

STAFF REPORT
PLANNING COMMISSION

FILE NO.: CP12-048

Submitted: November 08, 2012

PROJECT DESCRIPTION:

A Conditional Use Permit to allow a new 2,954 square foot addition to an existing church with associated site improvements on a 10.86 gross acres site.

Zoning	R-1-8 Single Family Residential
General Plan	Public/ Quasi-Public
Council District	7
Annexation Date	June 30, 1975
Specific Plan	NA

LOCATION:

West side of McLaughlin Avenue,
approximately 110 feet northerly of Algiers Avenue
(1523 McLaughlin Avenue)

Aerial Map



RECOMMENDATION

Planning staff recommends that the Planning Commission approve the proposed Conditional Use Permit on the subject site for the following reasons:

1. The subject Conditional Use Permit is consistent with the Envision San Jose 2040 General Plan.
2. The findings for a Conditional Use Permit, as required in the Zoning Ordinance, can be made for approval of the proposed project.
3. The proposed project is exempt from review in accordance with the California Environmental Quality Act (CEQA).

BACKGROUND

On November 08, 2012, Eugene Sim from Sim Architects Inc, representing the Roman Catholic Diocese of San Jose, applied for a Conditional Use Permit to allow a new 2,954 square foot addition to an existing church and with associated site improvements on a 0.47 gross acre site. Per Chapter 20.30.100 of the San Jose Municipal Code, a religious assembly use may be allowed in the R-1-8 Single Family Residential Zoning District upon issuance of a Conditional Use Permit.

Holy Korean Martyrs Catholic Church is a non-profit religious corporation affiliated with the Diocese of San Jose with 770 listed members who reside within Santa Clara County. This religious assembly is set to occupy the project site that has been vacant since August 2012 but was previously occupied by the San Jose Christian Community Church. The Holy Korean Martyrs Catholic Church will conduct two annual special events, and one hour sessions on alternate weekday mornings and evenings in addition to weekend events on Saturdays and Sundays. Apart from the scheduled events, the premises will stay open for parishioners' access from 8:00 a.m. to 10:00 p.m. daily.

In addition to the proposed new construction for religious assembly use adjoining the existing sanctuary, the applicant will obtain a separate permit from the building division to allow other tenant improvements to the parish hall and classroom block, and façade and site modifications if this Conditional Use Permit is granted. A total of three ordinance sized redwood trees and four pear trees are proposed to be removed as a part of this project.

Project Description

The new 2,954 square foot addition consists of a 1,850 square foot chapel, a 750 square foot kitchen and 354 square foot courtyard elevator and stair additions. The proposed chapel includes a 1,293 square foot assembly space and 397 square foot cry room. The existing church facility is provided with 500 fixed seats.

The new addition has cement plastered patterned, stucco finish exterior and screen walls with channel screed and adhered brick veneer to match the existing veneer of the sanctuary building.

The project site presently consists of an existing 9,598 square foot church, 11,461 square foot parish hall, 11,857 square foot classroom unit, 1,441 square foot portable classroom (File Number AD92-023), 345 square foot portable cellphone utility structure and a 200 square foot tower (File Number CP03-022). In addition, this site consists of a 2,150 square foot one story house and a 1,788 detached accessory/garage structure at the north property line.

The project site would require a total number of 280 parking spaces if all activities are to be conducted simultaneously on this site. However, the peak use, based upon the scheduled hours of operation for the sanctuary and chapel areas, would require a total number of 170 parking spaces. Therefore, the 183 parking spaces provided by this project, which includes 11 new parking spaces, are sufficient for most church activities including simultaneous use of the sanctuary and chapel at peak operation. Alternate parking arrangements, subject to additional discretionary review, will be required for additional church uses beyond the afore-mentioned peak operation.

The weekday congregation sessions, for one hour duration, are conducted on alternate days in the mornings (8:00 a.m. to 9:00 a.m.) and evenings (8:00 p.m. to 9:00 p.m) and from 7.30 p.m. to 8.30 p.m. on Saturday. The weekend sessions on Sunday, categorized into three separate sessions are scheduled from 8:00 a.m. to 4:00 p.m. Specialty study activities are scheduled on Saturday from 10:00 am to 2:00 p.m. Additional one-time special annual events for two hour duration are scheduled twice a year in April and December. The annual events typically accommodate about 175 persons.

Three ordinance sized Coast Redwood trees measuring 74, 92 and 93 inches, and four non-ordinance sized pear trees are proposed to be removed as a part of this project. In conformance with the Zoning Ordinance, replacement trees are provided at alternative locations on site.

Site and Surrounding Uses

The project site is located on the west side of McLaughlin Avenue, approximately 110 feet northerly of Algiers Avenue (1523 McLaughlin Avenue). It is bounded by single-family residential uses on the north, west and south, and across McLaughlin Avenue to the east.

ANALYSIS

The proposed Conditional Use Permit was analyzed with respect to conformance with: 1) Envision San Jose 2040 General Plan, 2) City of San Jose Zoning Ordinance, and 3) Neighborhood compatibility. 4) California Environmental Quality Act.

Envision San Jose 2040 General Plan Conformance

The Envision San Jose 2040 General Plan Designation for this site is Public/Quasi-Public. The General Plan identifies private community gathering facilities, including those used for religious assembly uses as appropriate uses on sites with residential land use designations if the design is compatible with surrounding land uses and can enhance neighborhood identity. The issues of neighborhood compatibility, parking and circulation, and site design are discussed later in this report. The proposed project is in conformance with Vibrant Neighborhood Policy VN-1.2 that supports the development of new community services and gathering spaces that allow for increased social interaction of neighbors; and Vibrant Neighborhood Policy VN-5.3 that encourages Private Community Gathering Facilities as a primary or secondary dual- or multi-use with other activities.

Zoning Ordinance Conformance

The project site is located in the R-1-8 Single-Family Residence Zoning District which allows religious assembly use with a Conditional Use Permit.

The proposed project intends to use the subject site for religious assembly uses and other uses that are ancillary to religious assembly such as religious ceremonies, lectures and specialty studies. These proposed uses are consistent with the R-1-8 Single Family Zoning District.

Parking

The issue of parking for the whole site, including the existing main sanctuary and the new chapel addition, is subject to conformance with the Zoning Ordinance requirements and general site design guidelines. The Zoning Ordinance off-street parking requirement for religious assembly is one (1) parking space per every four fixed seats, or one parking space per every six linear feet of seating provided, or one (1) parking space per 30 square feet of area designed for assembly in buildings used for worship. The new 1,293 square foot chapel addition shall require 43 parking spaces. The existing sanctuary includes a total of 500 fixed seats and shall require 125 parking spaces. Therefore, the total number of parking spaces required for peak assembly use is 170 spaces. The classrooms, parish hall and office areas shall require a total number of 105 parking spaces but have a different schedule of operation than that of the sanctuary and the proposed chapel addition. Therefore, the 183 parking spaces currently provided on the subject site are more than enough to meet the parking demand because of the staggered operation of both uses.

To minimize the impact of parking in the neighborhood during the two annual events, the religious assembly use will utilize the overflow parking area provided on the subject site.

Findings

In order to approve a Conditional Use Permit per Section 20.100.720 of the Zoning Ordinance, three specific findings have to be made by the Planning Commission. These findings include:

- 1) The proposed use at the location requested will not:
 - a) Adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; or
 - b) Impair the utility or value of property of other persons located in the vicinity of the site; or
 - c) Be detrimental to public health, safety or general welfare; and

Analysis of Required Finding: The draft resolution for the Planned Development Permit includes conditions to address potential parking issues and other potential nuisances, including noise and litter. The proposed religious assembly use will not adversely affect the peace, health, safety, morals or welfare of persons in the surrounding area.

- 2) The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding areas; and

Analysis of Required Finding: The project will adjoin the existing sanctuary and is in conformance with development standards per Zoning Ordinance. The congregation management schedule has categorized the congregation attendance into sessions to regulate the total number of parishioners on site at any given time.

- 3) The proposed site is adequately served:
 - a) By highways or streets of sufficient width and improved as necessary to carry the kind and quality of traffic such use would generate; and
 - b) By other public or private service facilities as are required.

Analysis of Required Finding: The subject site is sufficiently served by existing transportation systems. However, any increased vehicular volume on the property is proposed to be mitigated by scheduling and on-site management.

All of the above findings can be made based on the facts, as listed in the attached draft Resolution for this Permit.

Neighborhood Compatibility

The draft resolution includes a condition to ensure that the fences at the property line are well maintained. Further, the applicant has provided a church operation schedule to restrict the number of persons attending each event and has provided the hours of operation of the religious assembly uses. (See attached Church Operation). The primary days of operation of the religious assembly use are on Saturdays and Sundays. Apart from the scheduled events, the premises will stay open for parishioners' access from 8:00 a.m. to 10:00 p.m. daily. The congregation intends to be respectful of the surrounding neighborhood and their quality of life.

California Environmental Quality Act

This project has been found to be exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to section 15332. Under this section, infill projects are exempt when the following four criteria are met:

1. The project is consistent with the applicable General Plan policies as well as with the applicable zoning designation and regulations.
2. The proposed development occurs within city limits on a project site of no more than five acres surrounding by urban uses. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
3. The site can be adequately served by all required utilities and public services.

Analysis: The Envision San Jose 2040 General Plan Designation for the subject site is Residential Neighborhood. There are adequate utilities and services in place that were constructed as part of the original single family residence. The Department of Public Works conducted an in-house review of the traffic impacts and concluded that traffic associated with this use will occur mostly on weekends or evenings, and would thereby have minimal or negligible impacts to signalized intersection during the standard morning and evening commute hours. For this reason, no further traffic analysis is required.

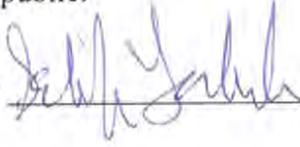
CONCLUSION

The subject Conditional Use Permit is consistent with the Envision San Jose 2040 General Plan. As discussed in this report and set forth in the attached resolution, staff anticipates that with the enforcement of the church operation schedule and conditions of approval, the proposed new addition shall not adversely impact the existing site conditions but will enhance and utilize the space to efficiently accommodate the congregation. Under the provisions of Section 15332, In-Fill Development of Projects, of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project has been found to be exempt from environmental review.

PUBLIC OUTREACH

Public outreach for the project has followed City Council Public Outreach Policy 6-30. A community meeting was held on January 03, 2013, and two members of the public attended the meeting. The attendees were concerned about the fence along the south property line adjoining the residential property. The residents were supportive of the proposal and the architectural concepts.

Property owners and occupants within a 500-foot radius were sent public hearing notices for the Planning Commission hearing. This staff report has been posted on the City's web site. Staff has been available to discuss the proposal with interested members of the public.

Project Manager: Aparna Ankola **Approved by:**  **Date:** 01/29/2013

Owner/Applicant: Owner: The Roman Catholic Bishop of San Jose 1150 North First Street, Suite 100 San Jose CA 95112 Architect: Eugene Sim, AIA SIM Architects, Inc. 433 California Street, Suite 620 San Francisco, CA 94104	Attachments: Draft Resolution Church Operation Plan Set
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RESOLUTION NO. 13 -

Resolution of the Planning Commission of the City of San José granting, subject to conditions, a Conditional Use Permit to allow a new 2,954 square foot addition with associated site improvements to an existing church in the R-1-8 Residential Zoning District, on a 10.86 gross acres site, located on the west side of McLaughlin Avenue, approximately 110 foot northerly of Algiers Avenue (1523 McLaughlin Avenue).

