1. That the trees are of an affected size, type and condition, and are in such a location in such surroundings, that their removal would not significantly frustrate the purposes of Chapter 13.32; and
2. That the location of the trees with respect to the proposed improvement unreasonably restricts the economic development of the parcel in question.

The City Council concludes and finds pursuant to Chapter 6.84 of the San José Municipal Code, based on the analysis of the above facts for the proposed grocery store, with respect to the proposed Off-Sale of Alcohol use, that:

1. The proposed use is not located within a Strong Neighborhoods Initiative or Neighborhood Revitalization area or other area designated by the City for targeted neighborhood enhancement services or programs, or located within an area in which the Chief of Police has determined based upon quantifiable information that the proposed use: (a) would be detrimental to the public health, safety, or welfare of persons located in the area; or (b) would increase the severity of existing law enforcement or public nuisance problems in the area; and
2. The proposed use would not lead to the grouping of more than four off-premises sale of alcoholic beverage uses within a one thousand-foot radius from the exterior of the building containing the proposed use; and

3. For such use at a location closer than five hundred feet from any child care center, public park, social service agency, residential care facility, residential service facility, elementary school, secondary school, college or university, or one hundred fifty feet from any residentially zoned property, that the building in which the proposed use is to be located is situated and oriented in such a manner that would not adversely affect such residential, child care center, public park, social service agency, residential care facility, residential service facility and/or school use.
4. Alcoholic beverage sales would not represent a majority of the proposed use; and
5. The proposed off-premises sale of alcoholic beverages is incidental and appurtenant to a larger retail use and provides for a more complete and convenient shopping experience.

Further, the City Council concludes and finds, based on the analysis of the above facts for the proposed on-sale of alcohol use in conjunction with the on-site brewery use, that:

1. The proposed use at the location requested will not:
 - a. Adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; or
 - b. Impair the utility or value of property of other persons located in the vicinity of the site; or
 - c. Be detrimental to public health, safety or general welfare.
2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding area.
3. The proposed site is adequately served:
 - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate; or by other forms of transit adequate to carry the kind and quantity of individuals such use would generate; and
 - b. By other public or private service facilities as are required.

The City Council concludes and finds, based on analysis of the above facts with respect to the Planned Development Permit findings (Section 20.100.940), that:

1. The Planned Development Permit, as issued, furthers the policies of the General Plan, in that:
 - a. The project is consistent with the site's General Plan Land Use/Transportation Diagram designation of Mixed Use Commercial in that commercial uses are allowed in this designation.

2. The Planned Development Permit, as issued, conforms in all respects to the Planned Development Zoning of the property in that:
 - a. The proposed project conforms to the approved General Development Plan, in that the General Development Plan references the uses and development standards of the CP – Commercial Pedestrian Zoning District, which allows the proposed grocery store use and off-sale of alcohol and brewery uses with a Planned Development Permit, and the proposal conforms to the CP Zoning District development standards.
3. The interrelationship between the orientation, location, mass and scale of building volumes, and elevations of proposed buildings, structures and other uses on-site are appropriate, compatible and aesthetically harmonious, in that:
 - a. The proposed buildings are architecturally compatible with each other in terms of scale, design elements and use of materials.
4. The environmental impacts of the project, including, but not limited to noise, vibration, dust, drainage, erosion, storm water runoff, and odor which, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative effect on adjacent property or properties, in that:
 - a. A Mitigated Negative Declaration was adopted for this project that indicates that certain mitigation measures will be incorporated into the project to prevent the occurrence of any significant adverse effect on the environment.

In accordance with the findings set forth above, a Planned Development Permit to use the subject property for said purpose specified above and subject to each and all of the conditions hereinafter set forth is hereby **granted**. This City Council expressly declares that it would not have granted this permit and determination except upon and subject to each and all of said conditions, each and all of which conditions shall run with the land and be binding upon the owner and all subsequent owners of the subject property, and all persons who use the subject property for the use permitted hereby.

CONDITIONS

This Planned Development Permit shall have no force or effect and the subject property shall not be used for the hereby permitted uses unless and until all things required by the below-enumerated precedent conditions and all of the requirements set forth in San Jose Municipal Code Section 20.100.290.D shall have been fully performed or caused to be fully performed.

1. **Acceptance of Permit.** Per Section 20.100.290(B), should the applicant fail to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the applicant shall be deemed to constitute all of the following on behalf of the applicant:
 - a. Acceptance of the Permit by the applicant; and

- b. Agreement by the applicant to be bound by, to comply with, and to do all things required of or by the applicant pursuant to all of the terms, provisions, and conditions of this permit or other approval and the provisions of Title 20 applicable to such Permit.
2. **Permit Expiration.** This Planned Development Permit shall automatically expire four years from and after the date of issuance hereof by said Director, if within such time period, the proposed use of this site or construction has not commenced, pursuant to and in accordance with the provision of this Planned Development Permit. The date of issuance is the date this Permit is approved by the Director of Planning. However, the Director of Planning may approve a Permit Adjustment/Amendment to extend the validity of this Permit in accordance with Title 20. The Permit Adjustment/Amendment must be approved prior to the expiration of this Permit.
3. **Sewage Treatment Demand.** Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the applicant for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José-Santa Clara Water Pollution Control Plant represented by approved land uses in the area served by said Plant will cause the total sewage treatment demand to meet or exceed the capacity of San José-Santa Clara Water Pollution Control Plant to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Quality Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approval authority.
4. **Conformance to Plans.** Except as noted in condition number 5 below, development of the site shall conform to approved Planned Development plans entitled, "Whole Foods Market The Alameda," last revised January 11, 2013, on file with the Department of Planning, Building and Code Enforcement, and to the San José Building Code (San José Municipal Code, Title 17, Chapter 17.04), with the exception of any subsequently approved changes.
5. **Permit Adjustment Required.** Within 90-days of approval of this Permit the applicant shall secure and agree to implement a Permit Adjustment to address the items listed below to the satisfaction of the Director of Planning, otherwise a Planned Development Permit Amendment shall be required.
 - a. Provide a tree replacement plan to demonstrate conformance with Tree Removal Condition 13c and 13d below.
 - b. Reduce the area of excess paving in the western corner of the proposed parking lot by reconfiguring the parking and enhancing the landscape buffer between the parking lot and future development on the adjacent property to the west.
 - c. Maximize the visibility/transparency into the store along The Alameda elevation by providing transparent glass in the dormers.

6. **Planned Development District Effectuated.** Once this Planned Development Permit is accepted, the use of territory not covered by the permit shall only be land uses consistent with the Planned Development Zoning District and only upon issuance of a Planned Development Permit for those uses.
7. **Nuisance.** This use shall be operated in a manner which does not create a public or private nuisance. Any such nuisance must be abated immediately upon notice by the City.
8. **Hours of Operation.** The allowed hours of operation are between 6:00a.m. and 12:00 midnight.
9. **Public Works Clearance for Building Permit(s) or Map Approval:** Prior to the issuance of Building permit(s) the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.

<Placeholder until Final Memo>

- a. *Construction Agreement:* The public improvements conditioned as part of this permit require the execution of a Construction Agreement that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This agreement includes privately engineered plans, bonds, insurance, a completion deposit, and engineering and inspection fees.
- b. *Transportation:* The subject project is in conformance with the City of San José Transportation Level of Service Policy (Council Policy 5-3) according to the Traffic Impact Analysis (TIA) Report (April 2007) previously reviewed and approved.
- c. *Grading/Geology:*
 - i. A grading permit is required prior to the issuance of a Public Works Clearance.
 - ii. If the project proposes to haul more than 10,000 cubic yards of cut/fill to or from the project site, a haul route permit is required. Prior to issuance of a grading permit, contact the Department of Transportation at (408) 535-3850 for more information concerning the requirements for obtaining this permit.
 - iii. Because this project involves a land disturbance of more than one acre, the applicant is required to submit a Notice of Intent to the State Water Resources Control Board and to prepare a Storm Water Pollution Prevention Plan (SWPPP) for controlling storm water discharges associated with construction activity. Copies of these documents must be submitted to the City Project Engineer prior to issuance of a grading permit.
 - iv. The project site is within the State of California Seismic Hazard Zone. A geotechnical investigation report addressing the potential hazard of liquefaction must be submitted to, reviewed and approved by the City Geologist prior to the issuance of a grading permit or Public Works Clearance. The investigation should be consistent with the guidelines published by the State of California (CGS Special Publication 117A) and the

Southern California Earthquake Center (SCEC, 1999). A recommended depth of 50 feet should be explored and evaluated in the investigation.

- d. *Stormwater Runoff Pollution Control Measures:* This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of site design measures, source controls, and numerically-sized Low Impact Development (LID) stormwater treatment measures to minimize stormwater pollutant discharges.
 - i. The project's Stormwater Control Plan and numeric sizing calculations have been reviewed and this project will be in conformance with City Policy 6-29.
 - ii. Final inspection and maintenance information on the post-construction treatment control measures must be submitted prior to issuance of a Public Works Clearance.
- e. *Flood: Majority in Zone D, Southeast Corner of Site in Zone AO, Depth 1':*
 - i. Elevate the lowest floor more than 1 foot above the highest existing adjacent grade to the proposed structure or floodproof to the same elevation. For insurance rating purposes, the building's floodproofed design elevation must be at least one foot above the base flood elevation to receive rating credit.
 - ii. An Elevation Certificate (FEMA Form 81-31) for each proposed structure, based on construction drawings, is required prior to issuance of a building permit. Consequently, an Elevation Certificate for each built structure, based on finished construction is required prior to issuance of an occupancy permit.
 - iii. If the structure is to be floodproofed, a Floodproofing Certificate (FEMA Form 81-65) for each structure, floodproofing details, and if applicable, a Flood Emergency Operation Plan and an Inspection & Maintenance Plan are required prior to the issuance of a Public Works Clearance.
 - iv. Building support utility systems such as HVAC, electrical, plumbing, air conditioning equipment, including ductwork, and other service facilities must be elevated above the base flood elevation or protected from flood damage.
- f. *Sewage Fees:* In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
- g. *Undergrounding:* The In Lieu Undergrounding Fee shall be paid to the City for all frontage adjacent to Union Avenue prior to the issuance of a Public Works Clearance. One hundred percent (100%) of the base fee in place at the time of payment will be due. Currently, the 2012 base fee is \$412 per linear foot of frontage and is subject to change every January 31st based on the Engineering News Record's 20 City Average Cost Index. The project will be required to pay the current rate in effect at the time the Public Works Clearance is issued. (Based on 2012 rate, the fee is \$278,796).

- h. *Street Improvements:*
- i. Remove and replace curb and gutter, and construct new 10' sidewalk along Clinton Place, and 10' sidewalk and 12' park strip along Stockton Avenue.
 - ii. Coordinate street improvements along The Alameda with the City's Beautiful Way Streetscape Grant Project and separate City improvements along Stockton Avenue.
 - 1) As part of the Beautiful Way Streetscape Grant Project, improvements along The Alameda project frontage will include extension of the bus pad and restriping of the crosswalk along The Alameda. Modifications to the signalized intersection of The Alameda and Stockton Avenue will also be completed under this Grant Project and will include removal of the existing pork-chop, widening of the sidewalk, and construction of an ADA ramp. The Beautiful Way Streetscape Grant Project is scheduled to be completed by June 2013.
 - 2) Along the project frontage of Stockton Avenue, the City plans to construct angled parking from The Alameda to Clinton Place.
 - iii. Remove and replace broken and/or uplifted curb, gutter, and sidewalk along The Alameda.
 - iv. Closed unused driveway cut(s).
 - v. Repair, overlay, or reconstruction of asphalt pavement may be required. The existing pavement will be evaluated with the street improvement plans and any necessary pavement restoration will be included as part of the final street improvement plans.
 - i. *Greater Downtown Area Master Plans:* This project is located within the Greater Downtown area. Public improvements shall conform to the Council approved San José Downtown Streetscape and Street and Pedestrian Lighting Master Plans.
 - j. *Electrical.* Existing electroliers along the project frontage will be evaluated at the public improvement stage and any street lighting requirements will be included on the public improvement plans.
 - k. *Street Trees.* Install street trees within the public right-of-way along entire project street frontage per City standards; refer to the current "Guidelines for Planning, Design, and Construction of City Streetscape Projects". Street trees shall be installed in park strip along Stockton Avenue and in cut-outs at the back of curb along Clinton Place and The Alameda. Obtain a DOT street tree planting permit for any proposed street tree plantings. Contact the City Arborist at (408) 1901 for the designated street tree.

10. **Building Clearance for Issuing Permits.** Prior to the issuance of a Building Permit, the following requirements must be met to the satisfaction of the Chief Building Official:
- a. *Construction Plans.* This permit file number, PD12-017, shall be printed on all construction plans submitted to the Building Division.
 - b. *Emergency Address Card.* The project developer shall file an Emergency Address Card, Form 200-14, with the City of San José Police Department.
 - c. *Construction Conformance.* A project construction conformance review by the Planning Division is required.
 - d. *Permit Adjustment.* Per Condition #5 above a Permit Adjustment is required.
11. **Construction Impact Mitigation Measures.** The applicant shall ensure that the following construction impact mitigation measures are fully implemented throughout the duration of construction activities associated with this project. For the purposes of this Permit, "construction" shall mean all on-site activities including site clearing, grading, and construction. Failure to comply with these conditions by the applicant, project contractors or subcontractors shall be cause for shutdown of the project site until compliance with the following conditions can be ensured by the City.
- a. *Mitigation Measures.* These construction impact mitigation measures shall be included in all contract documents for the project to ensure full disclosure to contractors and subcontractors.
 - b. *Equipment.* Mitigation of construction phase noise at the site shall include the use of quiet or "new technology" equipment, particularly with improved exhaust mufflers. All internal combustion engines used at the project site shall be equipped with the type of muffler recommended by the equipment manufacturer. In addition, all equipment shall be maintained in good mechanical condition so as to minimize noise created by faulty or poorly maintained engine, drive-train and other components.
 - c. *Construction Hours.* Construction shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Friday for any onsite or offsite work within 500 feet of any residential unit so as to avoid the more sensitive evening, nighttime and weekend hours.
 - d. *Construction Deliveries.* Deliveries shall not occur outside the above construction hours. All deliveries shall be coordinated to ensure that no delivery vehicles arrive prior to the opening of the gates to prevent the disruption of nearby residents.
 - e. *Plans.* The construction hours shall be printed on all plans for the project used to construct the project.
 - f. *Fencing.* The site shall be wholly enclosed by security fencing. The gates to the project site shall remain locked during all other times, except for a fifteen-minute period immediately preceding and following the above hours of construction.
 - g. *Construction Employees.* Construction workers shall not arrive to the site until the opening of the project gates. The applicant shall designate a location without

adjacent residential units for workers to wait prior to the opening of the project gates.

- h. *Construction Activities.* Construction equipment, materials, and workers shall not be staged on any area of the site within 50 feet of an adjoining property used for residential purposes unless the Director of Planning approves a Permit Adjustment authorizing such activity. The construction staging area shall not create a public or private nuisance.
 - i. *Disturbance Coordinator.* A disturbance coordinator shall be identified by the developer for this project. The disturbance coordinator shall be responsible for ensuring compliance with the hours of construction, site housekeeping, and other construction-related conditions in this permit.
 - j. *Daily Log.* The disturbance coordinator shall maintain a log of daily activities on the project, including but not limited to, verification of site closure activities, project cleanliness, complaints on site activities and conditions and dates and times of the coordinators visits to the project if the coordinator is not solely responsible for this project site. This log shall be available for inspection by City Staff upon request.
 - k. *Telephone Contact.* A phone with answering machine for complaints or other communication during non-work hours shall be maintained during the duration of project construction. The phone number should be a local call for surrounding residents.
 - l. *Signage.* The name and phone number of the disturbance coordinator, the hours of construction limitations, the project contact telephone number, City File Number PD12-017, city contact and phone number (department and phone number) shall be displayed on a weatherproof sign posted at each entrance to the project site.
12. **Dust Control/Air Quality.** Project construction shall implement the Bay Area Air Quality Management District's list of feasible construction dust control measures. The following construction practices shall be implemented during all phases of construction on the project site:
- a. Water all active construction areas at least twice daily or as often as needed to control dust emissions.
 - b. Cover all trucks hauling soil, sand, and other loose materials and/or ensure that all trucks hauling such materials maintain at least two feet of freeboard.
 - c. Apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas during construction of the site.
 - d. Sweep daily or as often as needed with water sweepers all paved access roads, parking areas and staging areas at construction sites to control dust.
 - e. Sweep public streets daily, or as often as needed, with water sweepers, to keep streets free of visible soil material.
 - f. Hydro seed or apply (non-toxic) soil stabilizers to inactive construction areas

(previously graded areas inactive for ten days or more).

- g. Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.) sufficient to prevent visible airborne dust.
- h. Limit traffic speeds on unpaved roads to 15 mph.
- i. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- j. Replant vegetation in disturbed areas as quickly as possible.

13. Tree Removal.

- a. *Permit Posting.* Prior to commencement of and during removal of any ordinance-size tree pursuant to this Permit, the applicant shall post on the site, or cause to be posted, a copy of this validated Permit in conformance with the following:
 - i. The copy of the permit shall be a minimum size of 8.5 by 11.0 inches; shall be posted at each public street frontage within 2 feet of the public sidewalk or right-of-way; and shall be posted in such a manner that the permit is readable from the public sidewalk or right-of-way.
- b. *Presentation of Permit.* During removal of any ordinance-size tree pursuant to this permit, the applicant shall maintain the validated permit on the site and present it immediately upon request by the Director of Planning, Building and Code Enforcement, Police Officers or their designee.
- c. *Tree Replacement.* Trees removed under this permit or removed under the previous permit shall be replaced at the following ratios:
 - Trees that are 18 inches in diameter or greater: Four 24-inch box trees for every tree that is removed.
 - Trees that are 12 to 17 inches in diameter: Two 24-inch box trees for every tree that is removed.
 - Trees that are less than 12 inches in diameter: One 15-gallon container tree for every tree that is removed.
- d. *On-Site Tree Replacement Alternative.* In the event the project site does not have sufficient area to accommodate the required tree mitigation, one or more of the following measures shall be implemented, to the satisfaction of the City's Environmental Principal Planner:
 - i. The size of a 15- gallon replacement tree can be increased to 24-inch box and count as two replacement trees.
 - ii. An alternative site(s) shall be identified for additional tree planting. Alternative sites may include local parks or schools, or installation of trees on adjacent properties for screening purposes
 - iii. A donation of \$300 per replacement tree shall be made to Our City Forest for in-lieu off-site tree planting in the community. These funds will be used for tree planting and maintenance of planted trees for approximately three years.

Contact Our City Forest at (408) 998-7337 x106 to make the donation. A donation receipt for off-site tree planting shall be provided to the Department of Planning, Building and Code Enforcement, Environmental Team within 30-days of removal of the first tree.

14. **Cultural Resources.** The development shall conform to the following standards:

- a. Should evidence of prehistoric cultural resources be discovered during construction, work within 50 feet of the find shall be stopped to allow adequate time for evaluation and mitigation by a qualified professional archaeologist. The material shall be evaluated and if significant, a mitigation program including collection and analysis of the materials at a recognized storage facility shall be developed and implemented under the direction of the City's Environmental Principal Planner.
- b. As required by County ordinance, this project will incorporate the following guidelines. Pursuant to Section 7050.5 of the Health and Safety Code, and Section 5097.94 of the Public Resources Code of the State of California in the event of the discovery of human remains during construction, there shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent remains. The Santa Clara County Coroner shall be notified and shall make a determination as to whether the remains are Native American. If the Coroner determines that the remains are not subject to his authority, he shall notify the Native American Heritage Commission who shall attempt to identify descendants of the deceased Native American. If no satisfactory agreement can be reached as to the disposition of the remains pursuant to this State law, then the land owner shall re-inter the human remains and items associated with Native American burials on the property in a location not subject to further subsurface disturbance.

15. **Hazards and Hazardous Materials Mitigation.** Prior to project grading, soils in the eastern portion of the site, in the vicinity of the previous church building (165 Stockton Avenue) shall be tested for the presence of volatile organic compounds, petroleum hydrocarbons constituents, metals, and pH. If soils containing hazardous materials are encountered at levels above federal, state, and/or local thresholds, they shall be removed and disposed of in accordance with existing regulations that are designed to protect workers and the environment. Any underground storage tanks encountered during construction shall be removed according to all federal, state, and local requirements.

16. **Nesting Raptor Mitigation.** The following measures are included in the project to avoid significant impacts to nesting raptors during the construction phase:

- a. A qualified ornithologist shall complete protocol-level, pre-construction surveys for nesting raptors on-site not more than 30 days prior to the onset of ground disturbance or tree removal, if disturbance is to occur during the breeding season (Feb. 1 to Aug. 31). All large trees within 250 feet of the limits of grading will be inspected as construction occurs on the project site.
- b. If a nesting raptor is detected, an appropriate construction buffer shall be

established during the nesting season. Actual size of buffer will be determined by the ornithologist and will depend on species, topography, and type of construction activity that would occur in the vicinity of the nest but would be a minimum of 250 feet.

- c. Prior to Building Permits a report summarizing the results of the pre-construction survey and subsequent efforts to protect nesting raptors (if found to be present) shall be submitted to the City's Environmental Principal Planner.
17. **Lighting.** Lighting shall conform to the Zoning Code and City Council Policy 4-3 Outdoor Lighting on Private Developments.
18. **Conformance with Municipal Code.** No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code.
19. **Revocation.** This Planned Development Permit is subject to revocation for violation of any of its provisions or conditions.
20. **Discretionary Review.** The Director of Planning, Building and Code Enforcement maintains the right of discretionary review of requests to alter or amend structures, conditions, or restrictions of this Planned Development Permit incorporated by reference in this Permit in accordance with Chapter 20.100 of the San Jose Municipal Code.
21. **Refuse.** All trash areas shall be effectively screened from view and covered and maintained in an orderly state to prevent water from entering into the garbage container. Trash areas shall be maintained in a manner to discourage illegal dumping.
22. **Recycling.** Scrap construction and demolition material should be recycled. Integrated Waste Management staff at (408)535-8566 can provide assistance on how to recycle construction and demolition debris from the project, including information on available haulers and processors.
23. **Anti-Graffiti.** The applicant shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement.
24. **Anti Litter.** The site and surrounding area shall be maintained free of litter, refuse, and debris. Cleaning shall include keeping all publicly used areas free of litter, trash, cigarette butts and garbage.
25. **Shopping Cart Management and Storage.** The applicant shall comply with Chapter 9.60 of San José Municipal Code regarding shopping carts. Shopping carts may only be stored in areas identified for such storage on the approved plan set.
26. **Outside Storage.** No outside storage is permitted except in areas designated on the approved plan set.
27. **Sign Approval.** No signs are approved at this time. All proposed signs shown on plans are conceptual and shall be subject to subsequent approval by the Director of Planning.
28. **Landscaping.** Planting and irrigation are to be provided as indicated on the approved plans. Landscaped areas shall be maintained and watered and all dead plant material is to be removed and replaced. Permanent irrigation is to be installed

in accordance with Part 4 of Chapter 15.10 of Title 15 of the San José Municipal Code, Water Efficient Landscape Standards for New and Rehabilitated Landscaping and the City of San José Landscape and Irrigation Guidelines.

29. **Irrigation Standards.** The applicant shall install an adequately sized irrigation distribution system with automatic controllers in all areas to be landscaped that conforms to the Zonal Irrigation Plan in the Approved Plan Set and is consistent with the City of San Jose Landscape and Irrigation Guidelines. The design of the system shall be approved and stamped by a California Registered Landscape Architect prior to Certificate of Occupancy.
30. **Certification.** Pursuant to San José Municipal Code, Section 15.10.486, certificates of substantial completion for landscape and irrigation installation shall be completed by licensed or certified professionals and provided to the Department of Planning, Building and Code Enforcement prior to approval of the final inspection of the project.
31. **Fire Lanes.** Fire lanes, suitably designated "FIRE LANE - NO PARKING," shall be provided to the satisfaction of the Fire Chief.
32. **Fire Flow.** Required fire flow for the site shall be provided to the satisfaction of the Fire Chief.
33. **Fire Hydrants.** The following shall be provided to the satisfaction of the Fire Chief.
 - a. The average distance between hydrants shall not exceed 300 feet. The maximum distance from any point on street frontage to a hydrant shall be 180 feet. Any exterior portion of all buildings shall be within 400 feet of a hydrant.
34. **Visible Street Numbers.** Street numbers shall be visible day and night from the nearest street, either by means of illumination or by use of reflective materials.
35. **Revocation, Suspension, Modification.** This Planned Development Permit may be revoked, suspended or modified by the Planning Director, or by the Planning Commission on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing in accordance with Part 3, Chapter 20.44, Title 20 of the San José Municipal Code it finds:
 - a. A violation of any conditions of the Planned Development Permit was not abated, corrected or rectified within the time specified on the notice of violation; or
 - b. A violation of any City ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation; or
 - a. The use as presently conducted creates a nuisance.

In accordance with the findings set forth above, a Planned Development permit to use the subject property for said purpose specified above is hereby approved.

APPROVED this 26th day of February 2013, by the following vote:

CC: 2/26/2013
Item #: 11.
RESO_

AYES:

NOES:

ABSENT:

DISQUALIFIED:

CHUCK REED
Mayor

ATTEST:

DENNIS D. HAWKINS, CMC
City Clerk

DRAFT



WHOLE FOODS MARKET

THE ALAMEDA



**FIELD
PAOLI**

Architects
150 California St.
7th Floor
San Francisco
California 94111
Tel. 415.788.6606
Fax 415.788.6650

WHOLE FOODS - THE
ALAMEDA

**WHOLE
FOODS
MARKET**

155 STOCKTON AVENUE
SAN JOSE, CA. 95126

DATE MARCH 30, 2012
PLANNED DEVELOPMENT PERMIT

NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	8/24/2012
2	PLAN CHECK RESPONSE	11/19/13

PD12-017

TITLE SHEET

SCALE As Indicated
DRAWN BY KDH
CHECKED BY CFS
JOB NO. 1156.10

SHEET NO. **1**

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VICINITY MAP



LOCATION MAP

PERMIT No.	TITLE
SP06-080	DEMOLITION PERMIT
PD07-039	PERMIT TO CONSTRUCT 43,977 SF WHOLE FOODS MARKET
AD08-024	LIGHTING DETAILS
AD10-210	1-YEAR PERMIT EXTENSION
AD11-187	1-YEAR PERMIT EXTENSION

PRIOR DEVELOPMENT PERMITS

No.	SHEET TITLE
1	COVER SHEET
2	LAND USE PLAN
3	SITE PLAN
3a.1	STREET IMPROVEMENT PLAN
3a.2	STREET IMPROVEMENT PLAN
3b.1	STREET SECTIONS & DETAILS
3c.1	TURNING MOVEMENTS
3c.2	TURNING MOVEMENTS
4	GRADING & DRAINAGE PLAN
4a	STORMWATER CONTROL PLAN
4b	UTILITY PLAN
5	ELEVATIONS
5a	SIGNAGE
6a	FLOOR PLAN - LEVEL 1
6b	FLOOR PLAN - LEVEL 2
6c	EGRESS COURT PLAN & INSPIRATION IMAGES
6d	ROOF PLAN
7	PLANTING PLAN & NOTES
7a	PLANT LIST & FENCE DETAIL
8a	SITE LIGHTING PLAN
8b	SITE LIGHTING PHOTOMETRICS PLAN
8c	SITE LIGHTING DETAILS & CUT SHEETS
9	OFF-SALE OF ALCOHOLIC BEVERAGES

SHEET INDEX

11/11/2013 4:38:37 PM

NOT FOR CONSTRUCTION

DATE	MARCH 7, 2007	
PLANNED DEVELOPMENT ZONING PERMIT		
REVISIONS		
NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	02/03/07
2	PLAN CHECK RESPONSE	03/01/07

DATE	MARCH 30, 2012	
PLANNED DEVELOPMENT PERMIT		
REVISIONS		
NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	02/03/07
2	PLAN CHECK RESPONSE	03/01/07

LAND USE PLAN

SCALE: 1" = 30'

DRAWN BY: JAH

CHECKED BY: BAA

JOB NO. 5-117100

SHEET NO. **DP-C-01**

SCALE: 12" = 1'-0"

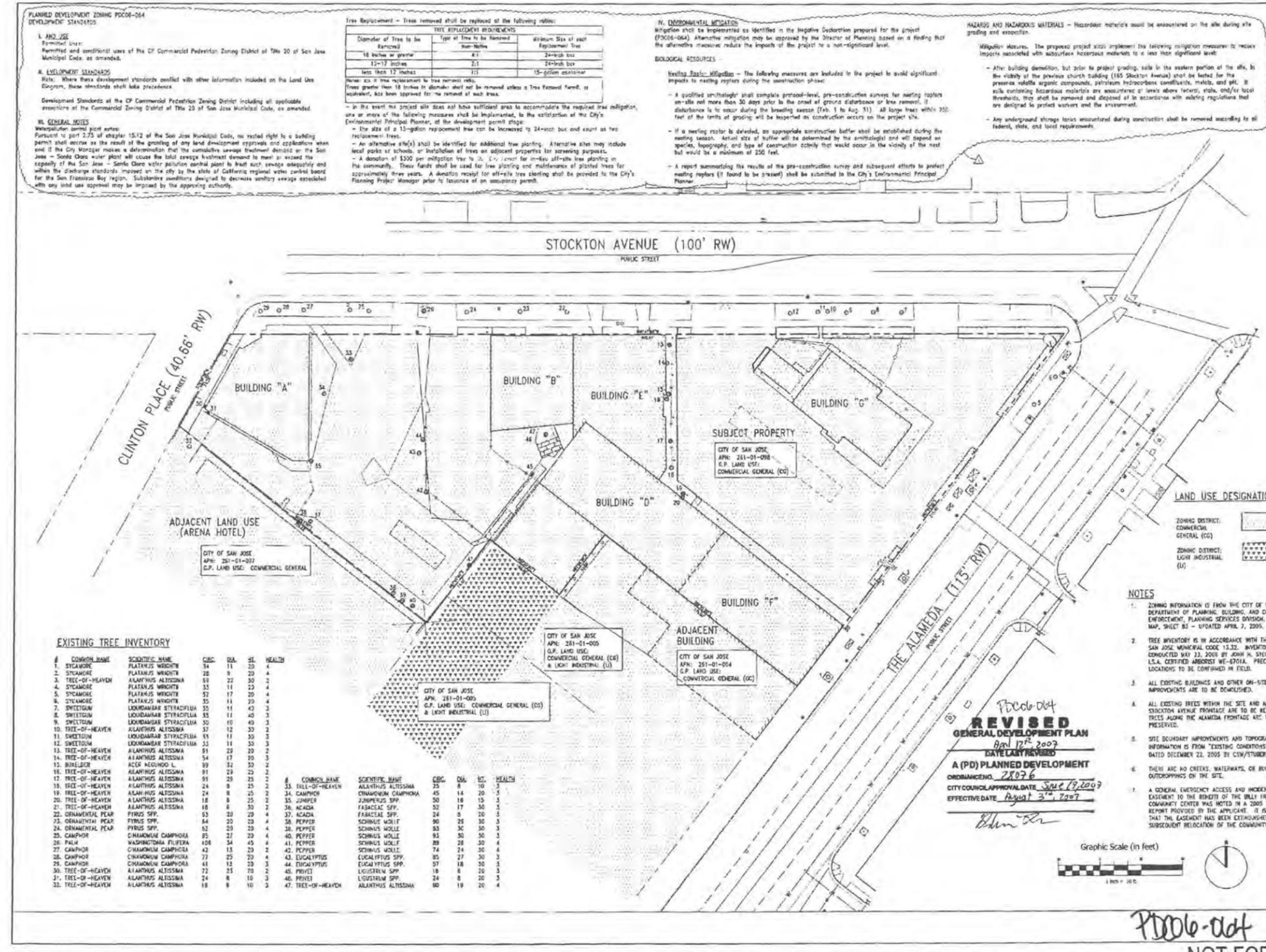
DRAWN BY: JAH

CHECKED BY: DAA

JOB NO. 1166.10

SHEET NO. **2**

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PLANNED DEVELOPMENT ZONING PD06-064 DEVELOPMENT STANDARDS

I. AND USE
Permitted uses:
Permitted and conditional uses of the CP Commercial Pedestrian Zoning District of Title 20 of San Jose Municipal Code, as amended.

II. DEVELOPMENT STANDARDS
Notes: Where these development standards conflict with other information included on the Land Use Diagram, these standards shall take precedence.

Development Standards of the CP Commercial Pedestrian Zoning District including all applicable exceptions of the Commercial Zoning District of Title 20 of San Jose Municipal Code, as amended.

III. GENERAL NOTES
Waterpiping and storm sewer:
Pursuant to part 2.75 of chapter 15.12 of the San Jose Municipal Code, no vested right to a building permit shall accrue as the result of the granting of any land development approval and collaboration when and if the City Manager makes a determination that the cumulative sewage treatment demand on the San Jose - Santa Clara water pollution control plant to treat such sewage originating and within the discharge standards imposed on the city by the state of California regional water control board for the San Francisco Bay region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approving authority.

Tree Replacement - Trees removed shall be replaced of the following table:

Diameter of Tree to be Removed	Type of Tree to be Replaced	Minimum Size of New Replacement Tree
18 inches or greater	Non-Native	24-inch box
12-17 inches	Native	24-inch box
Less than 12 inches	Native	18-gallon container

Notes: a. If tree replacement to tree removal ratio is less than 1:1, the applicant shall submit a tree mitigation plan. b. In the event the project site does not have sufficient area to accommodate the required tree mitigation, one or more of the following measures shall be implemented, at the discretion of the City's Environmental Principal Planner, of the development permit stage:
- The size of a 10-gallon replacement tree can be increased to 24-inch box and count as two replacement trees.
- An alternative site(s) shall be identified for additional tree planting. Alternative sites may include local parks or schools, or installation of trees on adjacent properties for screening purposes.
- A donation of \$200 per mitigation tree to the City's tree fund for in-situ off-site tree planting in the community. These funds shall be used for tree planting and maintenance of planted trees for approximately three years. A donation receipt for all-site tree planting shall be provided to the City's Planning Project Manager prior to issuance of an occupancy permit.

IV. ENVIRONMENTAL MITIGATION
Mitigation shall be implemented as identified in the Negative Declaration prepared for the project (PD06-064). Alternative mitigation may be approved by the Director of Planning based on a finding that the alternative measures reduce the impacts of the project to a not-significant level.

BIOLOGICAL RESOURCES
Mitigation Measures - The following measures are included in the project to avoid significant impacts to existing riparian during the construction phase:
- A qualified ornithologist shall complete pre-construction surveys for nesting raptors on-site not more than 30 days prior to the onset of ground disturbance or tree removal. If disturbance is to occur during the nesting season (Feb. 1 to Aug. 31), all large trees within 200 feet of the limits of grading will be inspected on construction activity on the project site.
- If a nesting raptor is detected, an appropriate construction buffer shall be established during the nesting season. Actual size of buffer will be determined by the ornithologist and will depend on species, topography, and type of construction activity that would occur in the vicinity of the nest but would be a minimum of 200 feet.
- A report summarizing the results of the pre-construction survey and subsequent efforts to protect nesting raptors (if found to be present) shall be submitted to the City's Environmental Principal Planner.

HAZARDOUS AND HAZARDOUS MATERIALS - Hazardous materials shall be encountered on the site during site grading and excavation.
Mitigation Measures: The proposed project shall implement the following mitigation measures to reduce impacts associated with subsurface hazardous materials to a less than significant level:
- After building demolition, but prior to project grading, soils in the eastern portion of the site, in the vicinity of the previous church building (185 Stockton Avenue) shall be tested for the presence of volatile organic compounds, petroleum hydrocarbon compounds, metals, and PCBs. If soils containing hazardous materials are encountered at levels above federal, state, and/or local thresholds, they shall be removed and disposed of in accordance with existing regulations that are designed to protect workers and the environment.
- Any underground storage tanks encountered during construction shall be removed according to all federal, state, and local requirements.



DATE: MARCH 30, 2012
PLANNED DEVELOPMENT PERMIT

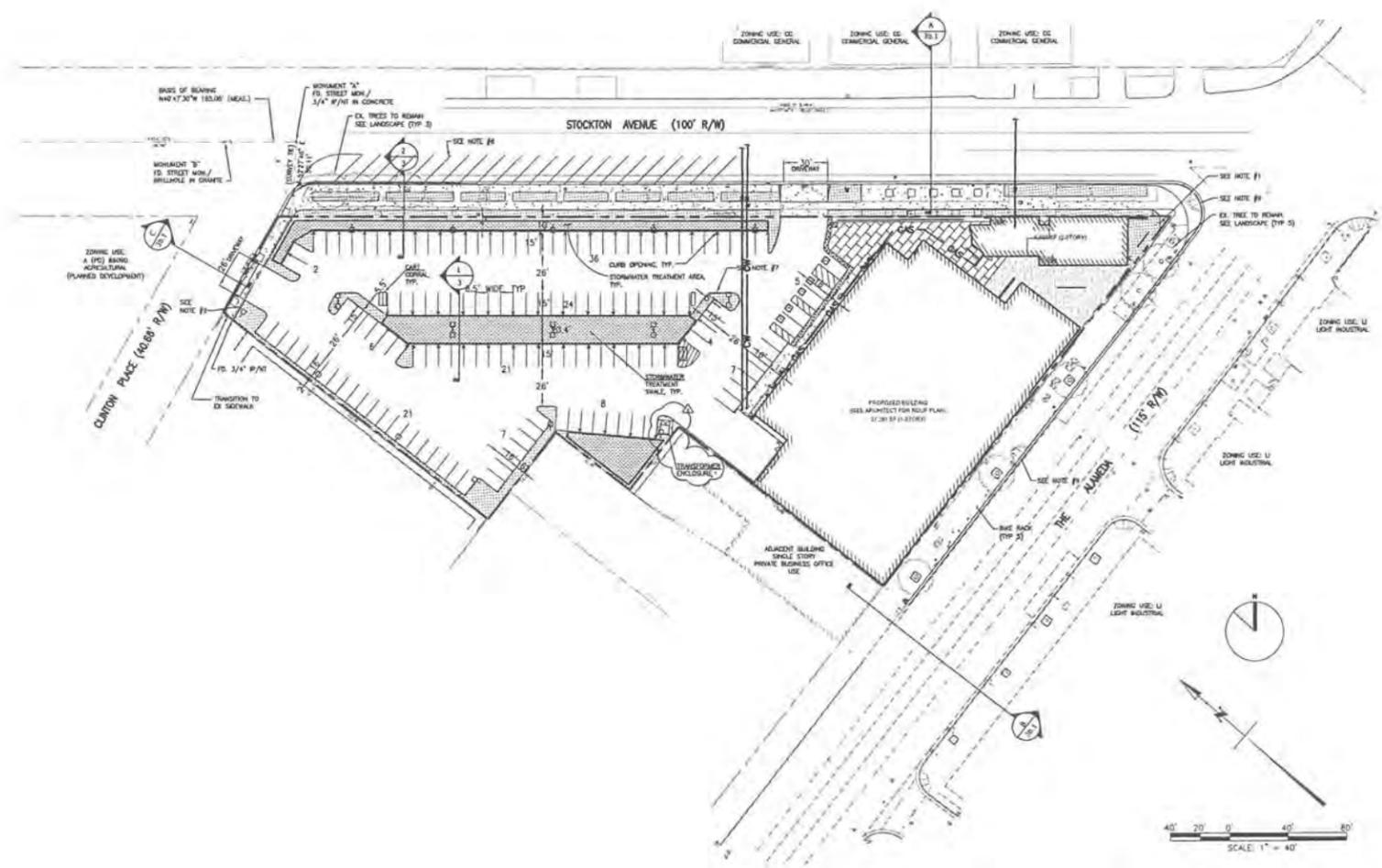
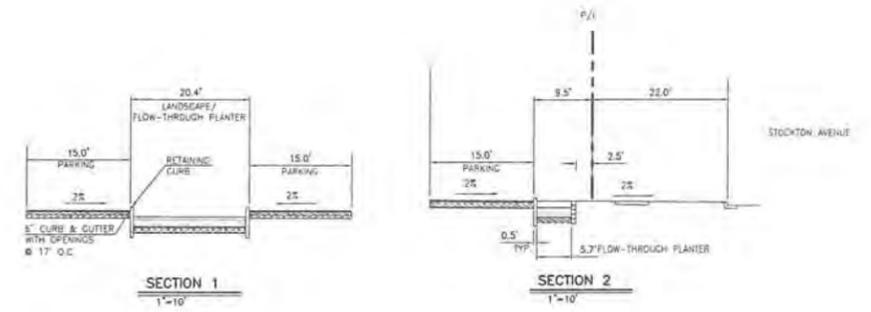
NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	5/24/12
2	PLAN CHECK RESPONSE	5/24/12