FILE NO. CP12-048

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SAN JOSÉ:

WHEREAS, pursuant to the provisions of Chapter 20.100 of Title 20 of the San José Municipal Code, on November 08, 2012, an application (File Number CP12-048) was filed for a Conditional Use Permit for the purpose of allowing a new 2,954 square foot addition with associated site improvements to an existing church on a 10.86 gross acres site, on that certain real property (hereinafter referred to as "subject property"), situated in the R-1-8 Single Family Residential Zoning District, located on the west side of McLaughlin Avenue, approximately 110 foot northerly of Algiers Avenue (1523 McLaughlin Avenue) in the City of San José, and

WHEREAS, the subject property is all that real property described in Exhibit "A," which is attached hereto and made a part hereof by this reference as if fully set forth herein; and

WHEREAS, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code, this Planning Commission conducted a hearing on said application, notice of which was duly given; and

WHEREAS, at said hearing, this Planning Commission gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

WHEREAS, at said hearing this Planning Commission received and considered the reports and recommendation of the Director of Planning, Building and Code Enforcement; and

WHEREAS, at said hearing, this Planning Commission received in evidence a development plan for the subject property entitled, "Holy Korean Martyrs Catholic Church, 1523 McLaughlin Avenue, San Jose CA 95122." dated November 02, 2012. Said plan is on file in the Department of Planning, Building and Code Enforcement and is available for inspection by anyone interested herein, and said development plan is incorporated herein by this reference, the same as if it were fully set forth herein; and

WHEREAS, said hearing was conducted in all respects as required by the San José Municipal Code and the rules of this Planning Commission;
NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SAN JOSE AS FOLLOWS:

The Planning Commission finds that the following are the relevant facts regarding this proposed project:

1. The project site is located on the west side of McLaughlin Avenue, approximately 110 foot northerly of Algiers Avenue (1523 McLaughlin Avenue).
2. The project site has a designation of Public/Quasi-Public on the adopted Envision San Jose 2040 General Plan Land Use/Transportation Diagram.
3. The project site is located in the R-1-8 Single-Family Residence Zoning District.
4. The subject site is approximately 10.86 gross acres.
5. The subject site is bounded by single-family residential uses on the north, west and south, and across McLaughlin Avenue to the east.
6. The new construction consists of a 1,850 square foot chapel, 750 square foot kitchen and 354 square foot courtyard elevator and stair addition.
7. The project site consists of an existing 9,598 square foot church, 11,461 square foot parish hall, 11,857 square foot classroom unit, 1,441 square foot portable classroom, 345 square foot portable cellphone utility, 200 square foot tower, 2,150 square foot one story house and 1,788 square foot detached accessory/garage structure.
8. The proposed 1,850 square foot chapel includes the 1,293 square foot assembly space and 397 square foot cry room. The existing church facility is provided with 500 fixed seats.
9. The new addition has a cement plastered and patterned stucco finish exterior. The screen walls are provided with channel screed and adhered brick veneer.
10. A three foot high new wrought iron fence will be provided along the east property line at McLaughlin Avenue. A new six foot high chain link fence enclosure will be provided to the north of the parish hall and classroom block.
11. The project site requires a total number of 280 parking spaces for all activities proposed on site. The peak use based on the scheduled hours of operation for the sanctuary and chapel areas would require a total number of 170 parking spaces.
12. A total of 183 parking spaces are provided on the project site.
13. A community meeting was conducted on January 3, 2012. The residents to the south of the subject property commented that a secured fence be provided at the south property line.
14. The applicant has drafted a church operation schedule, on file with the Department of Planning, Building and Code Enforcement.
15. Three ordinance sized Coast Redwood trees measuring 74, 92 and 93 inches, and four non-ordinance sized pear trees are proposed to be removed as a part of this project.

16. Under the provisions of Section 15332, In-Fill Development of Projects, of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project has been found to be exempt from environmental review.

This Planning Commission concludes and finds, based upon an analysis of the above facts that:

1. The proposed project is consistent with the adopted Envision San José 2040 General Plan of the City of San José.
2. The proposed project is in compliance with applicable provisions of the Zoning Ordinance.
3. The proposed project is exempt from environmental review in accordance with the California Environmental Quality Act (CEQA).

Further, the Planning Commission concludes and finds, based on the analysis of the above facts, that:

1. The interrelationship between the orientation, location and elevations of the proposed addition to an existing building on-site are mutually compatible and aesthetically harmonious in that:
 - a. The new addition will accentuate the architectural form of the existing sanctuary building.
 - b. Sufficient space will be provided on site to allow for smooth circulation.
 - c. Sufficient open space separates all structures and uses.
 - d. Parking spaces are conveniently located in relation to the uses they support.
2. The orientation, location and elevation of the proposed buildings and structures and other uses on the site are compatible with and are aesthetically harmonious with adjacent development or the character of the neighborhood.
 - a. The new addition will not interfere with the use of existing buildings on the subject property.
 - b. The new addition is located in a manner that it is partially screened by the existing sanctuary building.
 - c. The exterior wall and roof materials of the new addition on site are compatible with the materials of existing structures.
3. The environmental impacts of the project, including but not limited to noise, vibration, dust, drainage, erosion, storm water runoff, and odor which, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative effect on adjacent property or properties in that:

- a. Under the provisions of Section 15332, In-Fill Development of Projects, of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project has been found to be exempt from environmental review. of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project is exempt from the environmental review requirements of Title 21 of the San José Municipal Code, implementing the California Environmental Quality Act of 1970, as amended. The project will not have a significant adverse effect on the environment.
 - b. The proposed project will not individually or cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the California Department of Fish and Game Code.
4. Landscaping, irrigation systems, walls and fences, features to conceal outdoor activities, exterior heating, ventilating, plumbing, utility and trash facilities are sufficient to maintain the appearance of the neighborhood in that:
 - a. Adequate automatic irrigation system will be provided to support new and existing landscaping on the subject property.
 - b. No new outdoor activities are proposed as part of this application.
 5. Traffic access, pedestrian access and parking are adequate in that:
 - a. The proposed number and size of parking spaces will comply with the requirements of the Zoning Ordinance.
 - b. Pedestrian walkway is provided to the building entrance.
 - c. The proposed addition does not impact the vehicular or overall pedestrian circulation/access around the site.
 6. The Conditional Use Permit, as issued, would further the policies of the General Plan, in that the project is consistent with the site's Envision San José 2040 General Plan land use designation of Public/ Quasi-Public which supports private community gathering facilities.

Further, after investigation pursuant to Chapter 13.32 of the San José Municipal Code, the Director of Planning finds:

1. That the tree is of an affected size, type and condition, and are in such a location in such surroundings, that their removal would not significantly frustrate the purposes of Chapter 13.32; and
2. That the location of the trees with respect to the proposed improvement unreasonably restricts the economic development of the parcel in question.

Finally, based upon the above-stated findings and subject to the conditions set forth below, the Planning Commission finds that:

1. The proposed use at the location requested will not:
 - Adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; or
 - a. Impair the utility or value of property of other persons located in the vicinity of the site; or

- b. Be detrimental to public health, safety or general welfare; and
2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding areas; and
3. The proposed site is adequately served:
 - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quality of traffic such use would generate; and
 - b. By other public or private service facilities as are required.

In accordance with the findings set forth above, a Conditional Use Permit to use the subject property for said purpose specified above and subject to each and all of the conditions hereinafter set forth is hereby granted. This Planning Commission expressly declares that it would not have granted this permit except upon and subject to each and all of said conditions, each and all of which conditions shall run with the land and be binding upon the owner and all subsequent owners of the subject property, and all persons who use the subject property for the use conditionally permitted hereby.

CONDITIONS

This Conditional Use Permit shall have no force or effect and the subject property shall not be used for the hereby permitted uses unless and until all things required by the below-enumerated precedent conditions shall have been performed or caused to be performed and this Resolution has been recorded with the County Recorder.

1. **Acceptance of Permit.** Per Section 20.100.290(B), should the applicant fail to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the applicant shall be deemed to constitute all of the following on behalf of the applicant:
 - a. Acceptance of the Permit by the applicant; and
 - b. Agreement by the applicant to be bound by, to comply with, and to do all things required of or by the applicant pursuant to all of the terms, provisions, and conditions of this permit or other approval and the provisions of Title 20 applicable to such Permit.
2. **Permit Expiration.** This Conditional Use Permit shall automatically expire two years from and after the date of adoption of the Resolution by the Planning Commission, or by the City Council on appeal, granting this Permit, if within such two-year period, the proposed use of this site has not commenced, pursuant to and in accordance with the provisions of this Conditional Use Permit. The date of adoption is the date the Resolution granting this Conditional Use Permit is approved by the Planning Commission. However, the Director of Planning may approve a Permit Adjustment to extend the validity of this Permit pursuant to Title 20 of the San José Municipal Code. The Permit Adjustment must be approved prior to the expiration of this Permit.

3. **Conformance with Plans.** The use of this property shall conform to approved plans entitled, "Holy Korean Martyrs Catholic Church, 1523 McLaughlin Avenue, San Jose CA 95122." dated November 02, 2012 and on file with the Department of Planning, Building and Code Enforcement.
4. **Conformance with Municipal Code.** No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code.
5. **Compliance with Local and State Laws.** The subject use shall be conducted in full compliance with all local and state laws. No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code. The Permit shall be subject to revocation if the subject use is conducted in such a manner as to cause a nuisance, as defined above.
6. **Permittee Responsibility.** The permittee shall ensure that the uses authorized by this Permit are implemented in conformance with all of the provisions of this Permit.
7. **Building Permit/Certificate of Occupancy.** Procurement of a Building Permit and/or Certificate of Occupancy from the Building Official for the structures described or contemplated under this permit shall be deemed acceptance of all conditions specified in this permit and the applicant's agreement to fully comply with all of said conditions. No change in the character of occupancy or change to a different group of occupancies as described by the "Building Code" shall be made without first obtaining a Certificate of Occupancy from the Building Official, as required under San Jose Municipal Code Section 24.02.610, and any such change in occupancy must comply with all other applicable local and state laws. Prior to the issuance of a building permit, the following requirements must be met to the satisfaction of the Chief Building Official:
 - a. *Construction Plans.* The permit file number, CP12-048, shall be printed on all construction plans submitted to the Building Division.
 - b. *Construction Conformance.* A project construction conformance review by the Planning Division is required. Prior to final inspection approval by the Building Department, Developer shall obtain a written confirmation from the Planning Division that the project, as constructed, conforms with all applicable requirements of the subject Permit, including the plan sets. To prevent delays in the issuance of Building Permits, please notify Planning Division staff at least one week prior to the final Building Division inspection date.
 - c. *Mechanical Ventilation.* The new chapel shall be equipped with a mechanical ventilation system (i.e. air conditioning/heating) so that windows and doors may remain shut in order to minimize the noise impacts from assembly activities to adjacent residential uses.
8. **Fire Department Requirements.** The permittee shall meet all requirements of the Fire Department at the Building or Occupancy Permit stage as appropriate.
9. **Public Works Clearance.** Prior to issuance of Building Permits, the applicant will be required to have satisfied all of the following Public Works Conditions. The applicant is strongly advised to apply for any necessary Public Works Permits prior to applying for Building Permits.
 - a. *Transportation:* The projected traffic for this project was reviewed and found to be minimal, therefore no further traffic analysis is required.

- b. *Grading/Geology*: A grading permit may be required prior to the issuance of a Public Works Clearance. The construction operation shall control the discharge of pollutants (sediments) to the storm drain system from the site. An erosion control plan may be required with the grading application.
 - c. *Stormwater Runoff Pollution Control Measures*: This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of Best Management Practices (BMPs) that include site design measures and source controls to minimize stormwater pollutant discharges.
 - d. *Flood: Zone D*: The project site is not within a designated Federal Emergency Management Agency (FEMA) 100-year floodplain. Flood zone D is an unstudied area where flood hazards are undetermined, but flooding is possible. There are no City floodplain requirements for zone D.
 - e. *Sewage Fees*: In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
 - f. *Undergrounding*: The In Lieu Undergrounding Fee shall be paid to the City for all frontage adjacent to McLaughlin Avenue prior to issuance of a Public Works Clearance. Twenty-five percent (25%) of the base fee in place at the time of payment will be due. Currently, the 2013 base fee is \$418 per linear foot of frontage and is subject to change every January 31st based on the Engineering News Record's 20 City Average Cost Index. The project will be required to pay the current rate in effect at the time the Public Works Clearance is issued. (Based on 2013 rate, the fee is approximately \$75,606.)
Per Municipal Code Chapter 15.26, Utility Undergrounding Fees, Section 15.26.190, this project may apply to the City Council for permission to pay this undergrounding fee in installment payments.
 - g. *Reimbursement*: The developer will be required to reimburse the City for costs advanced for the construction of street improvements along McLaughlin Avenue in accordance with City Ordinance #19663. The fee is \$9,997.
Per Municipal Code Chapter 14.13, Arterial and Major Collector Streets - Repayment of Costs Advanced by City Upon Development of Abutting Land, Section 14.13.115, any nonprofit organization may apply to the City Council for permission to pay the reimbursement fee in installment payments based on financial hardship.
10. **Hours of Operation.** The weekday congregation sessions, for one hour duration, are conducted on alternate days in the mornings (8:00 a.m. to 9:00 a.m.) and evenings (8:00 p.m. to 9:00 p.m.) and from 7.30 p.m. to 8.30 p.m. on Saturday. The weekend sessions on Sunday, categorized into three separate sessions are scheduled from 8:00 a.m. to 4:00 p.m. Specialty study activities are scheduled on Saturday from 10:00 am to 2:00 p.m. Additional one-time special annual events for two hour duration are scheduled twice a year in April and December. The annual events typically accommodate about 175 persons.