SITE PLAN

SCALE: AS NOTED
DRAWN BY: JTS
CHECKED BY: LMW
JOB NO: 112511

SHEET NO: **3**

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- NOTES**
- THE APPLICANT ANTICIPATES THAT THE CITY OF SAN JOSE WILL REQUEST ADDITIONAL RIGHT-OF-WAY AT THE INTERSECTION OF THE ALAMEDA AND STOCKTON AVENUE AS A CONDITION OF APPROVAL. THE ANTICIPATED EXTENT OF THE ADDITIONAL RIGHT-OF-WAY IS AS SHOWN.
 - THE APPLICANT ANTICIPATES THAT THE CITY OF SAN JOSE WILL REQUEST ADDITIONAL RIGHT-OF-WAY ALONG CLINTON PLACE AS A CONDITION OF APPROVAL. THE ANTICIPATED EXTENT OF THE ADDITIONAL RIGHT-OF-WAY IS AS SHOWN.
 - VERTICAL DATUM WAS SET BY THE CITY OF SAN JOSE BENCHMARK SYSTEM (NOV029), REFERENCE MARKER 496-B, ELEVATION 84.58 FEET. DESCRIPTION: THE LETTER 'T' IN THE WORD 'IRON' ON CATCH BASIN, NORTHWEST RETURN OF STOCKTON AVENUE AND THE ALAMEDA.
 - STREET IMPROVEMENTS AND NEW SIDEWALKS/LANDSCAPING ARE REPLACING THE EXISTING SIDEWALKS/LANDSCAPING IN THE SAME LOCATION ON ALL ADJACENT STREETS.
 - THE NEW SIDEWALK AND LANDSCAPING TO REPLACE EXISTING ON CLINTON PLACE IS WITHIN THE 10 FOOT EASEMENT.
 - IN PARKING STALLS WITH 6' CURBS, THE CURB ACTS AS A WHEEL STOP.
 - ALL CURBS NOT ADJOINING A PARKING STALL SHALL BE PAINTED RED AND MARKED AS 'FIRE LANE-NO PARKING.'
 - COORDINATE DIAGONAL BACK-IN PARKING PER CITY'S FUTURE PARKING PROJECT.
 - COORDINATE CURB RAMPS PER CITY'S FUTURE 6661 THE ALAMEDA STREETSCAPE PLAN.

SITE SUMMARY

A.P.N.: 251-01-098
GROSS SITE AREA: 2,128 AC +/-
NET SITE AREA: 1,860 AC +/-
GROSS BUILDING FLOOR AREA: 32,891 SF +/-
NET BUILDING FLOOR AREA: 27,957 SF +/-

SITE COVERAGE

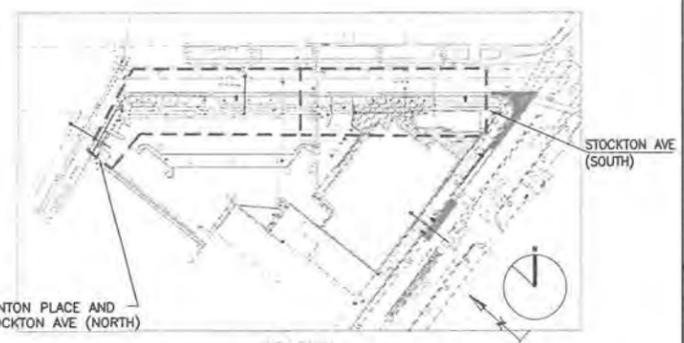
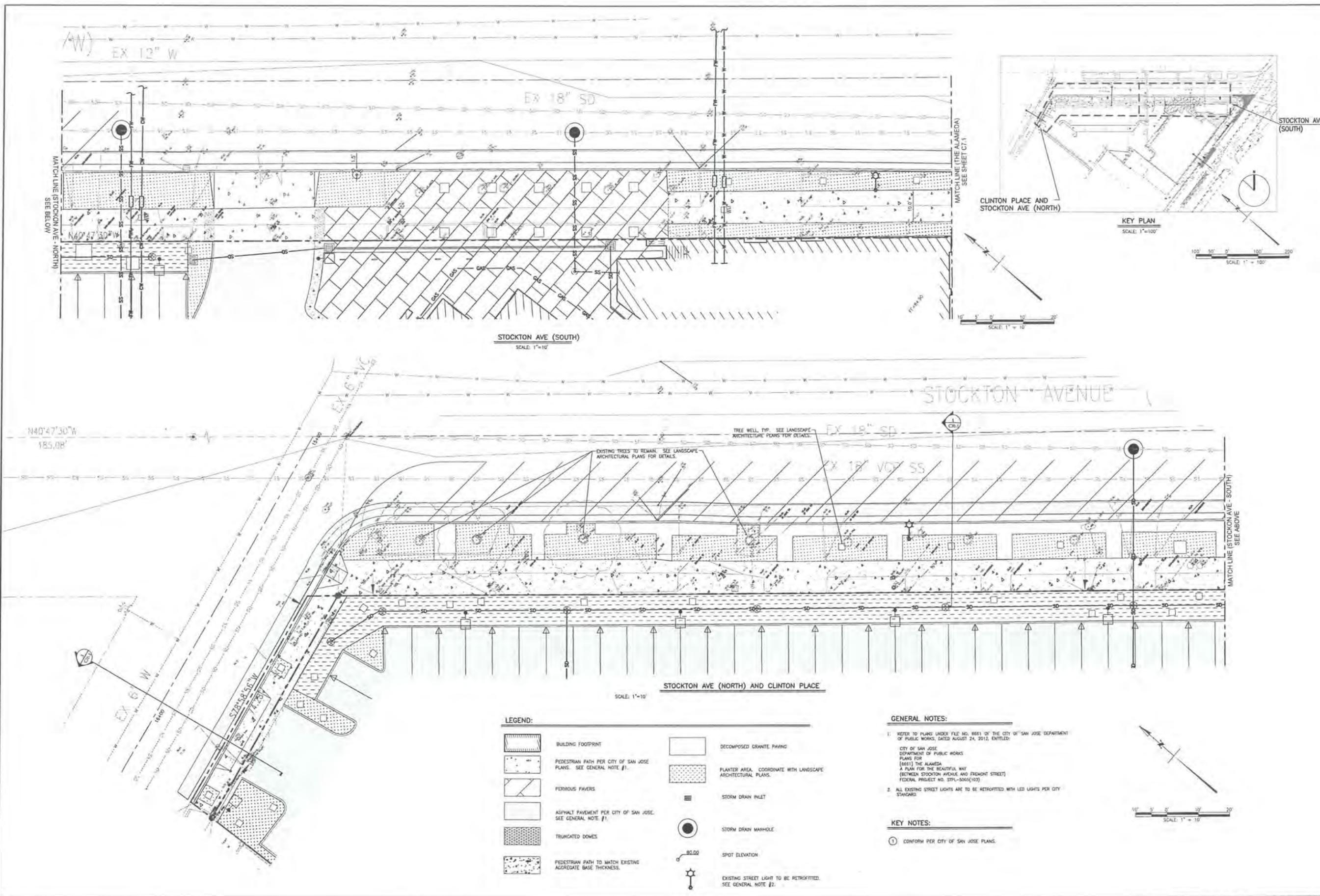
BUILDING: 32.0%
HARDSCAPE: 34.4%
LANDSCAPE: 13.6%
TOTAL: 100%

PARKING ANALYSIS

REQUIRED PARKING SPACES	PROVIDED PARKING SPACES
CARS	141
MOTORCYCLE	INCLUDED IN REGULAR PARKING COUNT
BICYCLE	81

* BASED ON NET BUILDING AREA AND BUSINESS DISTRICT PARKING RATIO OF ONE SPACE PER 400 SQUARE FEET
* MOTORCYCLE AND BICYCLE PARKING SPACES ARE PROVIDED AT A RATIO OF 1 PER 20 AUTO PARKING SPACES IN ACCORDANCE WITH THE SAN JOSE MUNICIPAL CODE ZONING ORDINANCE, TABLES 20.201 AND 20.202





STOCKTON AVE (SOUTH)
SCALE: 1"=10'

STOCKTON AVE (NORTH) AND CLINTON PLACE
SCALE: 1"=10'

LEGEND:

	BUILDING FOOTPRINT		DECOMPOSED GRANITE PAVING
	PEDESTRIAN PATH PER CITY OF SAN JOSE PLANS. SEE GENERAL NOTE #1.		PLANTER AREA. COORDINATE WITH LANDSCAPE ARCHITECTURAL PLANS.
	PREVIOUS PAVERS		STORM DRAIN INLET
	ASPHALT PAVEMENT PER CITY OF SAN JOSE. SEE GENERAL NOTE #1.		STORM DRAIN MANHOLE
	TRUNCATED DOMES		SPOT ELEVATION
	PEDESTRIAN PATH TO MATCH EXISTING AGGREGATE BASE THICKNESS.		EXISTING STREET LIGHT TO BE RETROFITTED. SEE GENERAL NOTE #2.

- GENERAL NOTES:**
- REFER TO PLANS UNDER FILE NO. 8661 OF THE CITY OF SAN JOSE DEPARTMENT OF PUBLIC WORKS, DATED AUGUST 24, 2012, ENTITLED:
CITY OF SAN JOSE DEPARTMENT OF PUBLIC WORKS PLANS FOR (8661) THE ALAMEDA A PLAN FOR THE BEAUTIFUL WAY (BETWEEN STOCKTON AVENUE AND FRENCH STREET) FEDERAL PROJECT NO. STPL-5005(103)
 - ALL EXISTING STREET LIGHTS ARE TO BE RETROFITTED WITH LED LIGHTS PER CITY STANDARD.
- KEY NOTES:**
- ① CONFORM PER CITY OF SAN JOSE PLANS.

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DATE: MARCH 30, 2012
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NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	3/24/2012
2	PLAN CHECK RESPONSE	10/12/13

PD12-017

STREET IMPROVEMENT PLAN

SCALE: AS NOTED
DRAWN BY: JAS
CHECKED BY: ACP
JOB NO: 112531

SHEET NO: **3a.2**

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"DATE BOUND"

DATE: MARCH 30, 2012
PLANNED DEVELOPMENT PERMIT

REVISIONS

NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	04/10/12
2	PLAN CHECK RESPONSE	01/10/13

PD12-017

STREET SECTIONS AND DETAILS

SCALE: AS NOTED

DRAWN BY: JAS

CHECKED BY: ACP

JOB NO: 112531

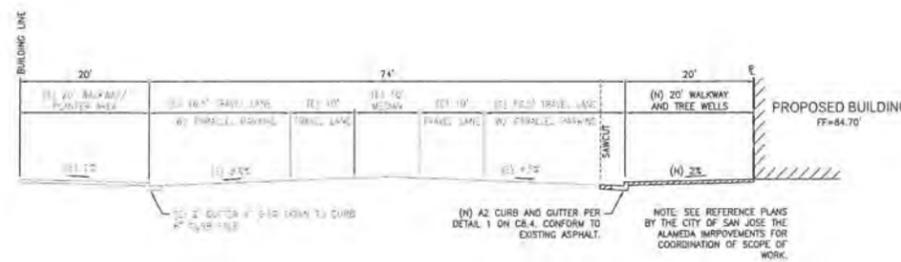
3b.1

SHEET NO:

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1 TYPICAL STREET SECTION (STOCKTON AVENUE)



2 TYPICAL STREET SECTION (THE ALAMEDA)



3 TYPICAL STREET SECTION (CLINTON PLACE)



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NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	03/28/12
2	PLAN CHECK RESPONSE	04/10/12

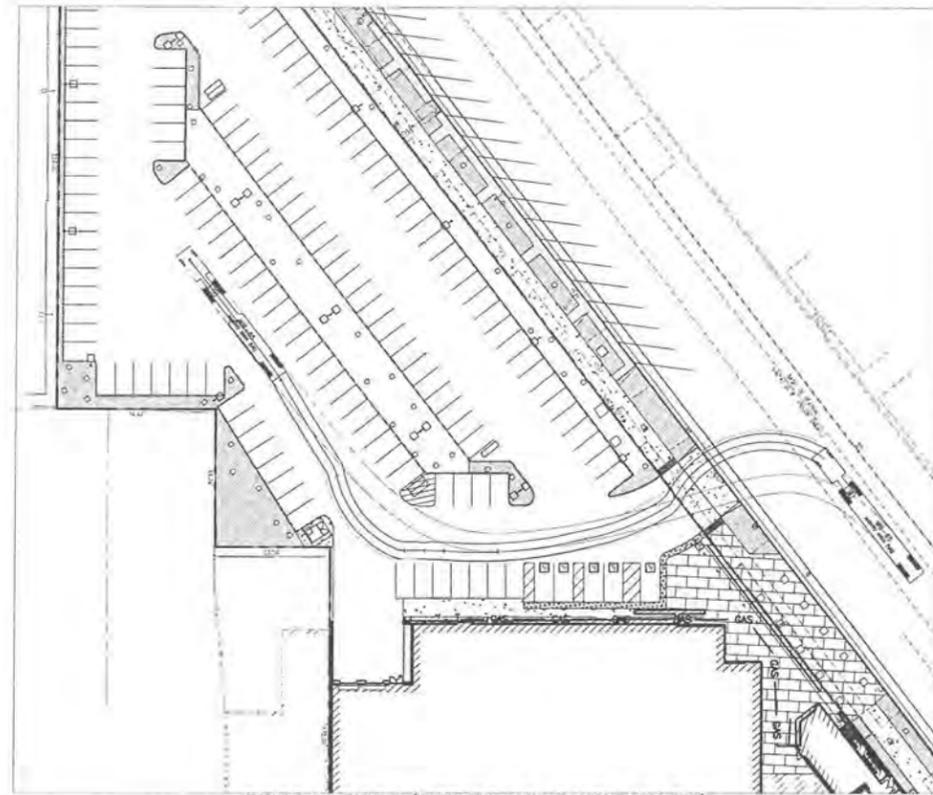
PD12-017

TURNING MOVEMENTS

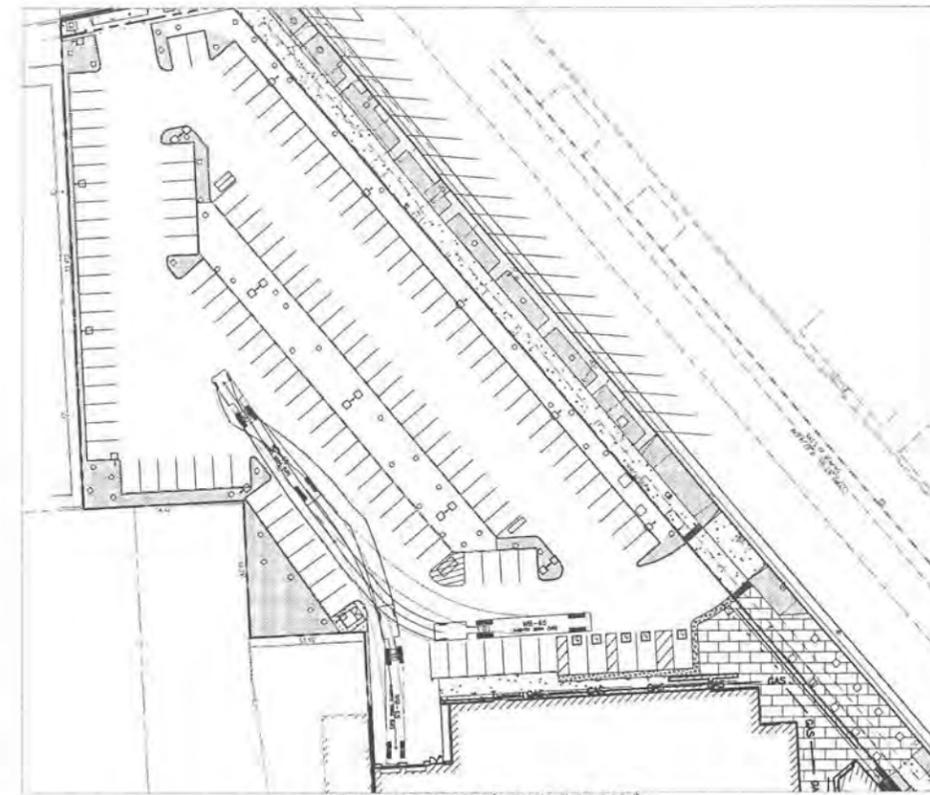
SCALE	AS NOTED
DRAWN BY	JAS
CHECKED BY	ADP
JOB NO.	112531

3c.1

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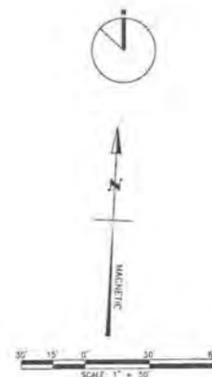
TURNING MOVEMENT 1 (WESTBOUND FROM STOCKTON ONTO SITE)
SCALE: 1"=30'

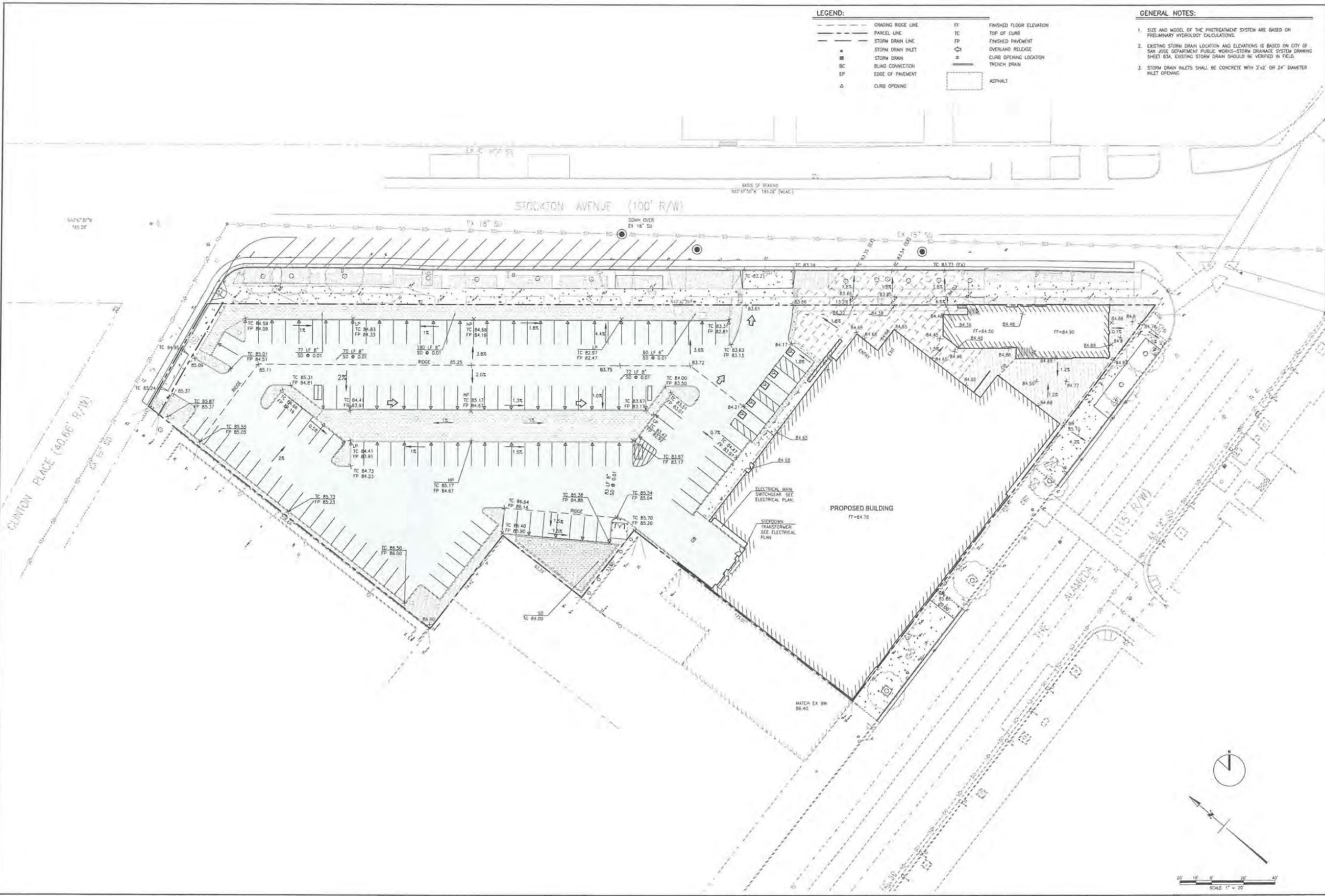


TURNING MOVEMENT 2 (BACKING INTO DOCK)
SCALE: 1"=30'

NOTES:

- TRUCK TURNING RADII WERE CALCULATED USING A WB-65 AASHITO 2004 TRUCK TEMPLATE. THIS ASSUMED TRUCK IS CONSISTENT WITH THE TYPICAL WHOLE FOODS OPERATION.
- MARGINS OF SAFETY: A MINIMUM 2' CLEARANCE WAS MAINTAINED BETWEEN THE TRUCK BODY AND ALL BUILDINGS. THE TRUCK TIRES WERE ALLOWED TO PASS FLUSH OR 6" CURBS WITH NO CLEARANCES. THE TRUCK BODY WAS ALLOWED TO OVERHANG FLUSH OR 8" CURBS.





LEGEND:

---	GRADING RIDGE LINE	FF	FINISHED FLOOR ELEVATION
---	PARCEL LINE	TC	TOP OF CURB
---	STORM DRAIN LINE	FP	FINISHED PAVEMENT
●	STORM DRAIN INLET	○	OVERLAND RELEASE
■	STORM DRAIN	□	CURB OPENING LOCATION
BC	BLIND CONNECTION	—	TRENCH DRAIN
EP	EDGE OF PAVEMENT	□	ASPHALT
△	CURB OPENING		

- GENERAL NOTES:**
1. SIZE AND MODEL OF THE PRETREATMENT SYSTEM ARE BASED ON PRELIMINARY HYDROLOGY CALCULATIONS.
 2. EXISTING STORM DRAIN LOCATION AND ELEVATIONS IS BASED ON CITY OF SAN JOSE DEPARTMENT PUBLIC WORKS-STORM DRAINAGE SYSTEM DRAWING SHEET 83A. EXISTING STORM DRAIN SHOULD BE VERIFIED IN FIELD.
 3. STORM DRAIN INLETS SHALL BE CONCRETE WITH 24" OR 24" DIAMETER INLET OPENING.

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DATE SUBMIT: MARCH 30, 2012
DATE: MARCH 30, 2012
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NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	3/29/12
2	PLAN CHECK RESPONSE	3/12/12

PD12-017

GRADING & DRAINAGE PLAN

SCALE	AS NOTED
DRAWN BY	JAS
CHECKED BY	ACP
JOB NO.	112531

4

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1	PLAN CHECK RESPONSE	8/24/2012
2	PLAN CHECK RESPONSE	1/17/2013

PD12-017

STORMWATER CONTROL PLAN

SCALE	AS NOTED
DRAWN BY	JAS
CHECKED BY	ACP
DATE	1/25/13

SHEET NO. **4a**

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- STORMWATER CONTROL PLAN NOTES:**
1. THE SITE IS SLOPING FROM SOUTH TO NORTH, WITH A 1 - 2 FOOT ELEVATION DIFFERENCE FROM THE MOST SOUTHERN PARCEL LINE TO STOCKTON AVENUE. ALL STORM DRAINAGE RUNOFF FROM IMPERVIOUS AREAS ON THE SITE SHALL BE TREATED BY FLOW-THROUGH PLANTERS AS DETAILED BELOW.
 2. THE SOIL IS CLASSIFIED AS S4 WITH A DESCRIPTION OF STIFF SOIL PROFILE. PER CITY OF SAN JOSE RECORDS, THE DEPTH TO GROUNDWATER WAS HISTORICALLY DETERMINED TO BE APPROXIMATELY 15 FEET BY THE PROJECT SOILS ENGINEER.
 3. THE MEAN ANNUAL PRECIPITATION IS APPROXIMATELY 13.5 INCHES PER YEAR, BASED ON FIGURE 1 OF ATTACHMENT N-1 OF THE SCVURPPP C.J. STORMWATER HANDBOOK, DATED MAY 2004.
 4. THE 100-YEAR FLOOD ELEVATION IN THIS FLOOD AREA (ZONE AD) WITH A DEPTH OF 1.00 FOOT PER THE FLOOD INSURANCE RATE MAP NUMBER 06085C0234H, DATED MAY 19, 2009.
 5. THE SITE STORM DRAIN RUNOFF WILL BE FILTERED AND CONVEYED INTO THE EXISTING STORM DRAIN SYSTEM ADJACENT TO THE PROJECT SITE. THE EXISTING SYSTEM EVENTUALLY DRAINS TO THE GUADALUPE RIVER TO THE NORTH AND EAST OF THE PROJECT SITE.
 6. POTENTIAL POLLUTANTS INCLUDE MOTOR VEHICLE LUBRICANTS, COOLANTS, DISC BRAKE DUST, LITTER AND DEBRIS. POLLUTANT SOURCE AREAS INCLUDE THE ASPHALT CONCRETE PARKING LOT AND DRIVE ASPILES, AND THE ROOF OF THE BUILDING. ALL STORM DRAIN INLETS WILL BE MARKED "NO DUMPING - DRAINS TO BAY." THE PARKING LOT SHALL BE SWEEPED REGULARLY TO PREVENT THE ACCUMULATION OF LITTER AND DEBRIS.
 7. THE BIORETENTION PLANTERS WILL BE INSPECTED AT REGULAR INTERVALS TO ENSURE THEY ARE FUNCTIONING PROPERLY AT A MINIMUM THEY SHALL BE INSPECTED IN THE FOLLOWING INSTANCES:
 - a. MINOR MAINTENANCE: TWICE PER YEAR OR AFTER A MAJOR STORM EVENT
 - b. MAJOR MAINTENANCE: IN THE EVENT OF A CHEMICAL SPILL
 8. THE COST OF MAINTENANCE OF THE BIORETENTION PLANTERS WILL BE BORNE BY THE PROPERTY OWNER.

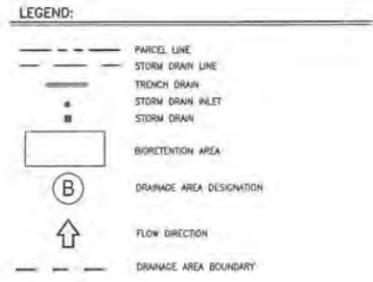
BIORETENTION AREA SIZING SUMMARY:

TREATMENT AREA	TOTAL DRAINAGE AREA (SQ. FT.)	IMPERVIOUS AREA (SQ. FT.)	FLOW-THROUGH PLANTER REDUCTION (SQ. FT.)	FLOW-THROUGH PLANTER AREA PROVIDED (SQ. FT.)	RUNOFF COEFFICIENT (C)	DISCHARGE RATE (CFS) INTENSITY: 2.02 in/hr	WATER QUALITY
A	2,688	1,639	66	1,049	0.50	0.01	
B	50,620	47,042	1,882	3,578	0.73	0.17	
C	41,297	38,303	1,572	1,988	0.79	0.15	
TOTAL	94,605**	87,990	3,520	6,615	(C AVG) 0.75	0.33	

*REQUIRED TREATMENT SURFACE AREA USES A 1:25, OR 4% SIZING METHOD PER THE SCVURPPP GUIDANCE.
**TOTAL DRAINAGE AREA DOES NOT INCLUDE APPROXIMATELY 638 SQ. FT. DEDICATION AREA ON CLINTON AVENUE.

STORMWATER TREATMENT SUMMARY:

TOTAL PARCEL AREA	94,605 sq. ft.	(2.17 ac.)
TOTAL AREA OF SITE TO BE DEVELOPED:	94,605 sq. ft.	(2.17 ac.)
TOTAL PROPOSED IMPERVIOUS AREAS BEING CREATED AND TREATED WITHIN THE SITE DEVELOPMENT AREA:	87,990 sq. ft.	(2.02 ac.)
TOTAL PROPOSED IMPERVIOUS AREAS BEING CREATED AND BUT NOT TREATED WITHIN THE SITE DEVELOPMENT AREA:	0 sq. ft.	(0 ac.)
PERCENT OF STORM DRAIN RUNOFF FROM IMPERVIOUS AREAS BEING TREATED:	100%	



- GENERAL NOTES:**
1. SIZE OF THE NATURAL VEGETATIVE TREATMENT SYSTEM IS BASED ON PRELIMINARY HYDROLOGY CALCULATIONS.
 2. EXISTING STORM DRAIN LOCATION AND ELEVATION IS BASED ON CITY OF SAN JOSE DEPARTMENT OF PUBLIC WORKS - STORM DRAINAGE SYSTEM DRAWING SHEET 63A. EXISTING STORM DRAIN TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE

Category	Project Phase Number: BVA 1, 2, 3 etc.		N/A
	Total Site (acres)	Total Area of 4.0in Disturbed (acres)	
Total Site (acres)	2.17	2.17	
Impervious Surfaces	Existing Condition of Site Area Disturbed (Square Feet)		Proposed Condition of Site Area Disturbed (Square Feet)
Flood Area (sq)		30,233	None
Parking		51,228	
Concrete Public Paths, etc.			
Roofs (Public)			
Streets (Public)			
Total Impervious Surfaces:		81,690	
Pervious Surfaces			
Unpaved Areas	94,605	12,915	
Permeable Paving			
Open Pervious Surfaces (green roof, etc.)			
Total Pervious Surfaces:	94,605	12,915	
Total Proposed Replaced + New Impervious Surfaces:		81,690	
Total Proposed Replaced + New Pervious Surfaces:		12,915	

Regulated Project: Any project that creates new and/or restores (in value or collection) 10,000 square feet or more of impervious surface area. Additional data verifying the percent replacement of impervious surface area may be requested for any Regulated Project that appears to be subject to Phase one (1) to (3) or (2) to (3) (commonly known as the 50% Rule).

Definitions:
 *Proposed Replaced Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing impervious surface.
 *Proposed New Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing pervious surface.

CERTIFICATION

I CERTIFY THAT THE SPECIFIED STORMWATER TREATMENT CONTROL MEASURES SHOWN ON THIS PLAN MEET THE CITY OF SAN JOSE'S REQUIREMENTS CONTAINED IN POST-CONSTRUCTION URBAN RUNOFF MANAGEMENT POLICY NUMBER 8-29, DATED AUGUST 15, 2005.

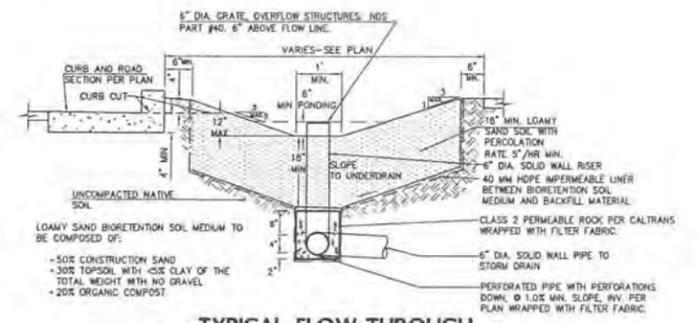
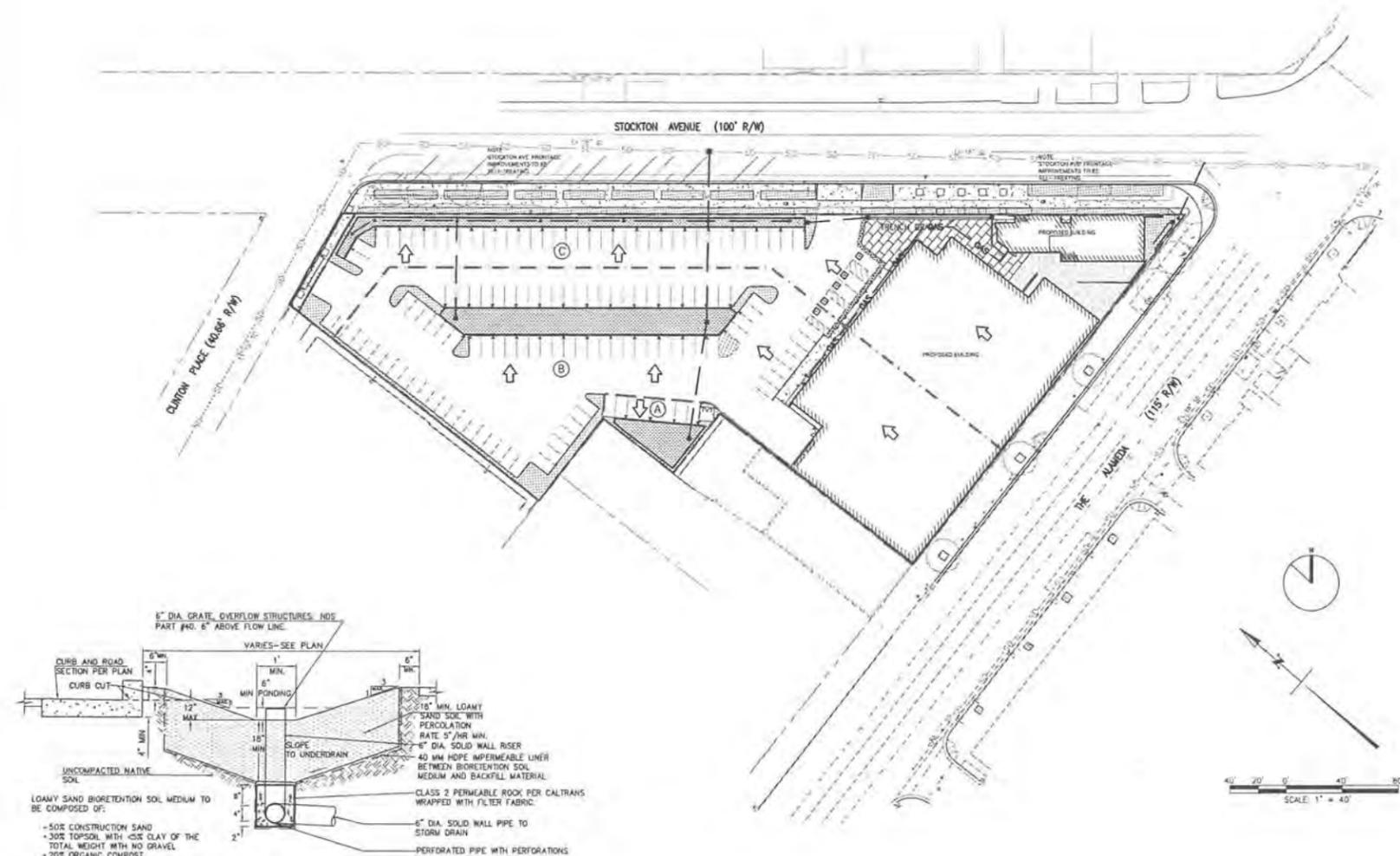
DESIGN NOTES:

PROPOSED CONTROL MEASURES INCLUDE 3 BIORETENTION PLANTERS WITH A SUBDRAIN.

SIZING OF THE BIORETENTION PLANTERS WAS DETERMINED UTILIZING THE FLOW HYDRAULIC DESIGN BASED FLOW-BASED BMP DESIGN CRITERIA. IN PARTICULAR, THE BIORETENTION PLANTERS ARE SIZED TO TREAT THE FLOW OF RUNOFF RESULTING FROM A RAIN EVENT EQUAL TO AT LEAST 0.2 INCHES PER HOUR INTENSITY (UNIFORM INTENSITY APPROACH).

DATE SIGNED: _____

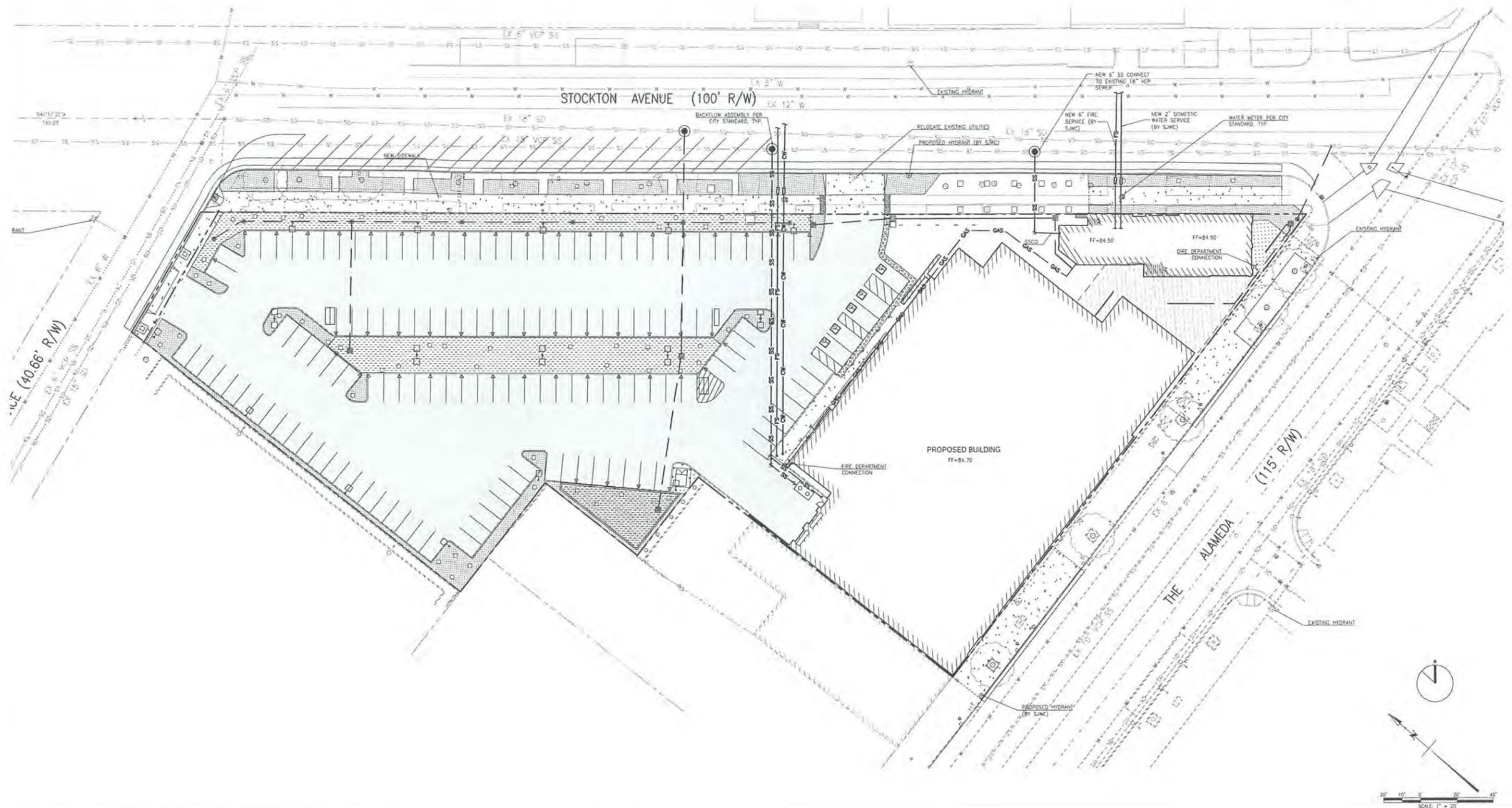
PREPARED BY OR UNDER THE SUPERVISION OF: _____ DATE: _____
 LICENSE NUMBER: 6-30-12



LEGEND:

---	PARCEL LINE
---	SANITARY SEWER LINE
---	FIRE SERVICE LINE
---	COLD WATER LINE
---	GAS LINE
SSCD*	SANITARY SEWER CLEAOUT
○	LIGHT POLE
○	MANHOLE PER CITY STANDARD D-11
•	UTILITY POINT OF CONNECTION
□	GREASE TRAP

- GENERAL NOTES:**
- EXISTING SANITARY SEWER LOCATION AND ELEVATION IS BASED ON CITY OF SAN JOSE DEPARTMENT PUBLIC WORKS - SANITARY SEWER SYSTEM DRAWING SHEET 83A. EXISTING SANITARY SEWER SHALL BE VERIFIED IN FIELD.
 - EXISTING HYDRANTS WERE LOCATED DURING SURVEY PERFORMED BY RW DAVIS & ASSOCIATES ON NOVEMBER 10, 2010 & JUNE 13, 2007.
 - EXISTING AND PROPOSED HYDRANTS ARE LOCATED WITHIN 300 FEET OF EACH OTHER. A TOTAL OF FOUR (4) HYDRANTS ARE PROPOSED TO SERVICE THE SITE. A MINIMUM OF FOUR (4) HYDRANTS ARE REQUIRED TO MEET THE 4500 GPM REQUIRED FOR THE SITE.
 - NEW FIRE SERVICES ARE ASSUMED AND WILL INCLUDE AN APPROVED ABOVE-GROUND BACKFLOW PREVENTER AND POST INDICATOR VALVE. THE BUILDING FIRE SPRINKLER SYSTEM WILL INCLUDE A WALL-MOUNTED FIRE DEPARTMENT CONNECTION.
 - THE DOMESTIC WATER SERVICES ARE ASSUMED AND WILL INCLUDE AN APPROVED ABOVE-GROUND BACKFLOW PREVENTER AND WATER METER.
 - SAN JOSE WATER COMPANY (SJWC) WILL PERFORM THE STREET TAPS AND LATERALS UP TO THE BACKFLOW DEVICES AND FIRE HYDRANTS FOR A FEE.
 - SANITARY SEWER SERVICES ARE ASSUMED AND WILL INCLUDE CLEAOUTS AT THE PROPERTY LINE AND OUTSIDE THE BUILDINGS.