11. **Neighborhood Relations.** The religious assembly use on subject site shall work with any neighborhood group(s) or individual(s) in an effort to address any impacts the use may have on the neighboring community. An 8.5 x 11 inch window sign that is visible from the public side of the main sanctuary building and the chapel shall be posted with the appropriate contact information.
12. **Parking Information and Education.** A map of all appropriate parking services shall be printed in English and in other languages on any programs distributed or made available to parishioners prior to all services. An enlarged version of this map and information shall be permanently posted near the doorway of each entrance. All available public transportation services and stop locations shall be included with the above-mentioned information.
13. **Use Restrictions for Outdoor Areas Adjacent to Existing Residences.** The outdoor areas shall be used for passive outdoor activities only and shall exclude any/all assembly activities.
14. **Noise.** Sounds shall be contained within the buildings and the buildings shall be adequately insulated to prevent excessive sound from emanating outside. The interiors of each of the buildings may need to be upgraded to provide sufficient air conditioning to allow all doors and windows on the subject site to remain closed during the operation and activities of the site. Maximum noise levels emanating from the interior any of the facilities shall not exceed 55 decibels at the adjacent property line.
15. **Nuisance.** This use shall be operated in a manner, which does not create a public or private nuisance. The property owner shall abate any such nuisance immediately upon notice, or City may do so under and pursuant to the applicable provisions of the San Jose Municipal Code.
16. **Perimeter Fences.** The applicant shall be responsible for the construction, repair and maintenance of six (6) to seven (7) foot tall good neighbor fences adjacent to all neighboring single-family residence rear yards. New, tall shrubbery shall be planted adjacent to such fences, as required, for screening. A permit adjustment shall be secured for the approval of all related improvements.
17. **Landscaping.** Landscaped areas shall be maintained and watered and all dead plant material is to be removed and replaced by the property owner.
18. **Irrigation Standards.** The applicant shall install an adequately sized irrigation distribution system with automatic controllers in all areas to be landscaped that conforms and is consistent with the City of San Jose Landscape and Irrigation Guidelines.
19. **Street Trees.** Street trees shall be replaced and replanted with those portions of the public-right-of-way in which they removed. The Department of Transportation and the City Arborist shall determine the number and species of trees to be planted.
20. **Tree removals.** Three ordinance size redwood trees measured at 93", 92" and 74" are proposed to be removed at the location of the new addition. Four non-ordinance size pear trees are proposed to be removed adjoining the interior courtyard area. The replacement trees shall be provided on site as indicated on plan.

21. **Alternating Parking Arrangement.** This permit shall include an alternating parking arrangement for the sharing of parking spaces on site. As such, the operating hours of the sanctuary for peak assembly uses or use of the chapel shall be conducted only at times when the classroom and parish hall activities are not in use.
22. **Discretionary Review.** The Director of Planning, Building and Code Enforcement maintains the right of discretionary review of requests to alter or amend structures, conditions, or restrictions of this Conditional Use Permit incorporated by reference in this Permit in accordance with the San José, Municipal Code.
23. **Sewage Treatment Demand.** Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the applicant for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José-Santa Clara Water Pollution Control Plant represented by approved land uses in the area served by said Plant will cause the total sewage treatment demand to meet or exceed the capacity of San José-Santa Clara Water Pollution Control Plant to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Quality Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approval authority.
24. **Lighting.** On-site lighting shall be designed, controlled and maintained so that no light source is visible from outside of the property. All outside lighting at the rear yard shall be turned off by 10:00 p.m.
25. **Refuse.** All trash areas shall be effectively screened from view and covered and maintained in an orderly state to prevent water from entering into the garbage container. No outdoor storage is allowed. Trash areas shall be maintained in a manner to discourage illegal dumping. The applicant shall ensure that there are provisions for frequent trash pick-ups as needed to avoid overflow.
26. **Outside Storage.** No outside storage is permitted except in areas designated on the approved plan set.
27. **Sign Approval.** No signs are approved at this time. All proposed signs shall be subject to approval by the Director of Planning pursuant to applicable sections of the San Jose Municipal Code.
28. **Anti-Graffiti.** The applicant shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement.

29. **Revocation, Suspension, Modification.** This Conditional Use Permit may be revoked, suspended or modified by the Planning Commission, or by the City Council on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing in accordance with Chapter 20.100, Title 20 of the San José Municipal Code, it finds:

- a. A violation of any City ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation; or
- b. The use as presently conducted creates a nuisance.

ADOPTED and issued this 13th day of February 2013, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

EDESA BIT-BADAL
Chairperson

ATTEST:

JOSEPH HORWEDEL
Director of Planning Building & Code Enforcement
Planning Commission Secretary

NOTICE TO PARTIES

The time within which judicial review must be sought to review this decision is governed by the provisions of the California Code of Civil Procedure Section 1094.6.

EXHIBIT A TO GRANT DEED

LEGAL DESCRIPTION OF PROPERTY

All that certain real property situated in the City of San Jose, County of Santa Clara, State of California, described as follows:

LOT 1, TRACT NO. 8463, FILED OCTOBER 02, 1992 IN BOOK 641 OF MAPS, AT PAGES 10 AND 11, SANTA CLARA COUNTY RECORDS.

EXCEPTING THEREFROM THE UNDERGROUND WATER RIGHTS WITH NO RIGHT OF SURFACE ENTRY, AS CONVEYED TO THE SAN JOSE WATER COMPANY, A CALIFORNIA CORPORATION, INSTRUMENT RECORDED FEBRUARY 02, 1993 IN BOOK M612 AT PAGE 0373 OF OFFICIAL RECORDS OF SANTA CLARA COUNTY.

APN: 477-46-054

HUMANITY GARDENS

Arborist Report - 1523 McLaughlin Ave., San Jose, CA 95122

DATE: 11/26/2012

From:

Chris Ott, ISA Certified Arborist WE-9028A

Humanity Gardens

1326 Harrison Ave.

Redwood City, CA 94062

ph: 415.999.5365

email: Chris@humanitygardens.com

Client:

Attn: Paul Oh/ Richard Hong

Holy Korean Martyrs Catholic Church

531 E. Weddell Drive

Sunnyvale, CA 94089

Project:

1523 McLaughlin Avenue

San Jose, CA 95122

Description

I am writing this letter to identify three trees at the east side of the main church building entrance at 1523 McLaughlin Avenue, San Jose, CA 95122, as marked on attached site plan, and provide the circumference of their trunks.

All three trees are identified as *Sequoia sempervirens* - Coast Redwood.

The circumference of their trunks, two feet above grade, are as follows:

Tree number one: 74 inches

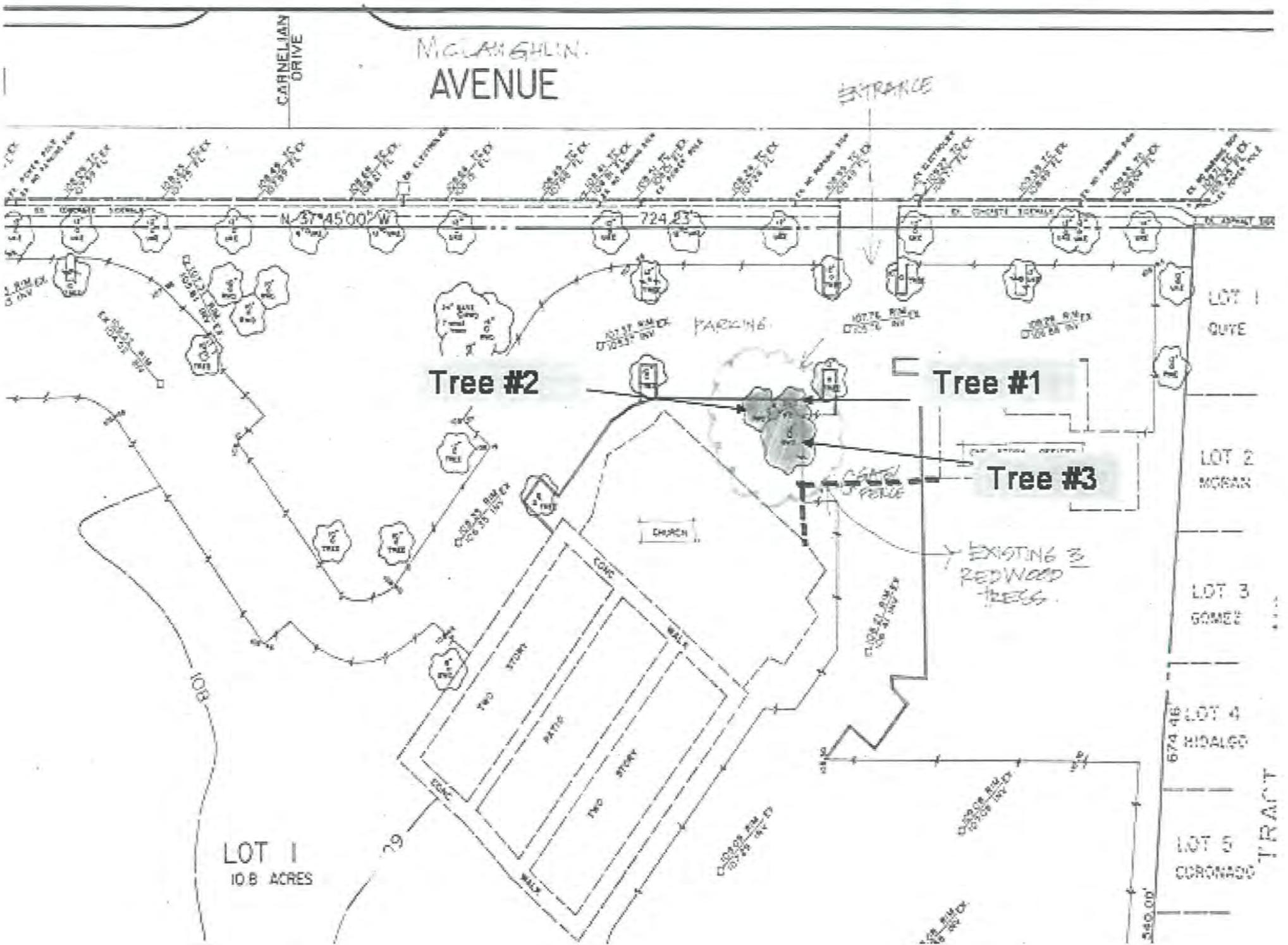
Tree number two: 92 inches

Tree number three: 93 inches

Please review and call or email with any questions.