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DATE: MARCH 30, 2012

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1	PLAN CHECK RESPONSE	03/29/12
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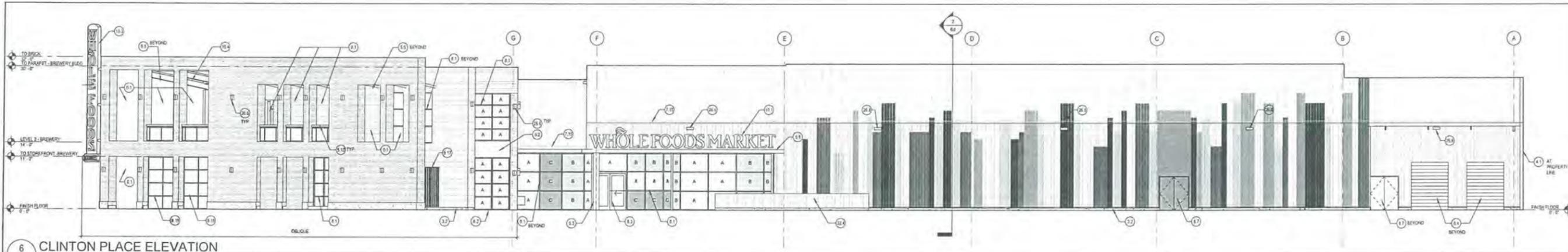
UTILITY PLAN

SCALE	AS NOTED
DRAWN BY	JAS
CHECKED BY	ACP
JOB NO.	112531

4b

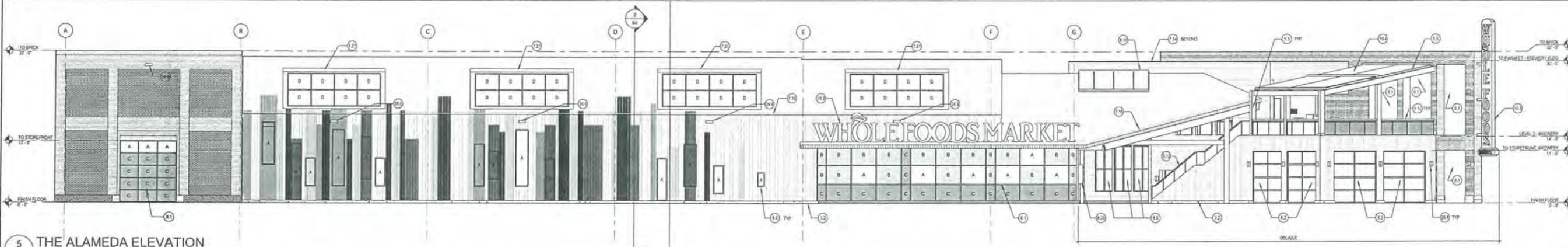
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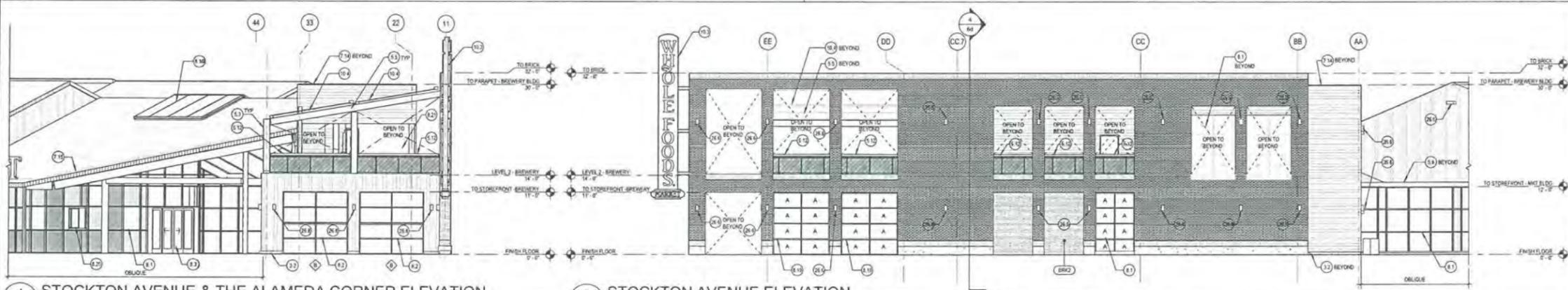
6 CLINTON PLACE ELEVATION

5 1/8" = 1'-0"



5 THE ALAMEDA ELEVATION

5 1/8" = 1'-0"



4 STOCKTON AVENUE & THE ALAMEDA CORNER ELEVATION

5 1/8" = 1'-0"

3 STOCKTON AVENUE ELEVATION

5 1/8" = 1'-0"

KEYNOTES

- 8.1 OPEN TO BEYOND
- 8.2 CONCRETE CURB 6" HIGH AT BUILDING WALL
- 4.1 CMU
- 8.3 STEEL COLUMN S.S.D.
- 8.4 STEEL BEAM S.S.D.
- 8.5 METAL EYEBROW CANOPY MATCH ROOF TRIM
- 8.12 GUARDRAIL, MESH PANEL TYPE
- 7.14 COPING OR METAL CAP, FIRE FINISHED
- 7.15 GUTTER, CONCEALED, PREFINISHED
- 7.11 DOWNSPOUT
- 8.1 ALUMINUM STOREFRONT, KAWNEER TRIPFAB AND CUSTOM KYNAR COLOR
- 8.2 OVERHEAD 8'-6" FABRICATION, GLAZED, MOTOR OPERATED
- 8.3 AUTOMATIC SLIDING DOORS WITH SIDE CUTTING TRANSOM
- 8.4 CUSTOM KYNAR COLOR
- 8.4 ROLL UP DOOR, MOTORIZED
- 8.4 ALUMINUM WINDOW, SQUARE TRIPFAB AND CUSTOM KYNAR COLOR, PAINTED
- 8.7 HOLD UP METAL DOOR AND FRAME
- 8.10 ALUMINUM SKYLIGHT

KEYNOTES

- 8.10 SPANFREL GLAZING
- 8.15 ROLL UP OPEN AIR GRILLE, MOTORIZED
- 8.17 GATE WITH FABRIC WINDOW
- 8.18 ALUMINUM STOREFRONT
- 8.20 SLIDING WINDOW WITH CUSTOM SERVICE COUNTER
- 8.21 SLIDING FOLDING SOLID GRILLE, MANUAL
- 8.22 SECURITY GRILLE ENCLOSURE FRAME
- 9.2 CLOSURE PANEL, ALUMINUM MATCH STOREFRONT
- 10.1 SIGNAGE, N.I.C. SEE ASG
- 10.2 SIGNAGE, N.I.C. SEE ASG
- 10.3 SIGNAGE, N.I.C. SEE CS4
- 10.4 FABRIC FINISH SYSTEM
- 20.6 WALL MOUNTED LIGHT FIXTURE
- 20.7 WALL MOUNTED LIGHT FIXTURE
- 20.8 WALL MOUNTED LIGHT FIXTURE
- 20.9 RECESSED REEF LIGHT
- 22.4 CART CORRAL, METAL SLEWING ON CONCRETE BASE
- 32.6 CART CORRAL, PIPE RAIL
- 32.7 CART RAIL, FLOOR MOUNTED

DATE: JANUARY 28, 2013
PROGRESS PRINTS

REVISIONS

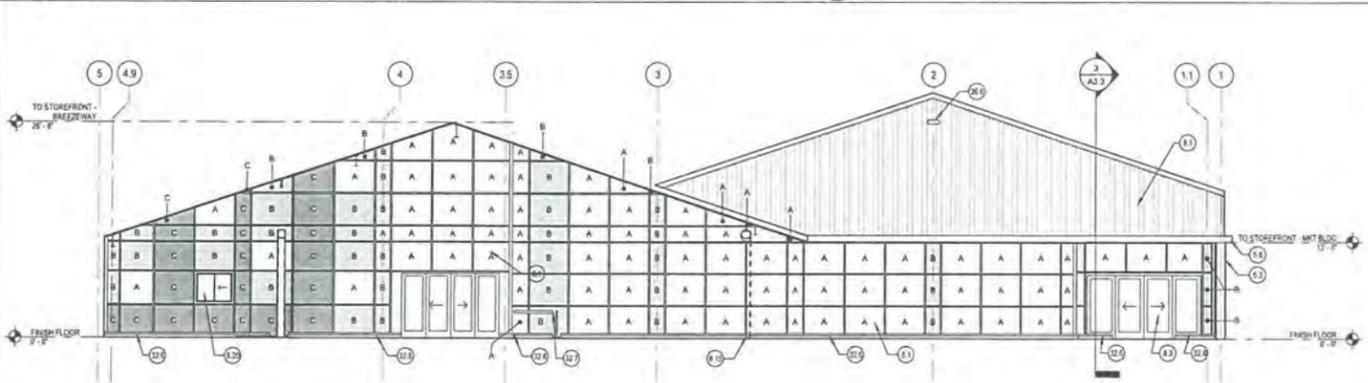
NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	3/20/12
2	PLAN CHECK RESPONSE	11/12/13
3	PLAN CHECK RESPONSE	2/1/2013

PD12-017

ELEVATIONS

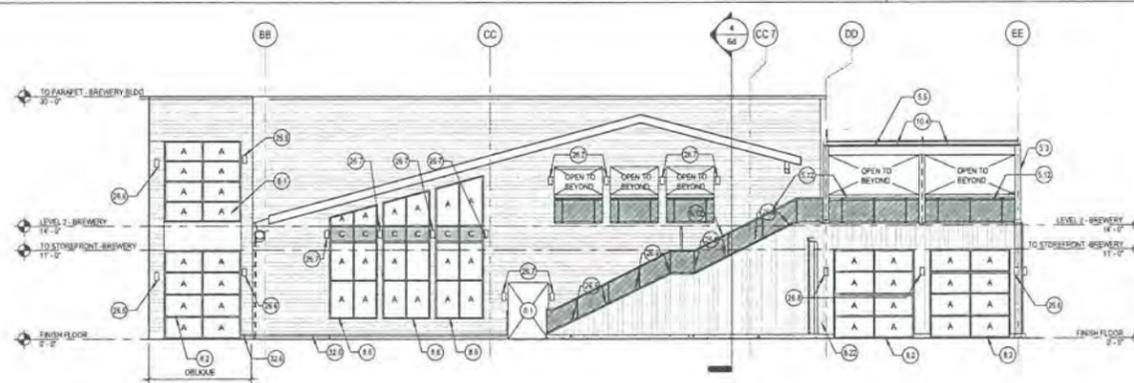
LEGEND

- CORRUGATED METAL SIGNING HOOP MULTICOLOR
- WOOD SIDING
- BRICK
- CONCRETE
- A GLASS - TRANSPARENT
- B GLASS - TRANSLUCENT VARIOUS COLORS
- C GLASS - SPANFREL
- D GLASS - FROSTED



2 BREEZEWAY - WEST

5 1/8" = 1'-0"



1 BREEZEWAY - EAST

5 1/8" = 1'-0"

2/17/2013 5:48:43 PM

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2'-8" 39'-9"
WHOLE FOODS MARKET

A PAN CHANNEL LETTER SPECIFICATIONS Scale: 1/4" = 1'-0"

Description: Manufacture and install one (1) set of 2'-8" internally-illuminated channel letters.

Component	Type	Specifications	Color / Finish
Faces	3/16" Milky White Plex #2447	Vinyl applied 1st surface	Holly Green #3630-76
Trimcaps	3/4" Trimcap	Jewelite	Match PMS #342 (Green)
Returns	.063 Aluminum	Paint (satin)	Match PMS #342 (Green)
Illumination	LED		Green
Raceway	Aluminum	Paint (satin)	Match canopy color

NOTE: Final attachment to be determined based upon final elevations, building sections and technical survey.

NORTH ELEVATION CALCULATIONS

217'-8" x 1 = 218.67 square feet allowed

SIGN A

2'-8" x 39'-9" = 106.01 square feet shown

3'-10" 57'-1 1/4"
WHOLE FOODS MARKET

B PAN CHANNEL LETTER SPECIFICATIONS Scale: 1/4" = 1'-0"

Description: Manufacture and install one (1) set of 3'-10" internally-illuminated channel letters.

Component	Type	Specifications	Color / Finish
Faces	3/16" Milky White Plex #2447	Vinyl applied 1st surface	Holly Green #3630-76
Trimcaps	3/4" Trimcap	Jewelite	Match PMS #342 (Green)
Returns	.063 Aluminum	Paint (satin)	Match PMS #342 (Green)
Illumination	LED		Green
Raceway	Aluminum	Paint (satin)	Match canopy color

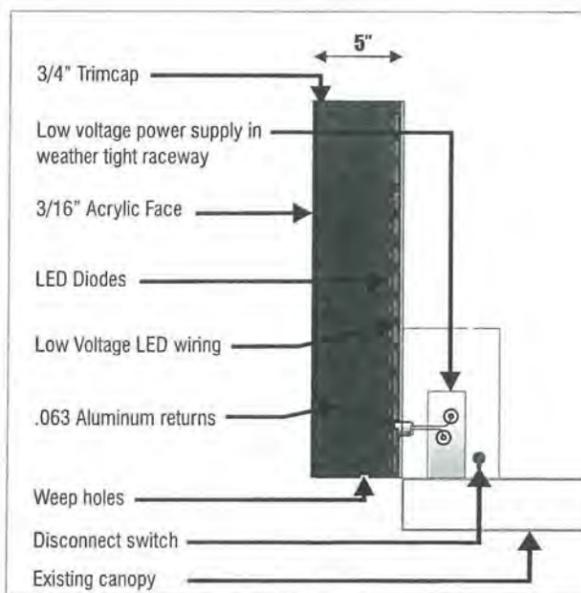
NOTE: Final attachment to be determined based upon final elevations, building sections and technical survey.

SOUTH ELEVATION CALCULATIONS

217'-8" x 1 = 217.67 square feet allowed

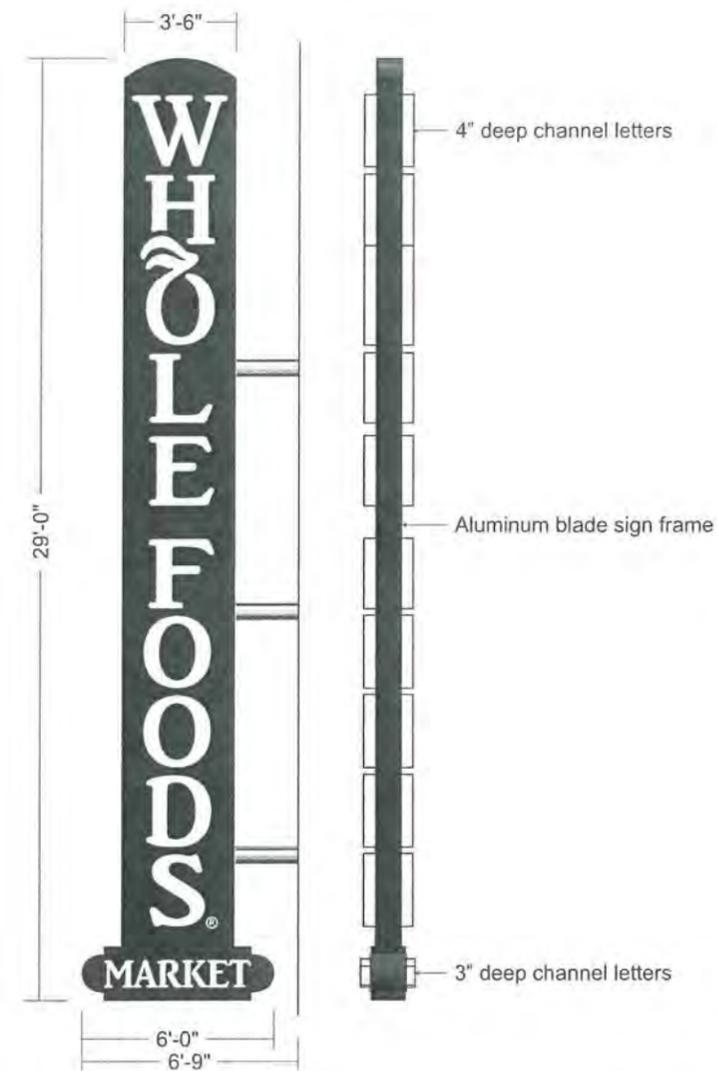
SIGN B

3'-10" x 57'-1 1/4" = 216.88 square feet shown



SECTION DETAIL

SCALE: NTS



C MARQUEE SIGN SPECIFICATIONS Scale: 1/2" = 1'-0"

Description: Manufacture and install one (1) 29'-0" OAH double face blade sign with channel letters.

Component	Type	Specifications	Color / Finish
Blade structure	Fabricated aluminum	Paint (satin)	PMS 342 C
Faces	3/16" White Plex	GE	White
Trimcaps	3/4" Trimcap	Jewelite	White
Returns	.063 Aluminum	Paint (satin)	White
Illumination	LED		White
Raceway	Aluminum	Paint (satin)	Match canopy color

NOTE: Final attachment to be determined based upon final elevations, building sections and technical survey.