Thank you,

Chris Ott, ISA Certified Arborist WE-9028A



McLAUGHLIN AVENUE

CARNELIAN DRIVE

ENTRANCE

N 37°45'00" W

724.23

Tree #2

Tree #1

Tree #3

CHURCH

EXISTING 3 REDWOOD TREES

LOT 1
10.8 ACRES

LOT 1
GUYE

LOT 2
MORGAN

LOT 3
GOMEZ

LOT 4
HIDALGO

LOT 5
CORONADO TRACT

240.00'

674.46'

100'

79

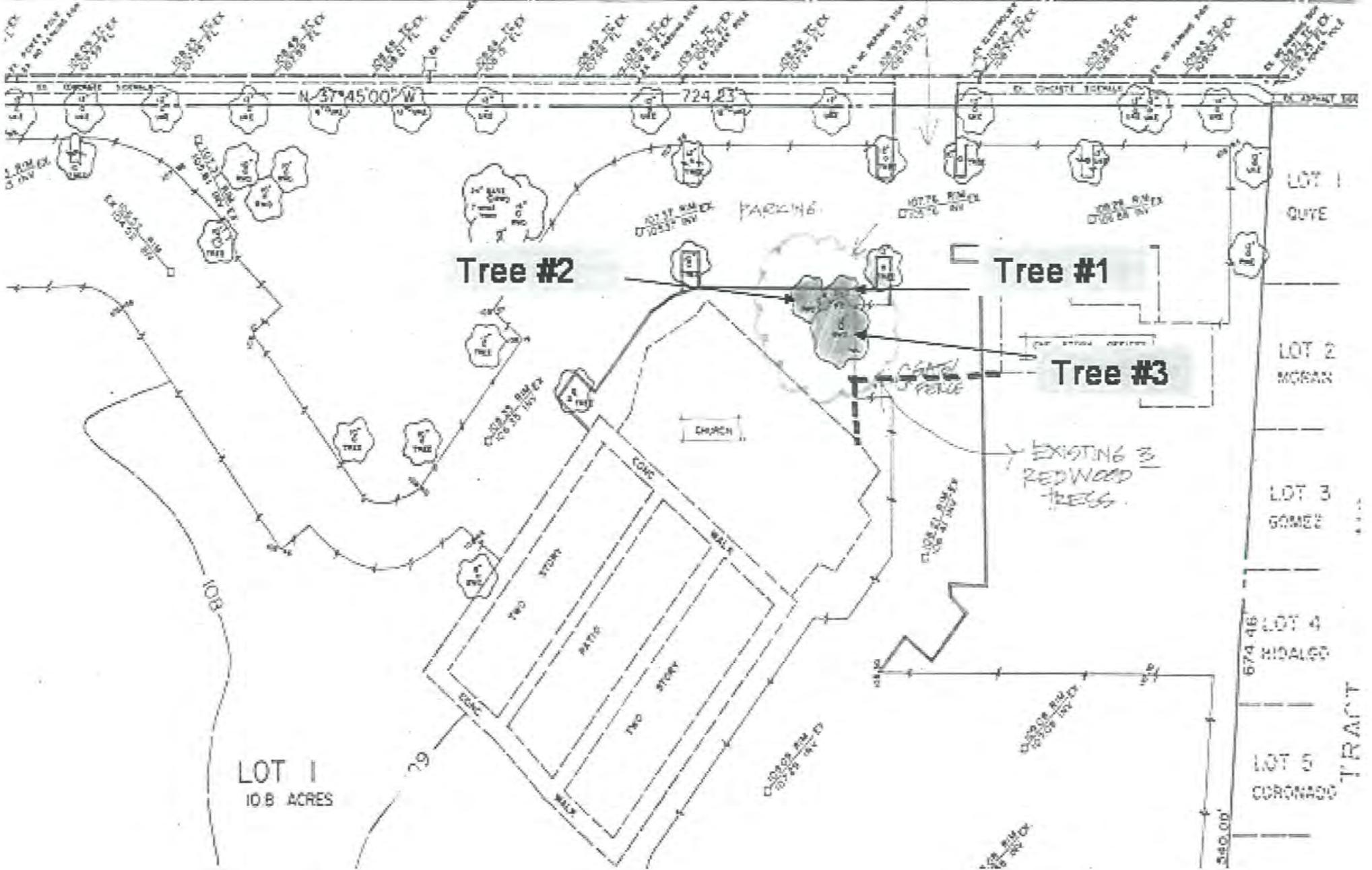
LOG PORCH

TWO STORY

PATIO

TWO STORY

WALL



Church Operation for Environmental Review

1. We are the Catholic Church for Korean American under Diocese of San Jose.

Currently, the church has 770 listed family members who reside mostly in Santa Clara County, among those only 514 family members are considered to be active.

Compositions of listed family members are as below:

Los Altos, Mountain View, Palo Alto:	85 families
San Jose:	280 families
Milpitas, Hayward:	55 families
Sunnyvale:	100 families
Santa Clara:	80 families
Campbell, Saratoga:	70 families
Cupertino:	85 families

2. Church Operation

A church operation hour is 8AM to 10 PM every day for parishioners' access. Typical church mass schedule is as below including Attendee projected based on the historical data and parking requirements.

Type	Days	Time	Duration	description	Attendee Projected	Parking Required
Mass	Tues	8:00 PM	1hr	Weekday Mass	50	20
Mass	Wed	10:00 AM	1hr	Weekday Mass	50	20

Mass	Thur	8:00 PM	1hr	Weekday Mass	50	20
Mass	Fri	8:00 AM	1hr	Weekday Mass	50	20
Mass	Sat	7:30 PM	1hr	Weekday Mass	90	36
Mass	Sun	8:00 AM	1hr	Weekend Mass	180	72
Mass	Sun	10:30 AM	1.5 hr	Weekend Mass	450	150
Mass	Sun	2:30 PM	1.5 hr	Weekend Mass for English	200	67
Class	Sat	10:00 AM	4 hr	Bible Study and Specialty Studay for Kids	200	80
Special Mass	Annual	10:30 AM	2 hr	Easter	700	175
Special Mass	Annual	8:00 PM	2 hr	Christmas Eve	700	175

3. Parking and Overflow Parking

Currently facility has 185 parking spaces available. Per our experience and attendance history log, we have enough parking spaces to handle typical requirement of 175 spaces.

However, to remedy the situation for unexpected parking spaces requirement which can happen a few times a year for special mass, we do have a resolution plan. As of a primary resolution, we made an agreement of San Jose Diocese that the new residence on the adjacent parcel will be non-competitive entity against us, in which we request to share the available parking spaces for unexpected parking overflow situation. This is our primary plan to resolve the parking overflow situation.

Our secondary option is to utilize the turf area to accommodate overflow parking until adjacent parcel occupied with potential residences or unavailable due to special circumstances.

4. Traffic Flows

We are expecting majority of our parishioners will come to the site from north to south bounds of McLaughlin Ave from I-280 McLaughlin exit and I-101 Story Exit. For the safety of accessing and easy of traffic flow, San Joes Diocese already begin to work with Planning Department to install 4 way traffic signals in intersection of Carnelian Dr. and McLaughlin Ave, which will ensure the safe exist out of the church premises with projected left turn and also slow down the incoming traffics. The Permit application to Planning Department has already submitted by Dioceses of San Jose.

Traffic volume increase due to our Church operation in McLaughlin Ave is only limited to Sunday Mass time between 10 AM to 10:30 AM and 11:45 PM to 12:15 PM. This short duration of traffic volume increase should be remedied by the traffic signal light.

HOLY KOREAN MARTYRS CATHOLIC CHURCH

1523 MCLAUGHLIN AVENUE, SAN JOSE, CALIFORNIA 95122

APN # 477-46-054

SIM
ARCHITECTS

Architecture Planning
Interiors
433 California Street, Suite 620
San Francisco, CA 94104
(415) 362-8081 (415) 362-8082 fax

CP12-048

LIST OF DRAWINGS

A0.1	COVER SHEET
A1.1	SITE PLAN
A2.1	GRADING & DRAINAGE PLAN
A3.1	PROPOSED FLOOR PLAN
A3.2	EXISTING EXTERIOR ELEVATIONS
A3.2	PROPOSED EXTERIOR ELEVATIONS
A7.1	SITE DETAILS
L1.1	PROPOSED LANDSCAPE PLAN
1	TOPOGRAPHIC SURVEY (FOR REFERENCE ONLY)
1 OF 1	ALTA/CASM LAND TITLE SURVEY (FOR REFERENCE ONLY)

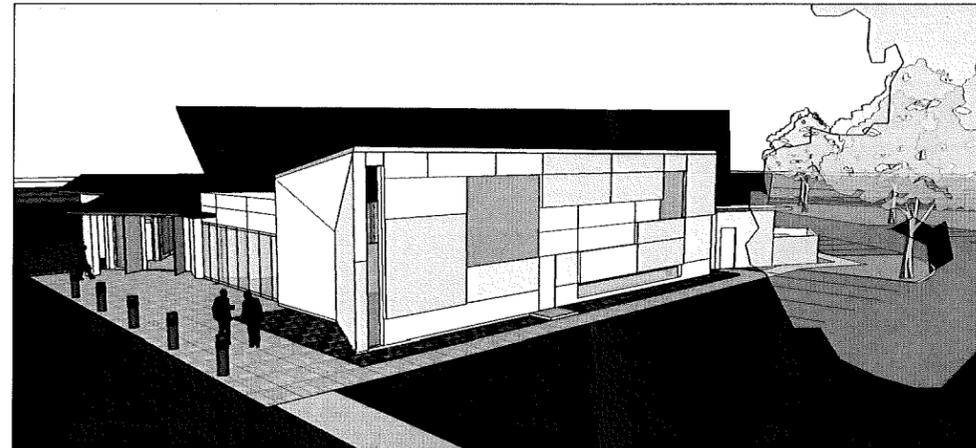
PROJECT TEAM

CLIENT	ARCHITECT
HOLY KOREAN MARTYRS CATHOLIC CHURCH 531 EAST WEDDELL DR. SUNNYVALE, CA 94089 TEL (408) 734-9721 FAX (408) 734-9723	SIM ARCHITECTS, INC 433 CALIFORNIA STREET, SUITE 620 SAN FRANCISCO, CA 94104 TEL (415) 362-8081 FAX (415) 362-8082

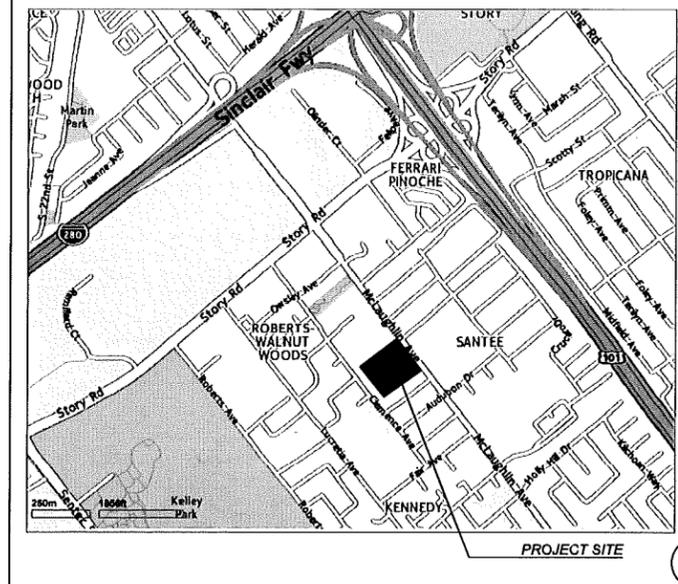
PROJECT DATA

PROJECT LOCATION:	1523 MCLAUGHLIN AVENUE, SAN JOSE, CA 95122
ZONING:	R-1-B
LOT SIZE:	472,858 SQ. FT. (10.86 AC)
(E) BUILDING HEIGHT:	TWO-STORY
BUILDING AREA:	± 38,840 SQ. FT.
TYPE OF CONSTRUCTION:	TYPE VB, SPRINKLERED
OCCUPANCY CLASSIFICATION:	A-3, B
LANDSCAPE AREA:	333,009 SQ. FT.
SCOPE OF WORK:	DEMOLITION OF SELECTED INTERIOR/EXTERIOR BEARING & NON-BEARING PARTITIONS. NEW ADDITION OF CHAPEL, KITCHEN & ELEVATOR. REMODEL INTERIORS FOR ENLARGED SANCTUARY USE + PARISH HALL & CLASSROOM AREAS. RELOCATION OF (E) PORTABLE BUILDING. ADA, FIRE LIFE SAFETY & STRUCTURAL IMPROVEMENTS + FACADE & GENERAL SITE IMPROVEMENTS.

CONCEPTUAL VIGNETTE



VICINITY MAP



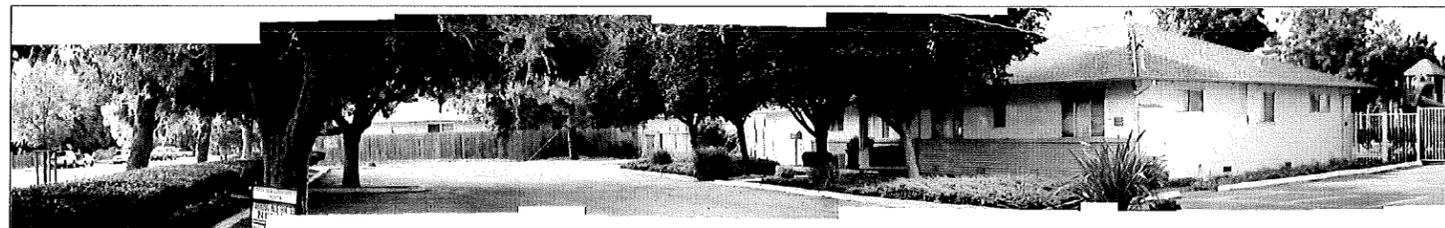
EXISTING SITE CONDITIONS (CONTEXT)



NORTH FACADE



DISTANT NORTH FACADE



ADJACENT HOUSE



MAIN ENTRANCE



EAST FACADE

CODE INFORMATION

CODE SECTION:	ZONING ORDINANCE INFORMATION:	PRIOR DEVELOPMENT PERMITS:
MUNI. 20.30.100	(E) ZONING: R-1-B (E) PERMITTED USE: CHURCH/RELIGIOUS ASSEMBLY	AD92-1017, AD93-044, AD92-023, AD09-1015, AD09-221, AD05-1213, CPAD3-222-01, CP03-022, CP01-058, TS1-031, CS0-117, PD85-021, POB2-060, PDE2-027, PDCB1-122
MUNI. 20.30.100	CONDITIONAL USES REQUIRED: 1. CHURCH/RELIGIOUS ASSEMBLY	

MUNI. 20.30.200	(E) LOT SIZE: 472,858 sq. ft.	PROPOSED HEIGHT: NO CHANGE
	ALLOWABLE LOT COVERAGE: N/A	PROPOSED SETBACKS: NO CHANGE
	(E) LOT COVERAGE: 133,249 sq. ft.	FRONT: 25'-0"
	TOTAL ALLOWABLE F.A.R.: N/A	REAR: 20'-0"
	(E) BUILDING SQUARE FOOTAGE: 36,505 sq. ft.	SIDE, INTERIOR: NO CHANGE
	HEIGHT LIMIT: 35'-0"	SIDE, CORNER: NO CHANGE
	REQ'D. SETBACKS: NO CHANGE	
	FRONT: 25'-0"	
	REAR: 20'-0"	
	SIDE, INTERIOR: 5'-0"	
	SIDE, CORNER: 12'-6"	

USE	OCCUPANCY	REQ'D SPACES	PROPOSED SPACES
ASSEMBLY, A-3	1 stall per 40 sq. ft. (3,202 sq. ft.)		(N) 2 FULL
CHURCH			(N) 9 COMPACT
CHURCH/RELIGIOUS ASSEMBLY		125	(E) 107 FULL
ASSEMBLY, A-3	1 stall per 30 sq. ft. (1,293 sq. ft.)		(E) 66 COMPACT
(N) CHAPEL			(E) 6 ACCS.
CHURCH/RELIGIOUS ASSEMBLY		43	(E) 1 VAN
ASSEMBLY, A-3	1 stall per 200 sq. ft. (397 sq. ft.)		
(N) CRY ROOM			
COMMUNITY CENTER		2	
*SEE "STANDARD HOURS OF CHURCH OPERATION" EXHIBIT			
		(PEAK USE) TOTAL: 170	TOTAL: 183*

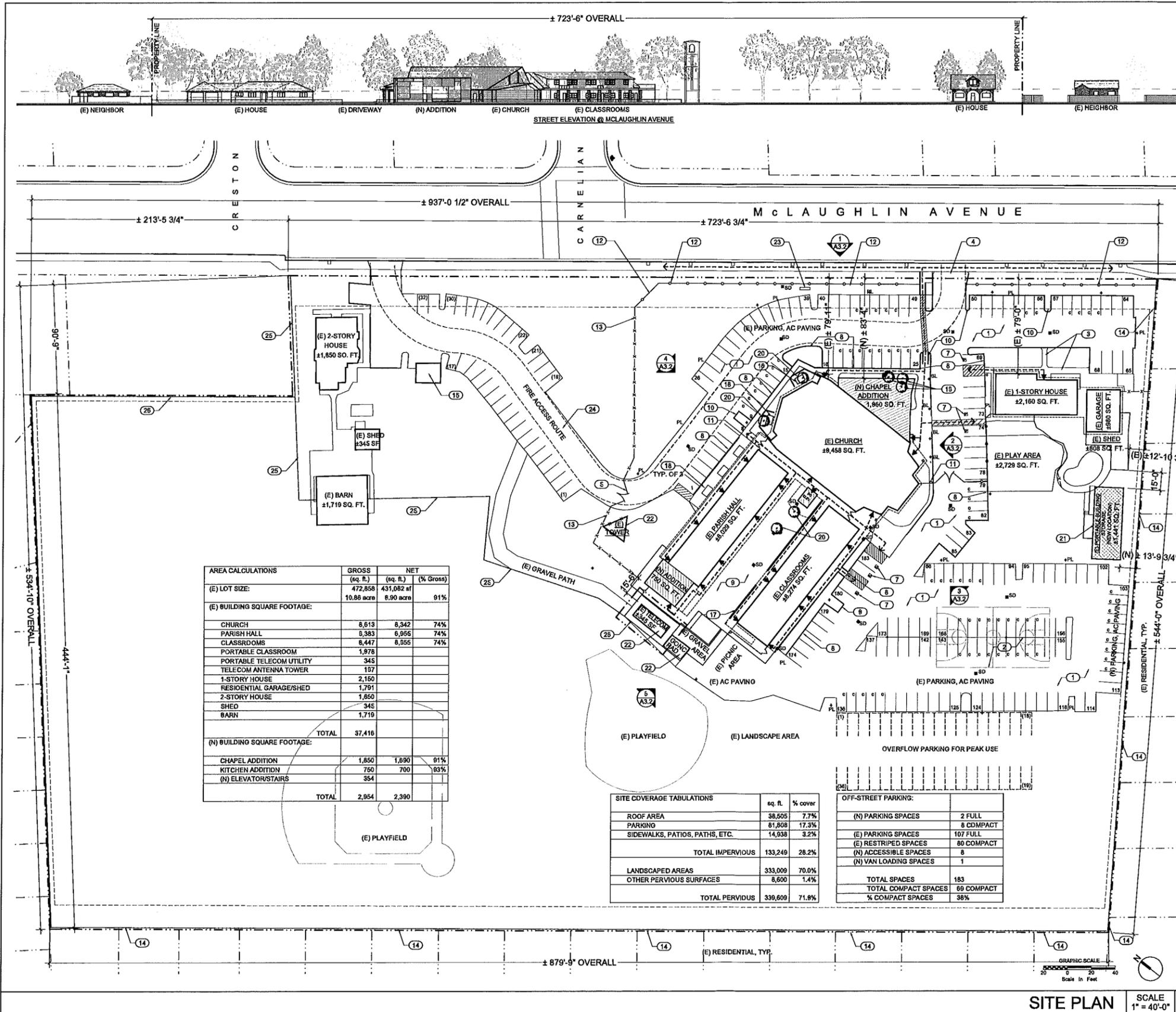
USE	OCCUPANCY	REQ'D SPACES	PROPOSED SPACES
ASSEMBLY, A-3	1 stall per 40 sq. ft. (3,202 sq. ft.)		
PARISH HALL			
BANQUET FACILITY		60	
OFFICE, B	1 stall per 200 sq. ft. (1,966 sq. ft.)		
OFFICE		10	
CLASSROOM, A-3	15 Classrooms		
*ACCESSORY RELIGIOUS	1 stall per teacher		
EDUCATIONAL ROOMS*	1 stall per employee	15	
		TOTAL: 280	TOTAL: 183

HOLY KOREAN MARTYRS
CATHOLIC CHURCH
 1523 MCLAUGHLIN AVENUE
 SAN JOSE, CA 95122

Issued: _____ Date: _____
 PLANNING RESUBMITTAL 02.01.2013
 PLANNING RESUBMITTAL 01.07.2013
 COMMUNITY MEETING 01.03.2013
 PLANNING SUBMITTAL 11.02.2012
 Project No: 12012
 Sheet Title:
COVER SHEET
 AS SHOWN
 Scale:
 Sheet No:

A0.1

of ## sheets



AREA CALCULATIONS	GROSS		NET	
	(sq. ft.)	(sq. ft.)	(sq. ft.)	(% Gross)
(E) LOT SIZE:	472,858	431,082 sf	91%	
	10.86 acre	9.90 acre		
(E) BUILDING SQUARE FOOTAGE:				
CHURCH	8,613	8,342	74%	
PARISH HALL	8,383	8,956	74%	
CLASSROOMS	8,447	8,555	74%	
PORTABLE CLASSROOM	1,878			
PORTABLE TELECOM UTILITY	345			
TELECOM ANTENNA TOWER	197			
1-STORY HOUSE	2,160			
RESIDENTIAL GARAGE/SHED	1,791			
2-STORY HOUSE	1,850			
SHED	345			
BARN	1,719			
TOTAL	37,416			
(N) BUILDING SQUARE FOOTAGE:				
CHAPEL ADDITION	1,850	1,890	91%	
KITCHEN ADDITION	750	700	93%	
(N) ELEVATOR/STAIRS	354			
TOTAL	2,954	2,590		

SITE COVERAGE TABULATIONS		
	sq. ft.	% cover
ROOF AREA	38,505	7.7%
PARKING	81,808	17.3%
SIDEWALKS, PATIOS, PATHS, ETC.	14,938	3.2%
TOTAL IMPERVIOUS	133,249	28.2%
LANDSCAPED AREAS	333,009	70.0%
OTHER PERVIOUS SURFACES	8,600	1.4%
TOTAL PERVIOUS	339,609	71.8%

OFF-STREET PARKING:	
(N) PARKING SPACES	2 FULL
	6 COMPACT
(E) PARKING SPACES	107 FULL
(E) RESTRIPTED SPACES	80 COMPACT
(N) ACCESSIBLE SPACES	6
(N) VAN LOADING SPACES	1
TOTAL SPACES	183
TOTAL COMPACT SPACES	66 COMPACT
% COMPACT SPACES	36%

SHEET NOTES

1. PLANS BASED ON TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY:
 MH ENGINEERING CO.
 16075 VINEYARD BOULEVARD
 MORGAN HILL, CALIFORNIA 95037
 (408) 779-7381

2. IMPROVEMENTS ALONG RIGHT OF WAY TO MEET SAN JOSE CITY REQUIREMENTS

LEGEND

- > PATH OF ACCESSIBLE TRAVEL
- ◀ ACCESSIBLE EXTERIOR ENTRANCE & EXIT
- PROPERTY LINE
- SETBACK LINE
- x-x- FENCE LINE
- (N) WROUGHT IRON FENCE
- ROOF OVERHANG
- ▨ (E) PORTABLE, RELOCATED
- ▨ (N) CONSTRUCTION / ADDITION
- ▨ CONC. PAVEMENT WITH JOINT PATTERN
- ⊕ (E) FIRE HYDRANT
- ⊕ (N) POLE LIGHTING, BEGA OR EQUAL
- ⊕ (N) BOLLARD LIGHTING, BEGA OR EQUAL
- (E) STORM DRAIN
- c (N) COMPACT PARKING SPACE