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SAN JOSE



155 STOCKTON AVENUE
 SAN JOSE, CA 95128

DATE: MARCH 30, 2012
 PLANNED DEVELOPMENT PERMIT

NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	3/29/12
2	PLAN CHECK RESPONSE	01/10/13

PD12-017

SIGNAGE

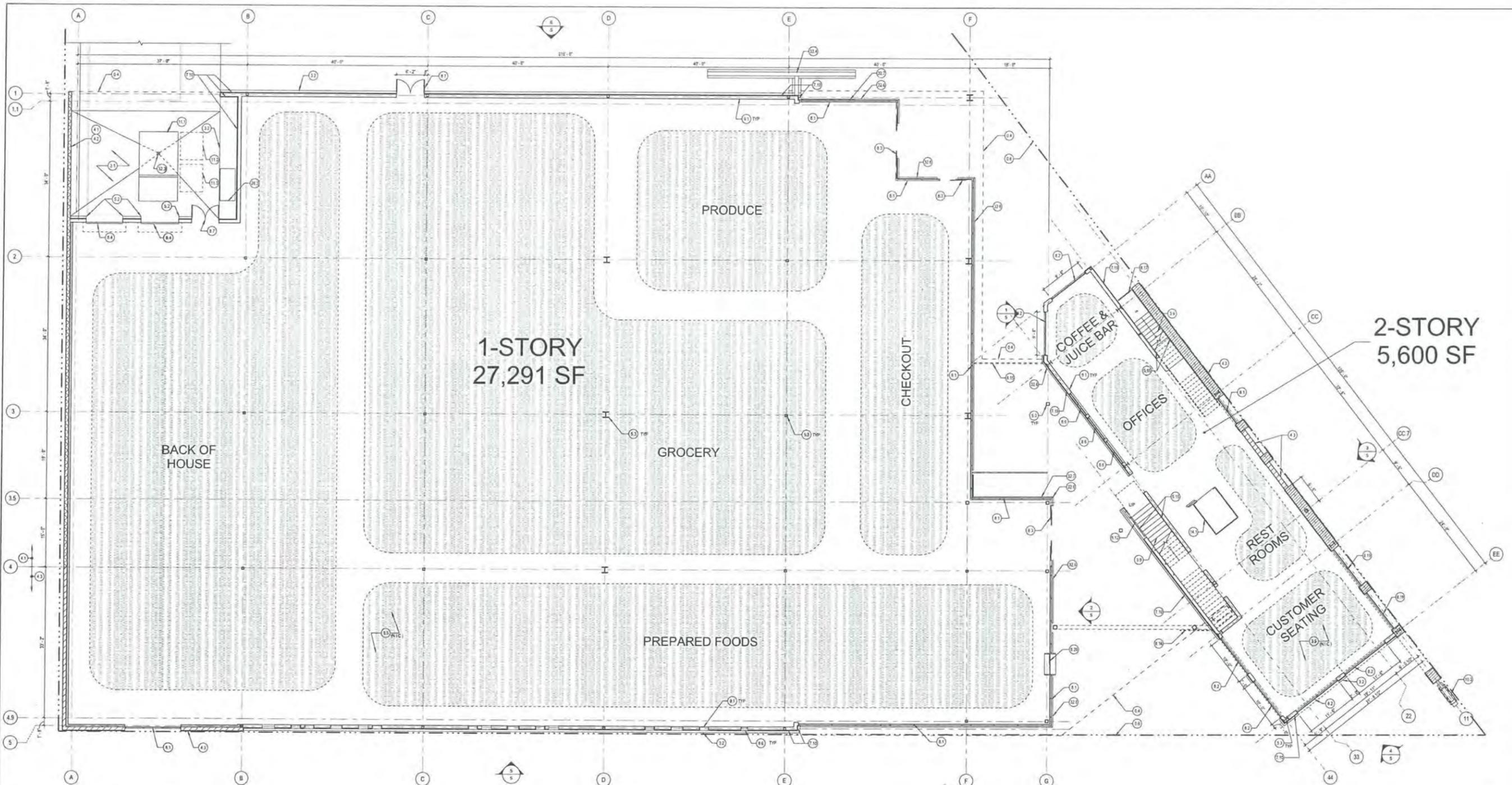
SCALE	DRAWN BY	CHECKED BY
	Designer	Checker
		1/5/10

SHEET NO. 5a

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1 FLOOR PLAN - LEVEL 1
6a 1/8" = 1'-0"

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**WHOLE FOODS - THE
ALAMEDA**
**WHOLE
FOODS
MARKET**
155 STOCKTON AVENUE
SAN JOSE, CA 95126

DATE: JANUARY 28, 2013
PROCESS PRINTS

NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	6/24/2012
2	PLAN CHECK RESPONSE	1/11/2013
3	PLAN CHECK RESPONSE	2/15/2013

PD12-017

FLOOR PLAN - LEVEL 1

KEYNOTES	KEYNOTES
84 ROOF LINE ABOVE	817 GATE WITH PANIC HARDWARE
85 PROPERTY LINE	818 ALUMINUM STOREROOM
86 CONCRETE PAVING VEHICULAR LOADING, S.S.D.	819 SLIDING WINDOW WITH CUSTOM SERVICE COUNTER
87 CONCRETE CURB 18-INCH HIGH AT BUILDING WALL	820 8" METAL STUD PERIMETER WALL FRAMING AT 16" O.C. U.D.N.
88 CONCRETE SLAB POLISHED AT SALES FLOOR	821 SIGNAGE, N.I.C. SEE C/W
89 CONCRETE STAIR, DOUBLE FLOOR WITH WIP INTERLAYER	822 COMPACTOR/VIBRATOR, N.I.C.
90 CMU	823 WASTE BIN N.I.C.
91 CONTROL JOINT IN CMU (AT 15' O.C. MIN)	824 RECYCLING TRAY BIN N.I.C.
92 STRUCTURAL BRICK	825 ELEVATOR HYDRAULIC, PASSENGER/HOSPITAL SERVICE TYPE, 100 FPM SPEED, 4500 LB CAPACITY, STAINLESS STEEL CAB WALL FINISHES, UPGRADED CEILING WITH DOWNLIGHTS
93 PIPE ROLLARD, 6-INCH, GROUTED, DOWNED, PAINTED	826 FIRE RISER, SEE FIRE PROTECTION
94 STEEL COLLAR, S.S.D.	827 ELECTRICAL MARK BY/TOWERS, S.S.D.
95 GUARDRAIL, MESH PANEL TYPE	828 AREA DRAIN, S.P.D.
96 METAL HANDRAIL	829 CART CORRAL, METAL SIDING ON CONCRETE BASE
97 METAL SIDING, MATCH-COLOR	830 CART RAIL, FLOOR MOUNTED
98 WOOD SIDING	831 CART RAIL, WALL MOUNTED
99 ALUMINUM STOREROOM, KINNEER TRIFAB 450, CUSTOM KYNAR COLOR	
100 OVERHEAD BI-FOLDING DOOR, GLAZED, MOTOR OPERATED	
101 AUTOMATIC SLIDING DOORS WITH SIDELIGHTS AND TRANSOM, CUSTOM KYNAR COLOR	
102 ROLL-UP DOOR, MOTORIZED	
103 ALUMINUM WINDOW, KAWNEER TRIFAB 450, CUSTOM KYNAR COLOR	
104 HOLLOW METAL DOOR AND FRAME, PAINTED	
105 ROLL-UP OPEN AIR GRILLE, MOTORIZED	
106 SLIDING FOLDING OPEN AIR SECURITY GRILLE, MANUAL	

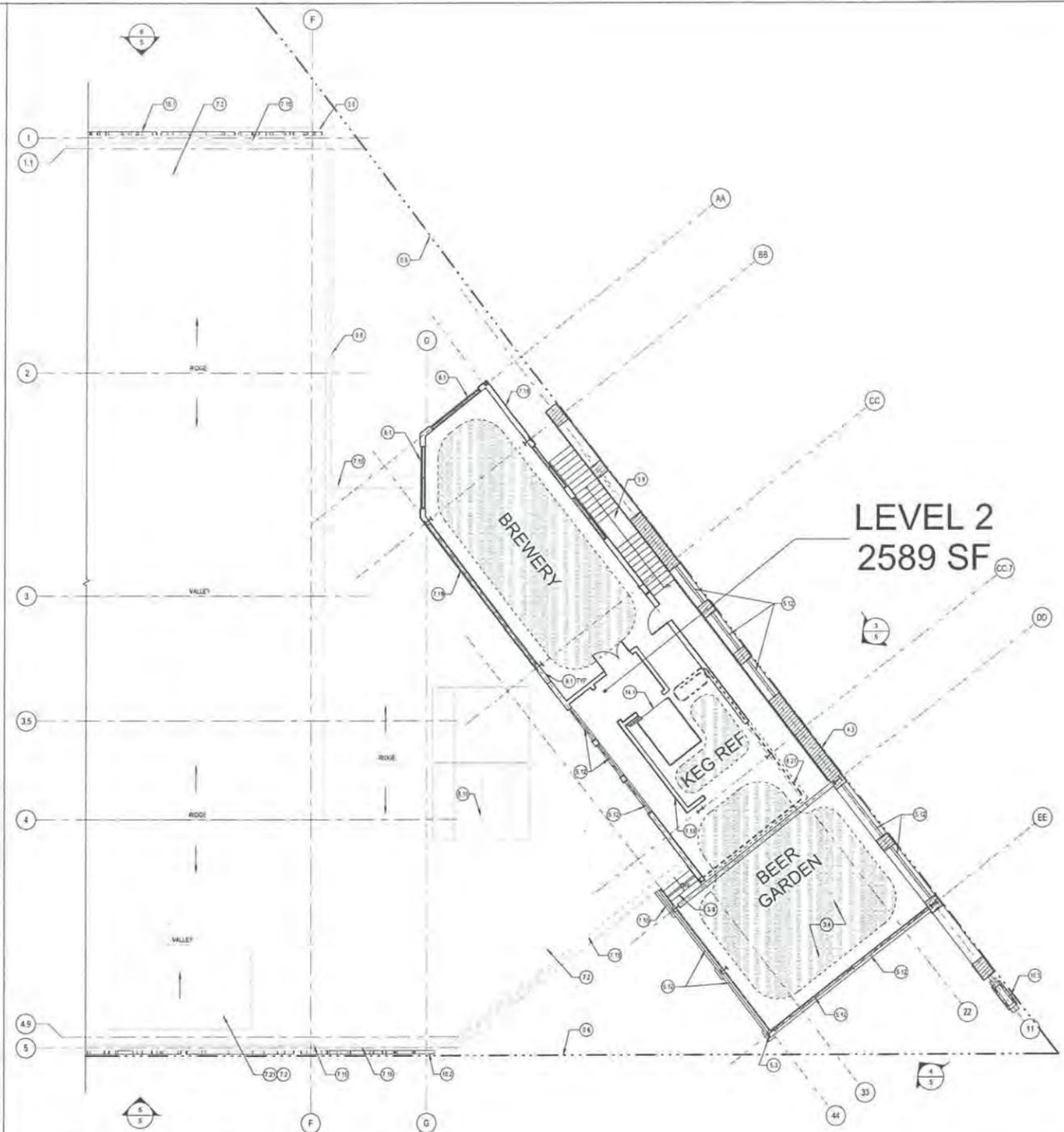
SCALE: 1/8" = 1'-0"
DRAWN BY: KDH
CHECKED BY: CFS
JOB NO.: 1166.10

SHEET NO. 6a

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2/10/2013 5:25:03 PM



1 FLOOR PLAN - LEVEL 2
6b 1/8" = 1'-0"

DATE: JANUARY 28, 2013		
PROGRESS PRINTS		
REVISIONS		
NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	3/24/12
2	PLAN CHECK RESPONSE	1/11/13
3	PLAN CHECK RESPONSE	3/19/13

PD12-017

FLOOR PLAN - LEVEL 2

KEYNOTES	
04	PROPERTY LINE
04	DOUBLE SLAB WITH MP MEMBRANE INTERLAYER
18	CONCRETE STAR DOUBLE POUR WITH MP INTERLAYER
43	STRUCTURAL BRICK
83	STEEL COLUMN S.I.D.
84	METAL EYEBROW CANOPY MATCH ROOF TRIM
85	GUARDRAIL, MESH PANEL TYPE
72	CORRUGATED METAL ROOF
710	METAL SIDING MULTI-COLOR
715	GUTTER, CONCEALED, PRESHIMED
719	WOOD SIDING
721	DOMES
81	ALUMINUM STOREFRONT, KAMMER TRIFAB 400, CUSTOM KINRAI COLORE
810	ALUMINUM SLOTLIGHT
820	SLIDING FOLDING BESSID GRILLS, MANUAL
81	1" METAL STUD PERIMETER WALL FRAMING AT 16" OC U.O.N.
101	SIGNAGE, N.I.C., SEE A54
102	SIGNAGE, N.I.C., SEE 076
103	SIGNAGE, N.I.C., SEE 076
141	ELEVATOR, HYDRAULIC, PASSENGER/HOSPITAL SERVICE TYPE, 105 FPM SPEED, 4000 LB CAPACITY, STAINLESS STEEL CAB WALL FINISHES, UPGRADED CEILING WITH DOWNLIGHTS

SCALE	1/8" = 1'-0"
DRAWN BY	KDH
CHECKED BY	CFS
JOB NO.	1166.10

SHEET NO. **6b**

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H BLEACHER SEATING



G OUTDOOR LOUNGE SEATING



F PIVOTING STOREFRONTS



E MOBILE PLANTERS



D OUTDOOR PRODUCE DISPLAYS



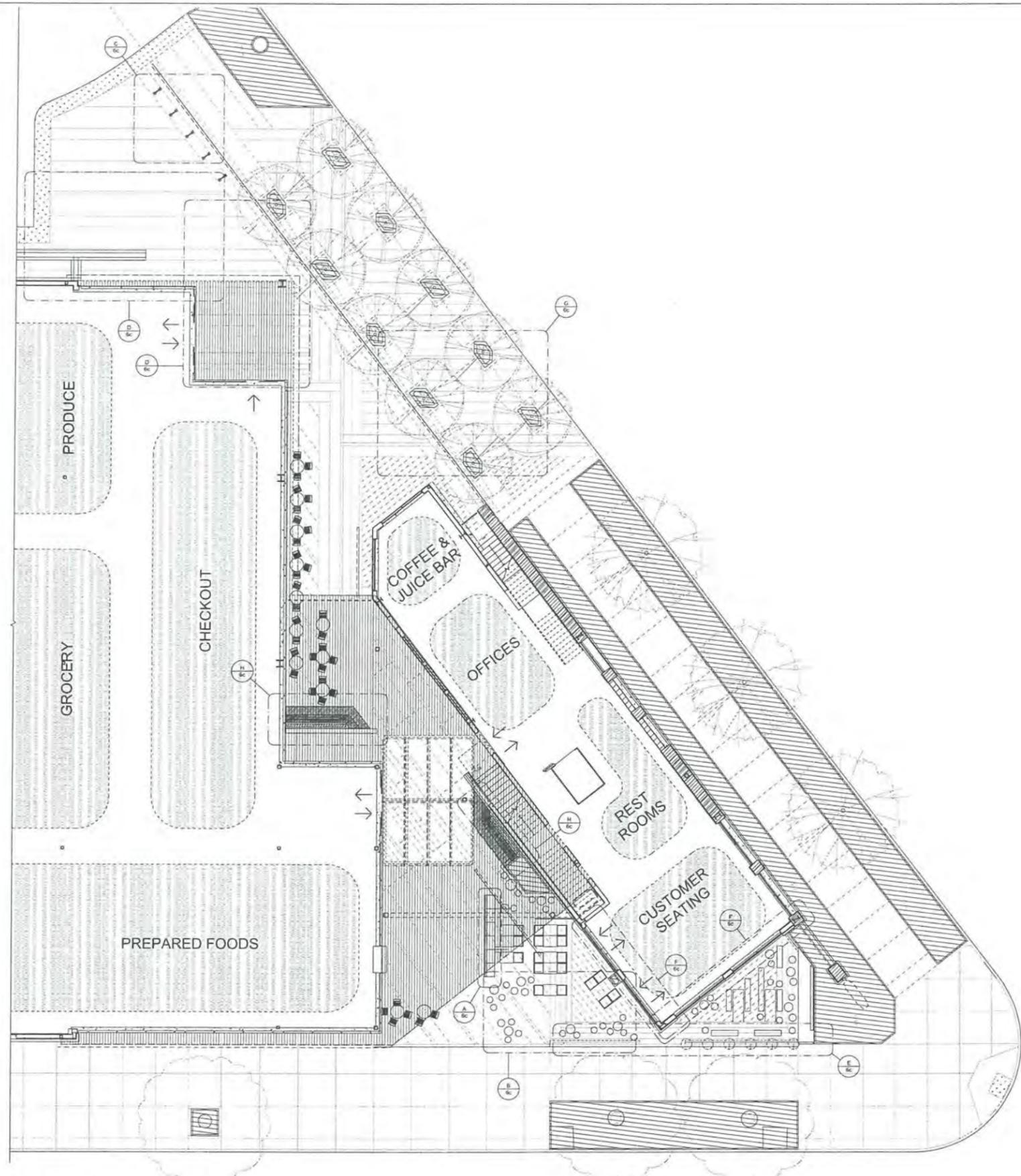
C DECORATIVE BIKE RACKS



B MOVABLE FURNITURE



A FUNCTIONAL ART



1 FLOOR PLAN - EGRESS COURT
6c 1/8" = 1'-0"

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**WHOLE FOODS - THE
ALAMEDA**
**WHOLE
FOODS
MARKET**

155 STOCKTON AVENUE
SAN JOSE, CA, 95125

DATE	MARCH 30, 2012	
	PLANNED DEVELOPMENT PERMIT	
REVISIONS	DESCRIPTION	DATE
NO.		
1	PLAN CHECK RESPONSE	3/24/2012
2	PLAN CHECK RESPONSE	3/11/2013

PD12-017

EGRESS COURT PLAN &
INSPIRATION IMAGES

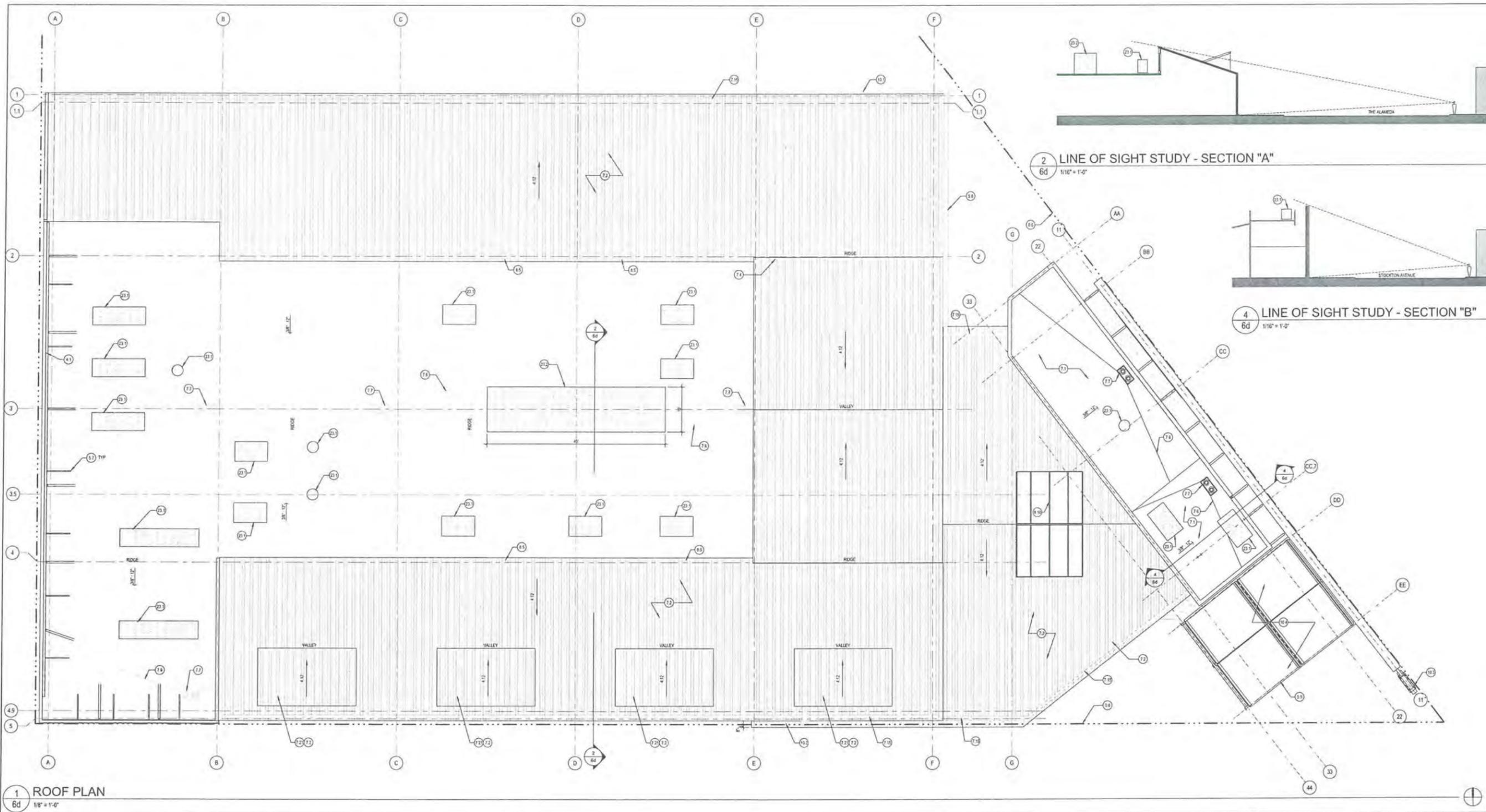
SCALE	As Indicated
DESIGN BY	KDH
CHECKED BY	CFS
JOB NO.	1166.10