KEY NOTES

- 1 (E) AC PAVING, PATCH & REPAIR
- 2 (E) BASKETBALL COURT STRIPING TO REMAIN
- 3 (E) CONCRETE SIDEWALK TO REMAIN
- 4 (E) VEHICULAR DRIVEWAY
- 5 (N) 6'-0" HIGH CHAIN LINK GATE
- 6 (N) 8" HIGH CONCRETE CURB
- 7 (N) ACCESSIBLE PARKING STALL
- 8 (N) ACCESSIBLE PARKING & TOW-AWAY SIGN SET ON GALVANIZED STEEL POST
- 9 (N) CONCRETE PAVEMENT WITH 3/8" WIDE CONTROL AND EXPANSION JOINT PATTERNS
- 10 (E) CONCRETE CURBS TO REMAIN
- 11 RELOCATE (E) WROUGHT IRON PICKET-FENCE & VEHICULAR GATE, INSTALL MANGATE WITH PANIC HARDWARE
- 12 (N) 3'-0" HIGH WROUGHT IRON FENCE WITH 4"x4" POSTS SPACED AT 8'-0" O.C.
- 13 (N) 6'-0" HIGH CHAIN LINK FENCE WITH 3-1/2" DIAMETER GALVANIZED STEEL POSTS SPACED AT 10'-0" O.C.
- 14 (E) 8'-0" HIGH REDWOOD FENCE TO REMAIN
- 15 (E) TRASH ENCLOSURE
- 16 (N) HVAC UNIT, GROUND MOUNTED ON 6" HIGH REINFORCED CONCRETE PAD WITH CEMENT PLASTERED STUCCO FINISH ENCLOSURE WALL
- 17 (N) COURTYARD WALL ENCLOSURE SCREEN IN CEMENT PLASTERED FINISH WITH 1" WIDE REVEALS OVER 2X WOOD FRAMING
- 18 (E) RAISED PLANTERBOX TO REMAIN
- 19 (E) TREE TO BE REMOVED, OVER 57' CIRCUMFERENCE
- 20 (E) SMALL TREE TO BE REMOVED, UNDER 57' CIRCUMFERENCE
- 21 (E) RELOCATABLE STORAGE BUILDING, SHOWN IN PROPOSED LOCATION (SAN JOSE PERMIT NO. AD92-023)
- 22 (E) TELECOM UTILITY RELOCATABLE SHED, EQUIPMENT PAD & ANTENNA TOWER (SAN JOSE PERMIT NO. 2006 016987 CI)
- 23 (N) BACKFLOW PREVENTER, CONNECT TO (E) FIRE HYDRANT ACROSS STREET @ CORNER OF McLAUGHLIN & CARNELIAN
- 24 20'-0" WIDE FIRE ACCESS ROUTE, MAX. 15% GRADE, SHALL CONFORM WITH ALL SAN JOSE FIRE ACCESS GUIDELINES
- 25 (E) 6'-0" HIGH CHAIN LINK FENCE



Architecture Planning Interiors
 433 California Street, Suite 620
 San Francisco, CA 94104
 (415) 362-8081 (415) 362-8082 fax

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 Contractors shall verify and be responsible for all conditions and conditions of the job. Upon discovery of any discrepancy, or omission, please notify SIM Architects and prior to proceeding with related work, obtain written reaction from SIM Architects.
 Architect

Consultant

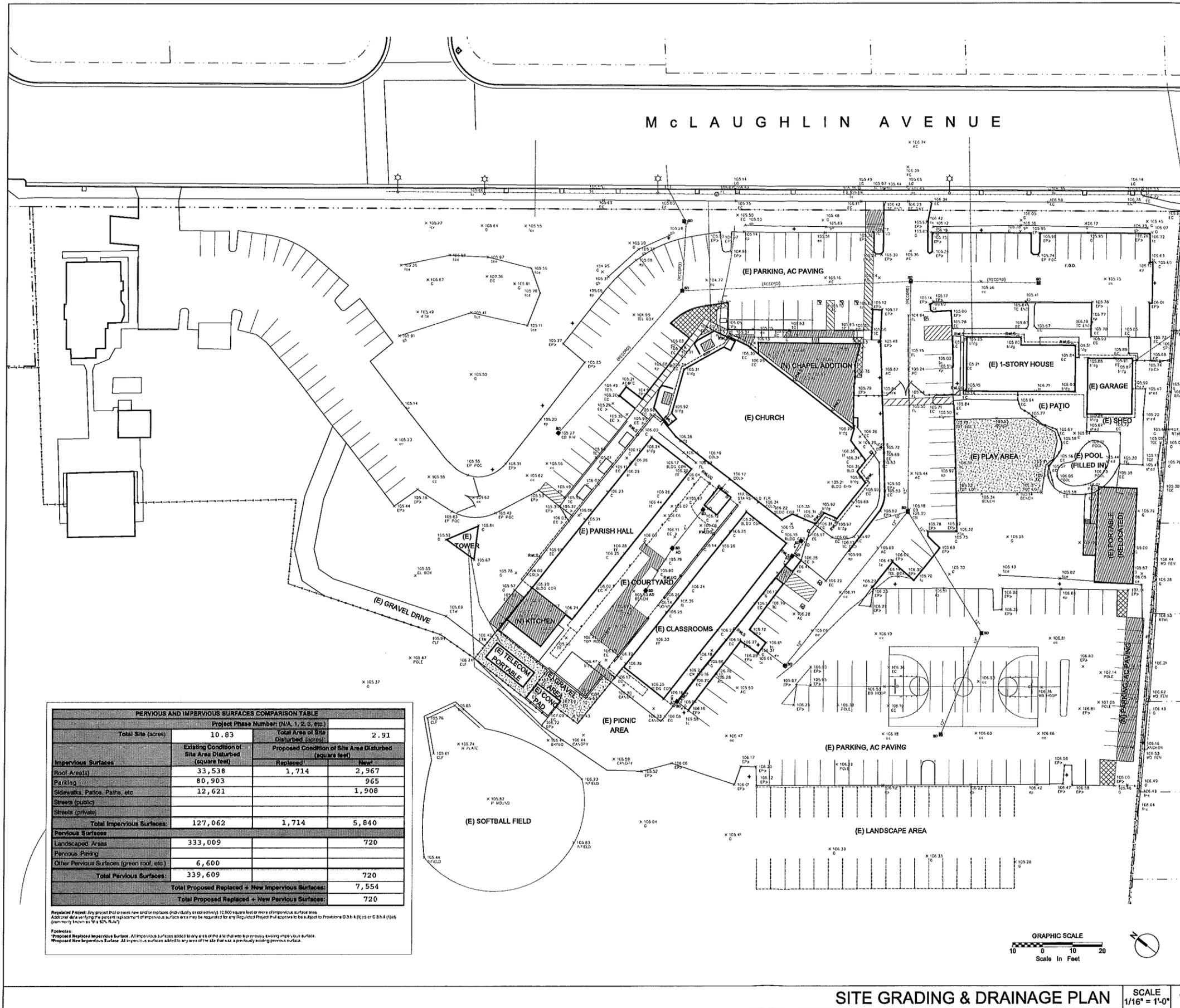
HOLY KOREAN MARTYRS CATHOLIC CHURCH
 1523 McLAUGHLIN AVENUE
 SAN JOSE, CA 95122

Issued:	Date:
PLANNING RESUBMITTAL	02.01.2013
PLANNING RESUBMITTAL	01.07.2013
COMMUNITY MEETING	01.03.2013
PLANNING SUBMITTAL	11.02.2012
Project No:	12012
Sheet Title:	ACCESSIBLE ROUTES OF TRAVEL & SITE PLAN
Scale:	AS SHOWN
Sheet No:	

A1.1

of # sheets

SITE PLAN SCALE 1" = 40'-0" 1



PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE			
Total Site (acres)	Project Phase Number: (N/A, 1, 2, 3, etc)		2.91
	Existing Condition of Site Area Disturbed (square feet)	Proposed Condition of Site Area Disturbed (square feet)	
Impervious Surfaces			
Roof Areas	33,538	2,967	
Parking	80,903	965	
Sidewalks, Patios, Paths, etc	12,621	1,908	
Streets (public)			
Streets (private)			
Total Impervious Surfaces:	127,062	5,840	
Pervious Surfaces			
Landscaped Areas	333,009	720	
Pervious Paving			
Other Pervious Surfaces (green roof, etc)	6,600		
Total Pervious Surfaces:	339,609	720	
Total Proposed Replaced + New Impervious Surfaces:		7,554	
Total Proposed Replaced + New Pervious Surfaces:		720	

Regulated Project: Any project that creates new and/or replaces (individually or collectively) 10,000 square feet or more of impervious surface area. Additional data verifying the percent replacement of impervious surfaces may be required for any Regulated Project that applies to Provisions 0.3.b.4)(1) or 0.3.b.4)(1a) (commonly known as the 1% Rule).

Footnotes:
 *Proposed Replaced Impervious Surface: All impervious surfaces added to any area of the site that was previously existing impervious surface.
 *Proposed New Impervious Surface: All impervious surfaces added to any area of the site that was previously existing pervious surface.

SHEET NOTES

1. PLANS BASED ON TOPOGRAPHIC SURVEY DATED 12/7/2012
 PREPARED BY:
 UNDERWOOD & ROSENBLUM INC.
 CIVIL ENGINEERS AND SURVEYORS
 1630 OAKLAND ROAD, STE. A114
 SAN JOSE, CALIFORNIA 95131
 (408) 453-1222

LEGEND

- PROPERTY LINE
- (Hatched) (N) IMPERVIOUS AREA
- (Cross-hatched) (N) LANDSCAPED AREA
- (Dotted) (E) PERVIOUS AREA
- SD (E) STORM DRAIN

KEY NOTES



Architecture Planning Interiors
 433 California Street, Suite 620
 San Francisco, CA 94104
 (415) 362-8081 (415) 362-8082 fax

COMPILED BY: SIM ARCHITECTS
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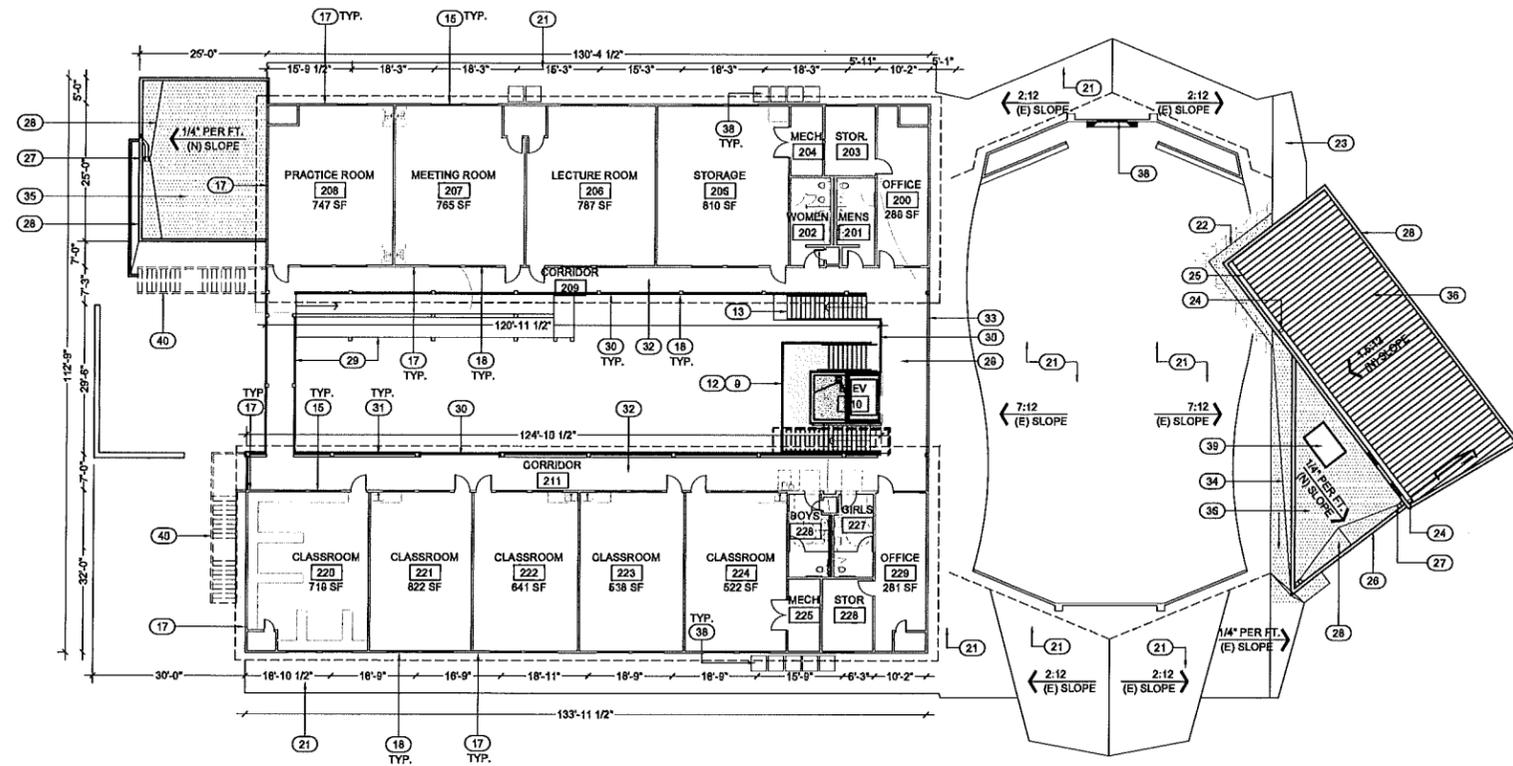
Architect
 Consultant

**HOLY KOREAN MARTYRS
 CATHOLIC CHURCH
 1523 MCLAUGHLIN AVENUE
 SAN JOSE, CA 95122**

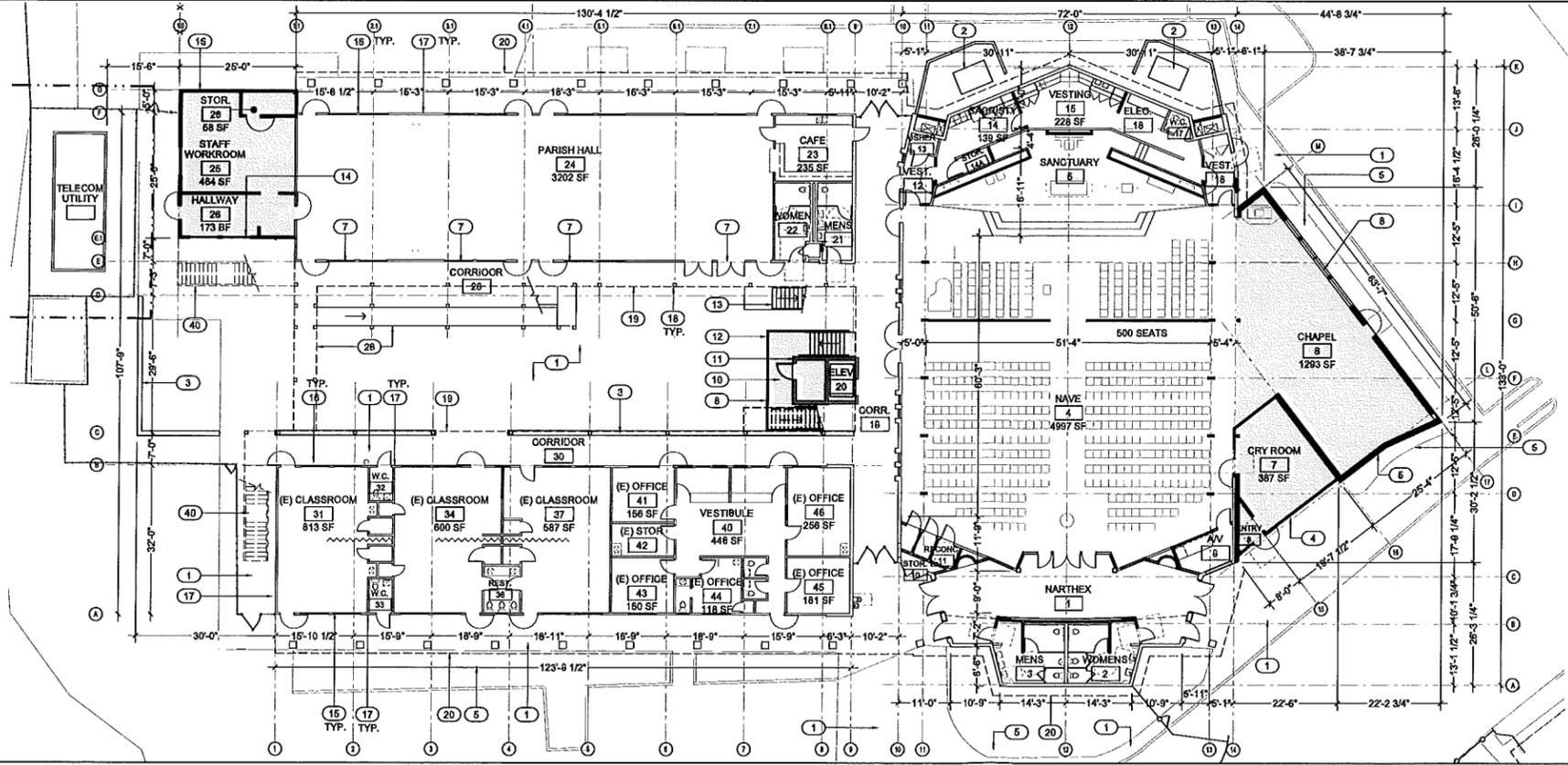
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 PLANNING RESUBMITTAL 01.07.2013
 COMMUNITY MEETING 01.03.2013
 PLANNING SUBMITTAL 11.02.2012
 Project No: 12012
 Sheet Title:
GRADING & DRAINAGE PLAN

Scale: 1/16" = 1'-0"
 Sheet No:

A1.2
 of # sheets



PROPOSED SECOND FLOOR PLAN SCALE 1/16" = 1'-0" 2



PROPOSED GROUND FLOOR PLAN SCALE 1/16" = 1'-0" 1

SHEET NOTES

1. PLANS BASED ON REFERENCE DRAWINGS PREPARED BY:
 NORMAN BURDICK AIA & ASSOCIATES
 1060 N. 4TH ST
 SAN JOSE, CA 95112
 DATE: 08/20/76

LEGEND

- (E) WALL TO REMAIN
- (N) WALL
- ADDITIONAL BUILDING AREA
- (N) CONCRETE FLOOR
- (N) 2-PLY ROOFING MEMBRANE

KEY NOTES

1. BROOM FINISH CONCRETE PAVEMENT WITH 1/2" WIDE CONTROL AND EXPANSION JOINT PATTERNS
2. HVAC UNIT, GROUND MOUNTED ON 5" HIGH REINFORCED CONCRETE PAD WITH 5'-0" HIGH CEMENT PLASTERED STUCCO FINISH ENCLOSURE WALL
3. 14'-6" HIGH COURTYARD WALL ENCLOSURE SCREEN IN CEMENT PLASTERED FINISH WITH 1" WIDE REVEALS OVER 2X WOOD FRAMING
4. STOREFRONT ALUMINUM WINDOW WITH FIXED CLEAR TEMPERED GLAZING
5. LANDSCAPE STRIP, SEE SITE PLAN
6. CEMENT PLASTERED STUCCO FINISH WALL
7. SLIDING WOOD DOOR WITH TEMPERED GLAZING
8. FIXED TEMPERED GLAZING SET ON ALUMINUM FRAMING
9. REPLACE (E) STAIR IN NEW CONFIGURATION. CONCRETE STAIRS ON STEEL DECKING WITH 2" WIDE DETECTABLE WARNING STRIPS AT STAIR NOSING, TYP.
10. CONCRETE STAIR LANDING, BROOM FINISH
11. CEMENT PLASTERED STUCCO FINISH ELEVATOR & MACHINE ROOM WALLS
12. PAINTED GALVANIZED STEEL GUARDRAIL WITH 1-1/2" DIAMETER PAINTED GALVANIZED STEEL HANDRAILS
13. (E) STAIR, FUTURE DEMOLITION
14. PASS-THROUGH WINDOW WITH STAINLESS STEEL ACCESSIBLE SERVING COUNTER & MANUALLY OPERATED ROLL-UP SHUTTER
15. CEMENT PLASTERED STUCCO FINISH EXTERIOR WALLS
16. (E) OPERABLE WINDOW WITH WOOD TRIM ALL AROUND, PAINTED, TYPICAL
17. (E) VERTICAL WOOD SIDING TO REMAIN, PAINTED
18. WOOD POSTS, PAINTED, TYPICAL
19. LINE OF BALCONY ABOVE
20. ROOF LINE ABOVE
21. (E) ROOFING TO REMAIN
22. ROOF PATCH TO MATCH (E)
23. (E) 1/2" PER FOOT SLOPE ROOFING TO REMAIN
24. 3" DIAMETER DOWNSPOUT
25. 5" WIDE PRE-MANUFACTURED METAL GUTTER, PRE-PAINTED
26. GALVANIZED SHEET METAL COPING, PAINTED
27. ROOF AND OVERFLOW DRAIN COMBO
28. CRICKET WITH MINIMUM 1/4" PER FOOT SLOPE TOWARDS THE ROOF DRAIN
29. (E) ACCESS RAMP & PEDESTRIAN GUARD, FUTURE DEMOLITION
30. 42" HIGH GALVANIZED STEEL GUARDRAIL, PICKET-STYLE DESIGN, PAINTED, TYPICAL
31. TOP OF CEMENT PLASTERED SCREEN WALL AT 46" ABOVE FINISH FLOOR
32. (E) BALCONY FLOOR TO REMAIN
33. 42" HIGH PONY WALL IN CEMENT PLASTERED STUCCO FINISH OVER 2X FRAMING
34. 2-PLY BITUMINOUS ROOFING MEMBRANE OVER (E) ROOF FRAMING, PROVIDE 1/2" PER FT. CRICKET FOR POSITIVE DRAINAGE
35. 2-PLY BITUMINOUS ROOFING MEMBRANE OVER (N) ROOF FRAMING
36. STANDING SEAM METAL ROOFING, PRE-PAINTED
37. (E) ROOF MOUNTED CONDENSING UNITS TO REMAIN
38. 5'-0" DIA. STAINED GLASS ROSE WINDOW
39. ROOF MOUNTED HVAC UNIT
40. FUTURE STAIR



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Architect
 Consultant

**HOLY KOREAN MARTYRS
 CATHOLIC CHURCH**
 1523 MCLAUGHLIN AVENUE
 SAN JOSE, CA 95122

Issued:	Date:
PLANNING RESUBMITTAL	02.01.2013
PLANNING RESUBMITTAL	01.07.2013
COMMUNITY MEETING	01.03.2013
PLANNING SUBMITTAL	11.02.2012

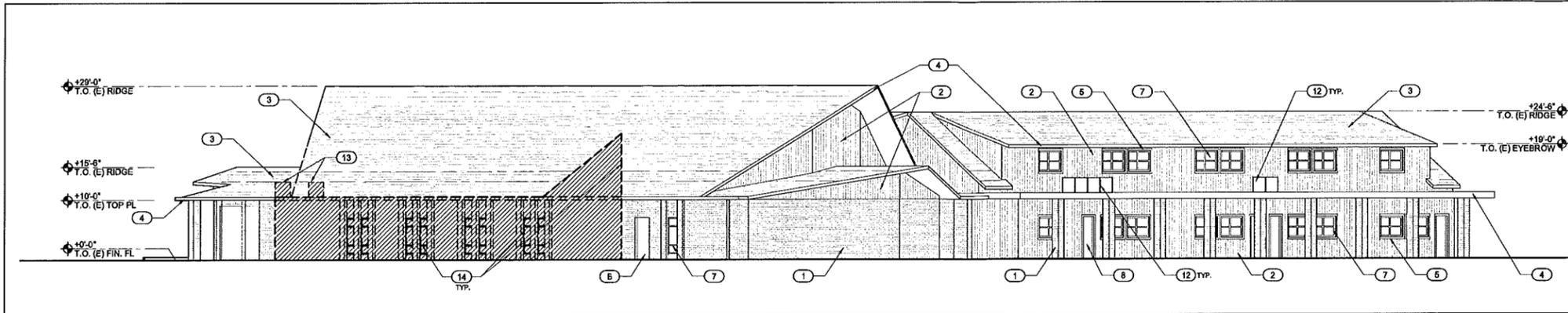
Project No: 12012
 Sheet Title:
FLOOR PLAN