SHEET NO. **6c**

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**WHOLE FOODS - THE
ALAMEDA**

**WHOLE
FOODS
MARKET**

155 STOCKTON AVENUE
SAN JOSE, CA. 95126

DATE: MARCH 30, 2012
PLANNED DEVELOPMENT PERMIT

NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	02/20/12
2	PLAN CHECK RESPONSE	1/11/2013

PD12-017

ROOF PLAN

KEYNOTES

- 66 PROPERTY LINE
- 4.1 DMU
- 5.5 STEEL BEAM S.S.F
- 5.7 STEEL TUBE PARAPET BRACE S.S.F
- 5.8 METAL EYEBROW CANOPY, MATCH ROOF TRIM
- 7.1 SINGLE PLY ROOFING
- 7.2 CORRUGATED METAL ROOF
- 7.4 GABLE ROOF
- 7.8 CRICKET - TAPERED INSULATION
- 7.7 ROOF DRAIN AND OVERFLOW ASSEMBLY
- 7.15 GUTTER, CONCEALED, PREFINISHED
- 7.21 CORNER
- 8.5 CLERESTORY STONEFRONT WINDOW, STANDARD COLOR
- 8.10 ALUMINUM SPOTLIGHT
- 10.1 SIGNAGE, N.I.C. SEE A5a
- 10.2 SIGNAGE, N.I.C. SEE B5a
- 10.3 SIGNAGE, N.I.C. SEE C5a
- 10.4 FABRICATING SYSTEM
- 23.1 MECHANICAL EQUIPMENT
- 23.2 MECHANICAL CENTER

SCALE: As indicated
DRAWN BY: MT
CHECKED BY: CFS
JOB NO.: 1166.10

SHEET NO. **6d**

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For the purposes of this plan, the term "Proposed Building" shall mean the building as shown on the site plan. The Architect and Landscape Architect are not responsible for any modifications made to the original drawings or specifications. The Architect and Landscape Architect shall not be held responsible for any construction errors or omissions on the drawings or specifications. The Architect and Landscape Architect shall not be held responsible for any construction errors or omissions on the drawings or specifications. The Architect and Landscape Architect shall not be held responsible for any construction errors or omissions on the drawings or specifications.

GATE: MARCH 30, 2012
PLANNED DEVELOPMENT PERMIT

NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	02/02/12
2	PLAN CHECK RESPONSE	11/20/11
3	PLAN CHECK RESPONSE	2/10/11

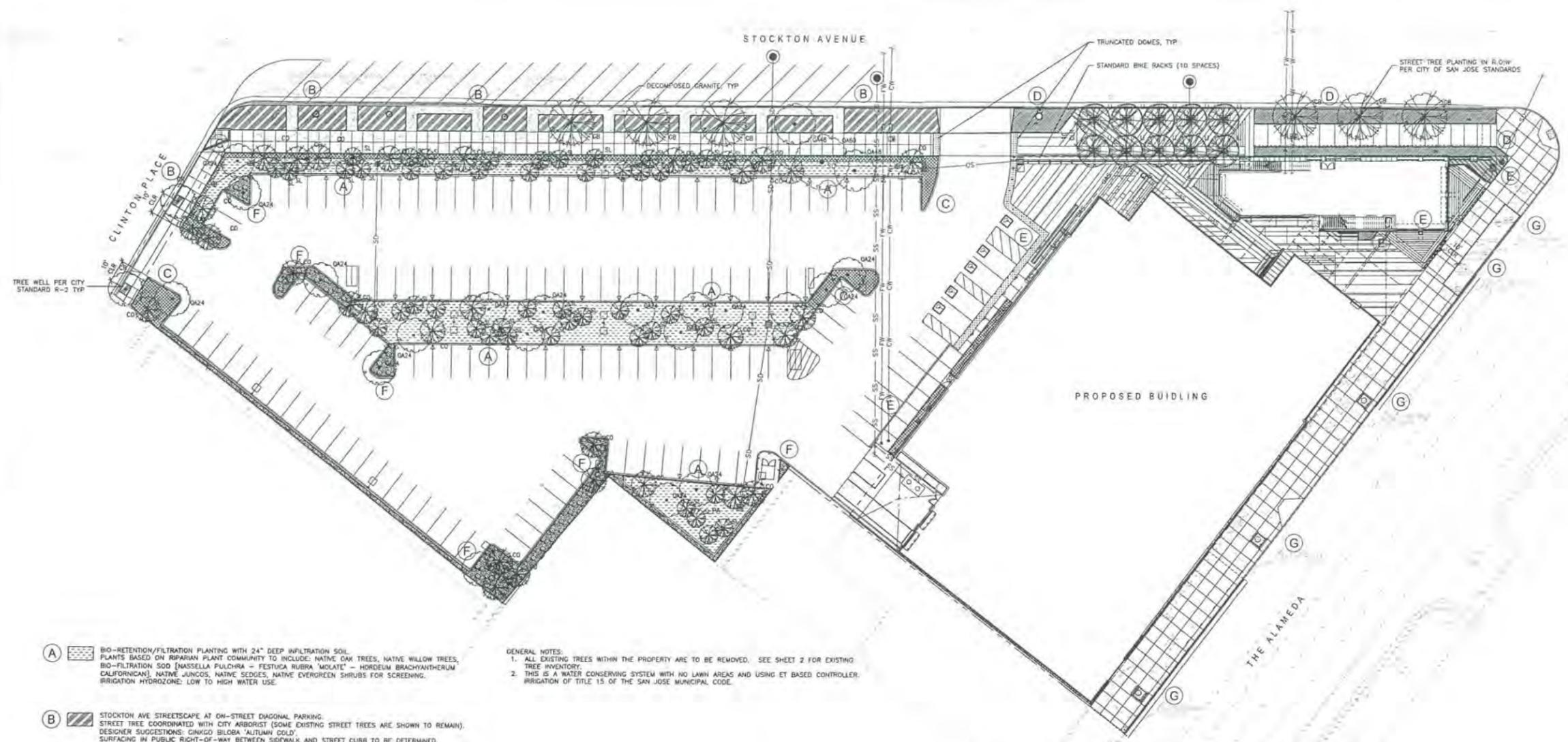
PD12-017

PLANTING PLAN AND NOTES

SCALE	1"=20'
DESIGNED BY	YJK
CHECKED BY	BEF
JOB NO.	1168.10

SHEET NO. **7**
LANDSCAPE PROJECT: 1168.10

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- A** BIO-RETENTION/FILTRATION PLANTING WITH 24" DEEP FILTRATION SOIL. PLANTS BASED ON RIPARIAN PLANT COMMUNITY TO INCLUDE: NATIVE OAK TREES, NATIVE WILLOW TREES, BIO-FILTRATION SOIL [BASSELLA FULCRA - FESTUCA RUBRA 'MOULTE' - HORDEUM BRACHYANTHERUM CALIFORNICAN], NATIVE JUNCOS, NATIVE SEDGES, NATIVE EVERGREEN SHRUBS FOR SCREENING. IRRIGATION HYDROZONE: LOW TO HIGH WATER USE.
- B** STOCKTON AVE STREETScape AT ON-STREET DIAGONAL PARKING. STREET TREE COORDINATED WITH CITY ARBORIST (SOME EXISTING STREET TREES ARE SHOWN TO REMAIN). DESIGNER SUGGESTIONS: GINKGO BALBOA 'AUTUMN GOLD', SURFACING IN PUBLIC RIGHT-OF-WAY BETWEEN SIDEWALK AND STREET CURB TO BE DETERMINED. DESIGNER SUGGESTION: COMBINATION OF DECOMPOSED GRANITE AND PLANTING. CLINTON PLACE STREETScape. STREET TREE COORDINATED WITH CITY ARBORIST. DESIGNER SUGGESTIONS: CHIONANTHUS RETUSUS COMPATIBLE WITH EXISTING OVERHEAD UTILITY LINES. IRRIGATION HYDROZONE: LOW TO MEDIUM WATER USE.
- C** ORNAMENTAL GRASS BORDER. NATIVE AND ORNAMENTAL GRASSES. IRRIGATION HYDROZONE: LOW TO MEDIUM WATER USE.
- D** STOCKTON AVE ENTRY AND STREET TREE. TREE SELECTION COORDINATED WITH CITY ARBORIST. ENTRY SPECIMEN TREE. DESIGN SUGGESTION: LAEGERSTROEMIA INDICA 'NATCHEZ'. STREET TREE SUGGESTION: GINKGO BALBOA 'AUTUMN GOLD'. LOW EVERGREEN NATIVE GROUNDCOVER, ORNAMENTAL GRASS AT EDGE OF STORE. IRRIGATION HYDROZONE: LOW TO MEDIUM WATER USE.
- E** STORE-FRONT PLANTING. HOP VINES FOR ENVIRONMENTAL EDUCATION. SEASONAL PLANTING. GRASSES AND SUCCULENTS FOR COLOR AND TEXTURE AND TO DEMONSTRATE CULTIVATION OF PLANTS FOR PEOPLE. IRRIGATION HYDROZONE: LOW TO MEDIUM WATER USE.
- F** PARKING AREA PLANTING. CALIFORNIA NATIVE TREES, SHRUBS AND GRASSES BASED ON OAK WOODLAND PLANT COMMUNITY. COAST LIVE OAK, WESTERN REDBUD, EVERGREEN NATIVE SHRUBS. IRRIGATION HYDROZONE: LOW TO VERY LOW WATER USE.
- G** ALAMEDA STREET TREES. THE EXISTING TREES TO REMAIN IN DECOMPOSED GRANITE TREE WELLS.

GENERAL NOTES:
1. ALL EXISTING TREES WITHIN THE PROPERTY ARE TO BE REMOVED. SEE SHEET 2 FOR EXISTING TREE INVENTORY.
2. THIS IS A WATER CONSERVING SYSTEM WITH NO LAWN AREAS AND USING ET BASED CONTROLLER. IRRIGATION OF TITLE 15 OF THE SAN JOSE MUNICIPAL CODE.



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PLANTING LEGEND

TREES

KEY	BOTANICAL NAME	COMMON NAME	ORIGIN	SPACING	SIZE	WATER USE (WUCOLS 1)	NOTES
DO	CERCIS OCCIDENTALIS	WESTERN REDBUD	CA	AS SHOWN	24" BOX	VL	---
CR	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE	CHINA	AS SHOWN	24" BOX	M	---
IB	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	CHINA	AS SHOWN	24" BOX		MALE ONLY
LI	LADERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	CHINA AND JAPAN	AS SHOWN	36" BOX	L	---
QA48	QUERCUS AGRIFOLIA	COAST LIVE OAK	CA, COASTAL CENTRAL & SOUTHERN	AS SHOWN	48" BOX	VL	---
QA60	QUERCUS AGRIFOLIA	COAST LIVE OAK	CA, COASTAL CENTRAL & SOUTHERN	AS SHOWN	60" BOX	VL	---
QA24	QUERCUS AGRIFOLIA	COAST LIVE OAK	CA, COASTAL CENTRAL & SOUTHERN	AS SHOWN	24" BOX	VL	---
SL	SALIX LASIOLEPIS	ARROYO WILLOW	CA TO ALASKA	AS SHOWN	5 GAL	H	---

SHRUBS

BOTANICAL NAME	COMMON NAME	ORIGIN	SPACING	SIZE	WATER USE (WUCOLS 1)	NOTES
AENIUM ARBOREUM 'ATROPURPUREUM'	AENIUM	CANARY ISL, NORTH AFRICA, MEDITERRANEAN	2' OC	1 GAL	L	---
AENIUM DECORUM 'SUN BURST'	---	AUSTRALIA	2'-0"	5 GAL	L	---
AENIUM 'JIM'	---	---	2'-0"	1 GAL	VL	---
AENIUM UNDULATUM	AENIUM - GREEN	AUSTRALIA	2'-0"	5 GAL	L	---
AGAVE ATTENUATA	AGAVE	MEXICO	4' OC	5 GAL	L	---
AGAVE ATTENUATA 'NOVA'	SPINELESS AGAVE	MEXICO	4' OC	5 GAL	L	---
AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	MEXICO	2' OC	1 GAL	L	---
ALOE PULCATUS	ALOE	SOUTH AFRICA	3' OC	5 GAL	L	---
ALOE STRATA	CORAL ALOE	SOUTH AFRICA	2' OC	1 GAL	L	---
ANGOZANTHOS 'BUSH RANGER'	KANGAROO PAW	AUSTRALIA	2' OC	5 GAL	L	---
ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'	HOWARD MCMINN MANZANITA	CA, SONOMA AREA	4' OC	1 GAL	VL	---
ARISTIDA PURPUREA	PURPLE THREE AWN	CA, NORTH AMERICA	2' OC	1 GAL	---	---
ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	CA	4' OC	1 GAL	VL	---
BRYOPHYLLUM CREMATOAGREMONTIANUM	MEXICAN HAT PLANT	MEXICO	2' OC	1 GAL	---	---
CALYCANTHUS OCCIDENTALIS	SPICE BUSH	CA COAST, SIERRA NEVADA FOOTHILLS	6' OC	1 GAL	L	---
CARPENTERIA CALIFORNICA	BUSH ANEMONE	CA, CENTRAL VALLEY	4' OC	1 GAL	L	---
CEANOETHUS 'RAY HARTMAN'	CALIFORNIA LILAC	CA	8' OC	5 GAL	L	---
CEANOETHUS THYRSIFLORUS 'SKYLARK'	CALIFORNIA LILAC	CA	4' OC	5 GAL	VL	---
COTYLEDON ORBICULATA	---	SOUTH AFRICA	2' OC	1 GAL	L	---
CRASSULA FALCATA	---	SOUTH AFRICA	2' OC	1 GAL	L	---
DUDLEYA BRITTONII	BRITTON'S DUDLEYA	DR, CA, AZ, BAHIA CALIFORNIA	1'-2" OC	1 GAL	L	---
DUDLEYA HASSEI	CATILINA ISLAND LIVE-FOR-EVER	CA	2' OC	1 GAL	L	HUMMINGBIRDS LIKE THE FLOWERS
ECHEVERIA 'AFTERGLOW'	---	HYBRID	1'-0"	1 GAL	L	---
ECHEVERIA 'BLUE WAVES'	---	HYBRID	1'-0"	1 GAL	L	---
ECHEVERIA IMBRICATA	MEN AND CHICKS	MEXICO (NORTH AMERICA)	6" OC	1 GAL	L	---
ECHEVERIA 'MAJNA LOA'	---	HYBRID	1'-0"	1 GAL	L	---
EPILOBIUM CALIFORNICA 'BOWMAN'	CALIFORNIA FUCHSIA	CA, OR	2' OC	5 GAL	L	---
ERIGERON GLAUCUS 'CAPE SEBASTIAN'	BEACH ASTER	CA, OR	2' OC	1 GAL	L	---
ERIODONUM LATIFOLIUM	COAST BUCKWHEAT	CA, NORTH	2' OC	1 GAL	L	---
EUPHORBIA RIGIDA	---	MEDITERRANEAN	3' OC	5 GAL	/	---

GROUND COVERS

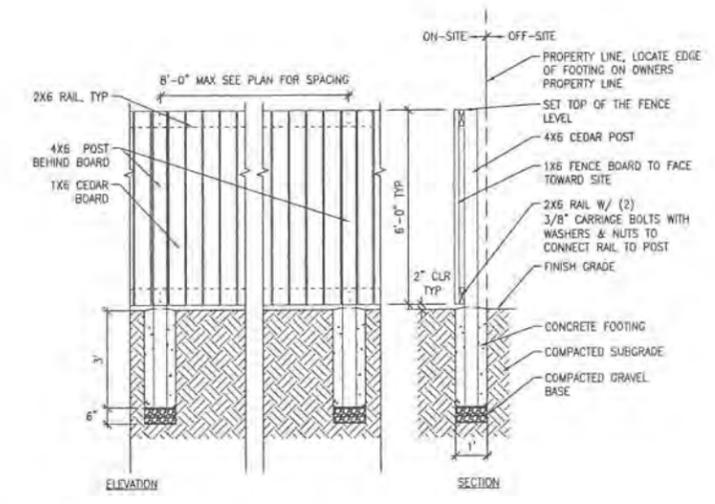
BOTANICAL NAME	COMMON NAME	ORIGIN	SPACING	SIZE	WATER USE (WUCOLS 1)	NOTES
CAREX DIVALSA	BERKELEY SEDGE	EUROPE CENTRAL	18" OC	1 GAL	M	---
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	MEDITERRANEAN	2' OC	1 GAL	L	---
HORDEUM BRACHYANTHERUM	MEADOW BARLEY	CA, ALASKA TO MEXICO	2' OC	1 GAL	---	---
LEYMUS CONDENSATUS 'CANYON PRINCE'	LYME GRASS	CA SOUTHERN	18" OC	1 GAL	VL	---

SHRUBS CONT.

BOTANICAL NAME	COMMON NAME	ORIGIN	SPACING	SIZE	WATER USE (WUCOLS 1)	NOTES
EUPHORBIA TIRUCALI 'FIRE STICKS'	STICKS ON FIRE	TURKEY	4' OC	5 GAL	/	---
FESTUCA CALIFORNICA	CALIFORNIA FESCUE	CA, DR	2' OC	1 GAL	L	EVERY 2-3 YEARS, DIVIDE AND REPLANT MATURE CLUMPS
FESTUCA IGANCOENSIS	IDAHO FESCUE	CA, CENTRAL TO BRITISH COLUMBIA	2' OC	1 GAL	VL	---
FESTUCA RUBRA	RED FESCUE	EUROPE, AMERICA NORTH	2' OC	1 GAL	L	---
FRAGARIA CHILOENSIS	BEACH STRAWBERRY	NORTH AND SOUTH AMERICA	3' OC	4" POT	M	---
GALVEZIA SPECIOSA 'FIRECRACKER'	ISLAND BUSH SNAPDRAGON	CA, SOUTHERN ISLANDS	2' OC	1 GAL	L	---
HETEROMELES ARBUTIFOLIA	TOYON	CA COAST, SIERRA NEV FOOTHILLS, BAJA CA	4' OC	1 GAL	VL	---
HEUCHERA MAXIMA	ISLAND ALLUM ROOT	CA, SOUTHERN, CHANNEL ISLAND	3' OC	1 GAL	M	---
HEUCHERA SANGUINEA	CORAL BELLS	NM, AZ	2' OC	1 GAL	M	---
IRIS DOUGLASSIANA	DOUGLAS IRIS	CA TO OREGON	2' OC	1 GAL	L	---
IRIS DOUGLASSIANA 'CANYON SNOW'	CANYON SNOW DOUGLAS IRIS	PACIFIC COAST	2' OC	1 GAL	L	---
JUNCUS EFFUSUS 'SPIRALIS'	CORKSCREW RUSH	---	2' OC	1 GAL	H	---
JUNCUS PATENS	CALIFORNIA GRAY RUSH	CA, DR	2' OC	1 GAL	H	---
KALANCHOE LUCIAE	PADDLE PLANT	SOUTHEAST AFRICA	2'-6" OC	1 GAL	L	---
KOeleria MACRANTHA	JUNE GRASS	WESTERN, CENTRAL AND NORTHEASTERN USA	2' OC	1 GAL	M	---
LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH	AUSTRALIA	2' OC	1 GAL	/	---
MUHLENBERGIA CAPILLARIS	PINK MUHLY	EASTERN US	4' OC	1 GAL	L	CUT BACK FINISHED FOLIAGE IN LATE WINTER, BEFORE NEW GROWTH EMERGES
MUHLENBERGIA RIGENS	DEER GRASS	CA, TX, MEXICO	3' OC	1 GAL	L	CUT BACK ONCE A YEAR BEFORE THE NEW GROWTH STARTS
MYRTICA CALIFORNICA	PACIFIC WAX MYRTLE	CA TO WA	6' OC	15 GAL	L	---
POLYSTICHUM MUNIUM	SWORD FERN	CA TO ALASKA	3' OC	5 GAL	M	---
RHAMNUS CALIFORNICA	COFFEEBERRY	CA, DR	6' OC	1 GAL	L	---
RHAMNUS CALIFORNICA 'EYE CASE'	'COFFEEBERRY'	CA, DR	5' OC	1 GAL	L	---
RHUS OVATA	SUGAR BUSH	CA, AZ	5' OC	5 GAL	L	---
RIBES SANGUINEUM GLUTINOSUM	PINK WINTER CURRENT	CA TO BRITISH COLUMBIA, COAST	6' OC	5 GAL	L	---
ROSA CALIFORNICA	CALIFORNIA WILD ROSE	CA TO DR	4' OC	1 GAL	L	---
SALVIA 'POZO BLUE'	GREY MUSK SAGE	---	3' OC	---	---	---
SALVIA SONNENSIS	CREeping SAGE	CA	3' OC	1 GAL	L	---
SALVIA SONNENSIS 'MRS BEARD'	MRS. BEARD CREeping SAGE	CA	3' OC	1 GAL	L	---
SALVIA SPATHACEA	HUMMINGBIRD SAGE	CA, LOW COASTAL RANGES	3' OC	5 GAL	L	---
VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	CA TO BRITISH COLUMBIA	3' OC	1 GAL	M	---
VERBENA LILACINA 'DE LA MINA'	LILAC VERBENA	CA	2' OC	1 GAL	L	---

VINES

BOTANICAL NAME	COMMON NAME	ORIGIN	SPACING	SIZE	WATER USE (WUCOLS 1)	NOTES
FIGUS PUMILA	CREeping FIG	CHINA, JAPAN, AUSTRALIA	AS SHOWN	5 GAL	M	---
HUMULUS LUPULUS	HOP VINE	/	2' OC	5 GAL	H	50% MALE FOR EDU PURPOSES
JASMINUM POLYANTHUM	PINK JASMINE	CHINA	AS SHOWN	5 GAL	M	---
SOLANUM JASMINOIDES	POTATO VINE	BRAZIL	AS SHOWN	5 GAL	M	---



1 6' WOOD PRIVACY FENCE
SCALE: 1/2" = 1'



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SAN JOSE



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DATE: MARCH 30, 2012
PLANNED DEVELOPMENT PERMIT

NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	04/02/12
2	PLAN CHECK RESPONSE	01/10/13

PD12-017

PLANT LIST & FENCE DETAIL

SCALE: 1"=20'
DRAWN BY: VJK
CHECKED BY: BEF
DATE: 11/6/10

7A

SHEET NO. 7A
CONTRACT NO. PPD12-017
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NOT FOR CONSTRUCTION

02/20/12 12:18:08 PM

DATE	MARCH 30, 2012	
PLANNED DEVELOPMENT PERMIT		
REVISIONS		
NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	02/01/12
2	PLAN CHECK RESPONSE	11/12/12

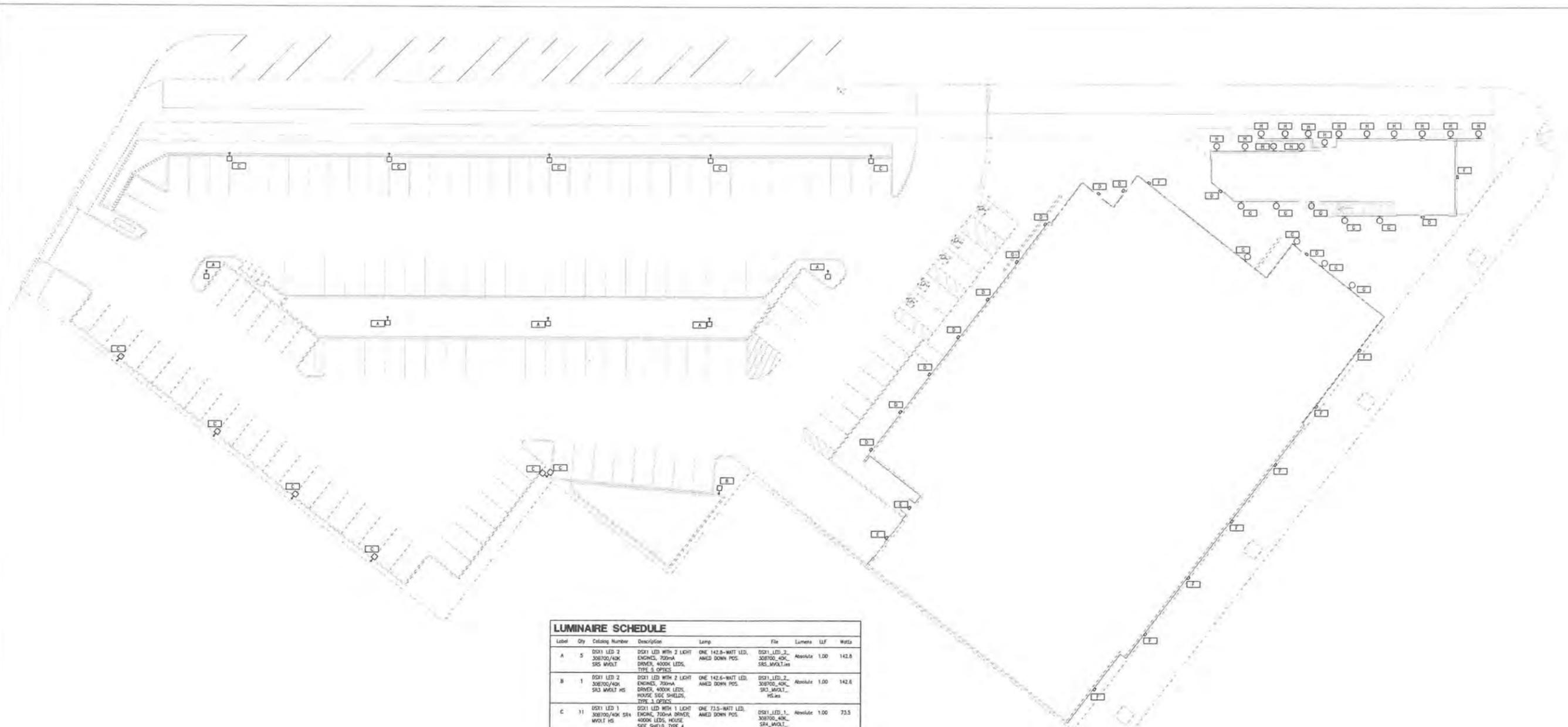
PD12-017

SITE LIGHTING PLAN

SCALE	As Indicated
DRAWN BY	J. Masly
CHECKED BY	D. Culbirt
JOB NO.	1166.10

8a

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Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
A	5	DSX1 LED 2 308700/40K SR5 MVOLT	DSX1 LED WITH 2 LIGHT ENGINE, 700mA DRIVER, 4000K LEDS, TYPE 3 OPTICS	ONE 142.6-WATT LED, ARMED DOWN POS.	DSX1_LED_2_308700_40K_SR5_MVOLT.isx	Absolute	1.00	142.6
B	1	DSX1 LED 2 308700/40K SR3 MVOLT HS	DSX1 LED WITH 2 LIGHT ENGINE, 700mA DRIVER, 4000K LEDS, HOUSE SIZE SHIELDS, TYPE 3 OPTICS	ONE 142.6-WATT LED, ARMED DOWN POS.	DSX1_LED_2_308700_40K_SR3_MVOLT_HS.isx	Absolute	1.00	142.6
C	11	DSX1 LED 1 308700/40K SR4 MVOLT HS	DSX1 LED WITH 1 LIGHT ENGINE, 700mA DRIVER, 4000K LEDS, HOUSE SIZE SHIELD, TYPE 4 OPTICS	ONE 71.5-WATT LED, ARMED DOWN POS.	DSX1_LED_1_308700_40K_SR4_MVOLT_HS.isx	Absolute	1.00	73.5
D	12	WST LED 2 10A700/40K SR3 MVOLT	WST LED WITH 2 MODULES, 20 LEDS, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 1 LENS	Outdoor Wall Pack Luminaire Ia ES LM-79-06 LUMINAIRE OUTPUT: 4035 Lms	WST_LED_2_10A700_40K_SR3_MVOLT.isx	Absolute	1.00	47.1
E	2	WST LED 2 10A700/40K SR4 MVOLT	WST LED WITH 2 MODULES, 20 LEDS, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 2 LENS	Outdoor Wall Pack Luminaire Ia ES LM-79-06 LUMINAIRE OUTPUT: 3851 Lms	WST_LED_2_10A700_40K_SR4_MVOLT.isx	Absolute	1.00	47
F	5	WST LED 2 10A700/40K SR2 MVOLT	WST LED WITH 2 MODULES, 20 LEDS, 700mA DRIVER, 4000K COLOR TEMPERATURE, TYPE 3 LENS	Outdoor Wall Pack Luminaire Ia ES LM-79-06 LUMINAIRE OUTPUT: 3947 Lms	WST_LED_2_10A700_40K_SR2_MVOLT.isx	Absolute	1.00	46.9
G	9	3092LED	Cast aluminum housing, spun semi-specular polished aluminum reflector with clear glass enclosure above cast gray enamel aluminum inner reflector, spun semi-specular polished aluminum upper reflector with clear glass upper enclosure	Two white LEDs	3092LED.isx	Absolute	1.00	26.271
H	16	M504LED2016CK-SPI4	4", 20"X11"-1/2" WALL MOUNTED DOWN LIGHT SHADOWN WHITE, LED W/1/4 DEG. SPOT REFLECTOR FLAT TEMPERED GLASS LENS		M504LED2016CK-SPI4.isx	Absolute	1.00	10.22

SITE LIGHTING POWER DENSITY

SITE SQUARE FOOTAGE: 96,234
TOTAL FIXTURE WATTAGE: 3,167
LFD: 0.033 W/SF
CALIFORNIA ENERGY CODE, CEC, PART 6, TITLE 24 FOR L2-2 ALLOWS 0.045 W/SF

GENERAL SITE NOTES:

G1. SITE POLES ARE TO BE SQUARE 20FT. POLES. SEE DETAIL #1 AND CUT SHEETS ON SHEET DB16.

1 SITE LIGHTING PLAN
SCALE: 1/8" = 1'-0"

DATE	MARCH 30, 2012	
PLANNED DEVELOPMENT PERMIT		
KEYSHEET		
NO.	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	04/25/12
2	PLAN CHECK RESPONSE	01/28/12

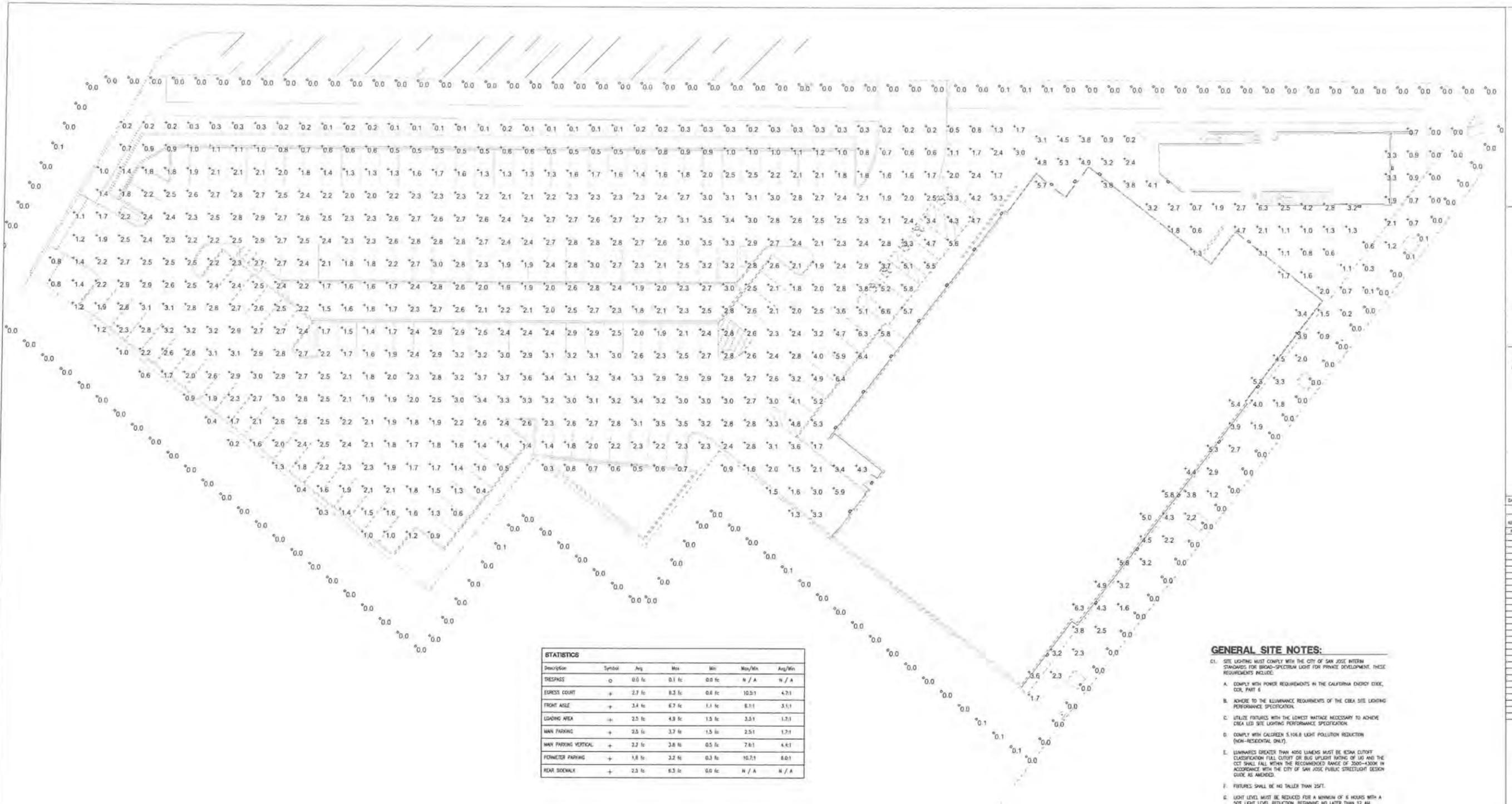
PD12-017

**SITE LIGHTING
PHOTOMETRIC
PLAN**

SCALE	As indicated
DRAWN BY	I Malby
CHECKED BY	D Cutler
JOB NO.	1188.10

8b

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Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
TRESPASS	o	0.0 fc	0.1 fc	0.0 fc	N / A	N / A
EXPRESS COURT	+	2.7 fc	8.3 fc	0.8 fc	10.5:1	4.7:1
FRONT ASLE	+	3.4 fc	6.7 fc	1.1 fc	8.1:1	3.1:1
LOADING AREA	+	2.5 fc	4.9 fc	1.5 fc	3.3:1	1.7:1
MAIN PARKING	+	2.5 fc	3.7 fc	1.5 fc	2.5:1	1.7:1
WAY PARKING VERTICAL	+	2.2 fc	3.6 fc	0.5 fc	7.6:1	4.4:1
PERIMETER PARKING	+	1.8 fc	3.2 fc	0.3 fc	10.7:1	6.0:1
REAR SIDEWALK	+	2.3 fc	6.3 fc	0.0 fc	N / A	N / A

GENERAL SITE NOTES:

- C1. SITE LIGHTING MUST COMPLY WITH THE CITY OF SAN JOSE INTERIM STANDARDS FOR BROAD-SPECTRUM LIGHT FOR PRIVATE DEVELOPMENT. THESE REQUIREMENTS INCLUDE:
 - A. COMPLY WITH POWER REQUIREMENTS IN THE CALIFORNIA ENERGY CODE, TITLE 24.
 - B. ADHERE TO THE ILLUMINANCE REQUIREMENTS OF THE CIESA SITE LIGHTING PERFORMANCE SPECIFICATION.
 - C. UTILIZE FIXTURES WITH THE LOWEST WATTAGE NECESSARY TO ACHIEVE CIESA SITE LIGHTING PERFORMANCE SPECIFICATION.
 - D. COMPLY WITH CALIFORNIA 5.106.8 LIGHT POLLUTION REDUCTION (NON-RESIDENTIAL ONLY).
 - E. LUMINAIRES GREATER THAN 4000 LUMENS MUST BE IESNA CUTOFF CLASSIFICATION FULL CUTOFF OR BUG UP/LIGHT RATING OF 50 AND THE CCT SHALL FALL WITHIN THE RECOMMENDED RANGE OF 3000-4000K IN ACCORDANCE WITH THE CITY OF SAN JOSE PUBLIC STREETLIGHT DESIGN GUIDE AS AMENDED.
 - F. FIXTURES SHALL BE NO TALLER THAN 25FT.
 - G. LIGHT LEVEL MUST BE REDUCED FOR A MINIMUM OF 6 HOURS WITH A 50% LIGHT LEVEL REDUCTION, BEGINNING NO LATER THAN 12 AM.

1 SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1/16" = 1'-0"



LICENSE

ALCOHOLIC BEVERAGE LICENSE TYPES APPLIED FOR:
 TYPE 20 - OFF-SALE BEER & WINE LICENSE
 TYPE 12 - ON-SALE GENERAL - BREW PUB



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WHOLE FOODS - THE ALAMEDA



155 STOCKTON AVENUE
 SAN JOSE, CA, 95126

DATE: MARCH 30, 2012
 PLANNED DEVELOPMENT PERMIT

LEGEND

HOUSING & LODGING

- (A) SINGLE-FAMILY RESIDENTIAL
- (B) MULTI-FAMILY RESIDENTIAL
- (C) HOTEL

EDUCATION

- (D) ALTERNATIVE HIGH SCHOOL

COMMERCIAL

- (E) RESTAURANT/CAFE
- (F) RETAIL
- (G) OFFICE
- (H) MEDICAL CARE
- (I) AUTO
- (J) VACANT COMMERCIAL BUILDING
- (K) FITNESS
- (L) CONVENIENCE STORE
- (M) COMMERCIAL KITCHEN

OPEN SPACE

- (N) PARKING
- (O) VACANT LOT

LIQUOR SALES

- (P) ON-SALES
- (Q) OFF-SALES

REVISIONS

NO	DESCRIPTION	DATE
1	PLAN CHECK RESPONSE	02/20/12
2	PLAN CHECK RESPONSE	11/11/11

PD12-017

OFF-SALE OF ALCOHOLIC BEVERAGES

SCALE: 1" = 80'-0"
 DRAWN BY: KDH
 CHECKED BY: CFS
 JOB NO: 1166.10

SHEET NO: 9

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11/10/13 4:52:31 PM