AS SHOWN

Scale:
 Sheet No:

A2.1

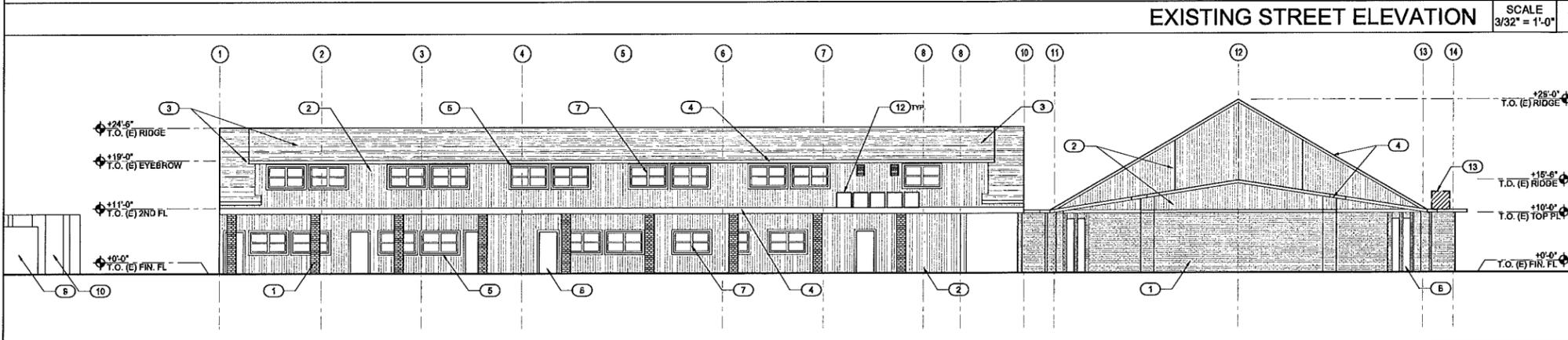
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EXISTING STREET ELEVATION

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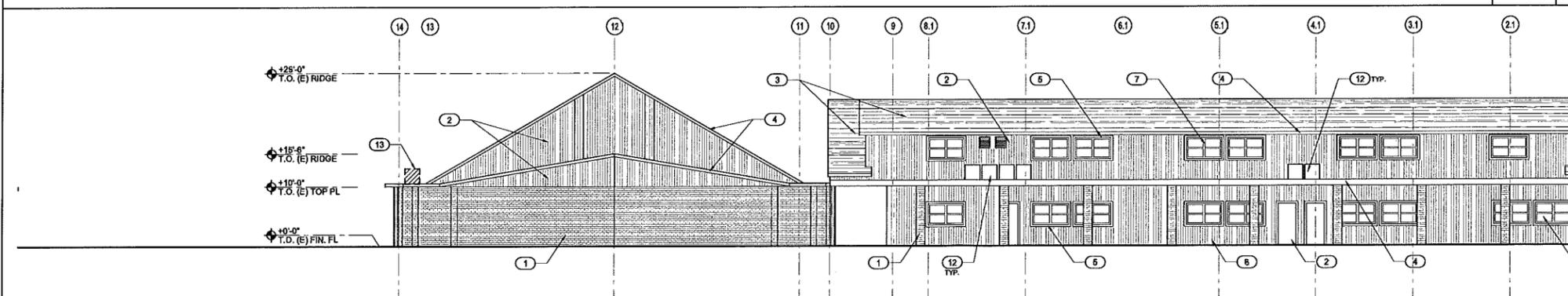
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EXISTING SOUTH ELEVATION

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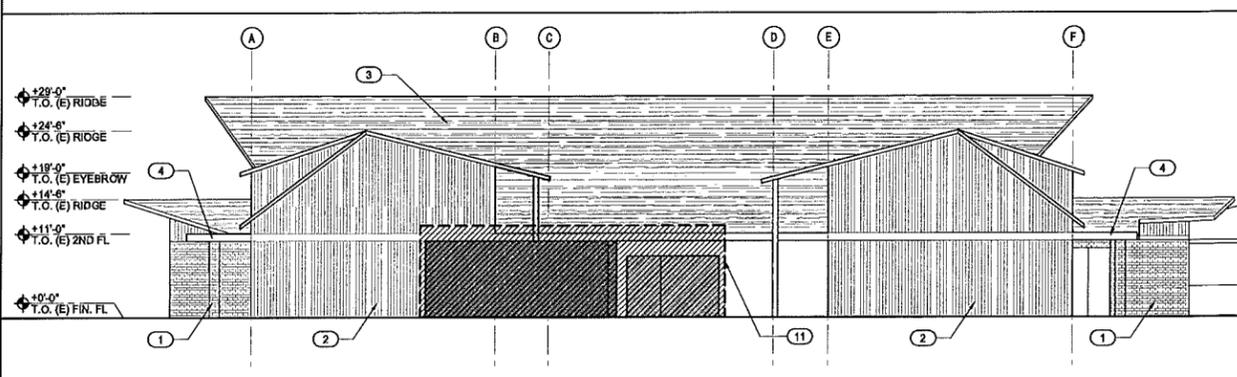
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EXISTING NORTH ELEVATION

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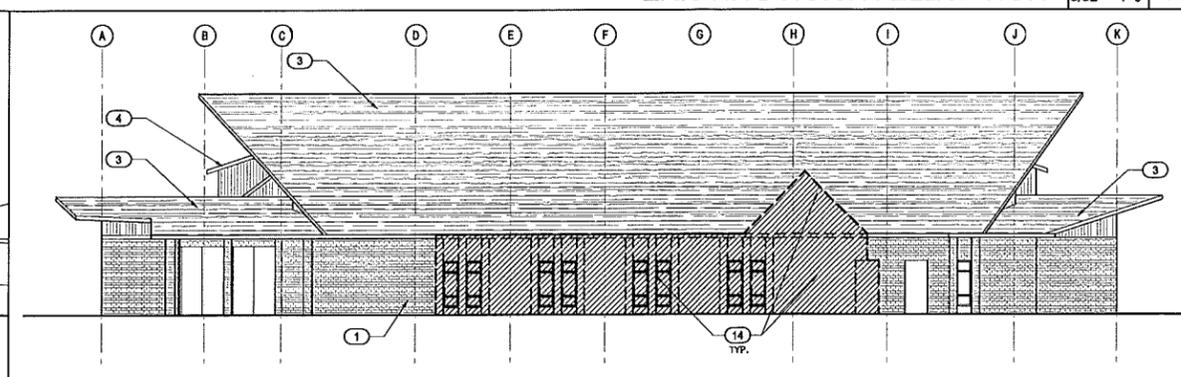
3



EXISTING WEST ELEVATION

SCALE 3/32" = 1'-0"

5



EXISTING EAST ELEVATION

SCALE 3/32" = 1'-0"

4

LEGEND

- (E) BUILDING TO BE DEMOLISHED

KEY NOTES

- 1 (E) BRICK VENEER, PAINTED
- 2 (E) VERTICAL WOOD SIDING, PAINTED
- 3 (E) ASPHALT SHINGLE ROOFING
- 4 (E) WOOD FASCIA, PAINTED
- 5 (E) WOOD TRIM, PAINTED
- 6 (E) DOOR, PAINTED
- 7 (E) ALUMINUM WINDOW
- 8 (E) ALUMINUM STODREFRONT DDORS
- 9 (E) TRANSFORMER CAGE
- 10 (E) PORTABLE BUILDING
- 11 (E) PORTABLE BUILDING TO BE RELOCATED
- 12 (E) ROOFTOP MECHANICAL UNIT
- 13 (E) ROOFTOP MECHANICAL UNIT TO BE RELOCATED
- 14 (E) WALL AND (E) ROOF TO BE DEMOLISHED



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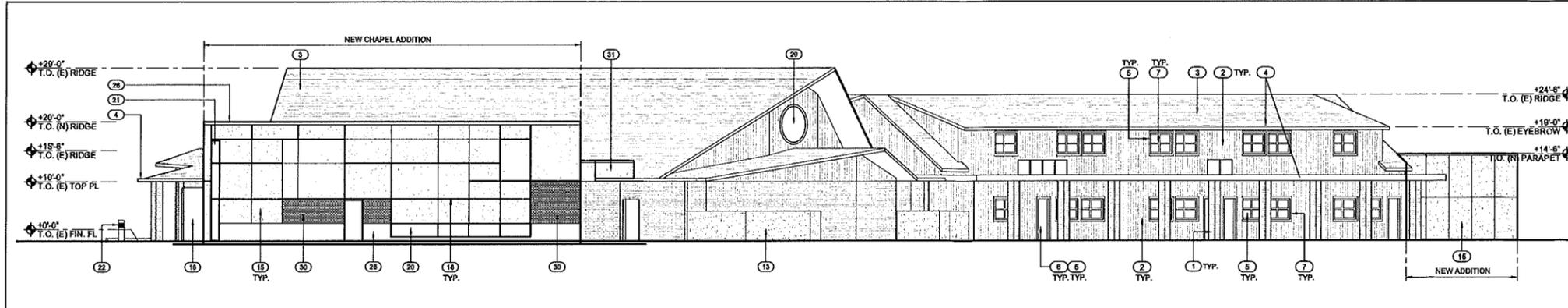
Consultant

HOLY KOREAN MARTYRS
CATHOLIC CHURCH
1523 MCLAUGHLIN AVENUE
SAN JOSE, CA 95122

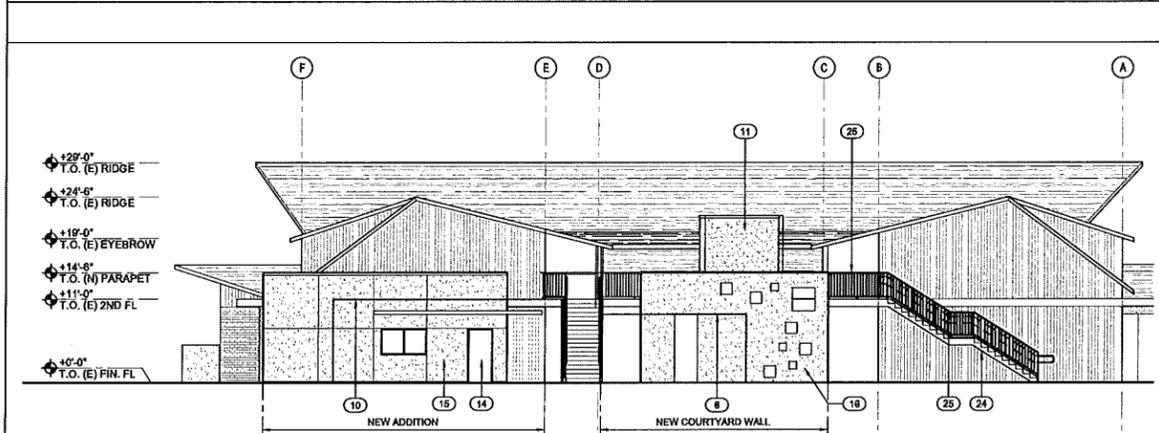
Issued:	Date:
PLANNING RESUBMITTAL	02.01.2013
PLANNING RESUBMITTAL	01.07.2013
COMMUNITY MEETING	01.03.2013
PLANNING SUBMITTAL	11.02.2012
Project No:	12012
Sheet Title:	EXISTING ELEVATIONS
	AS SHOWN
Scale:	
Sheet No:	

A3.1

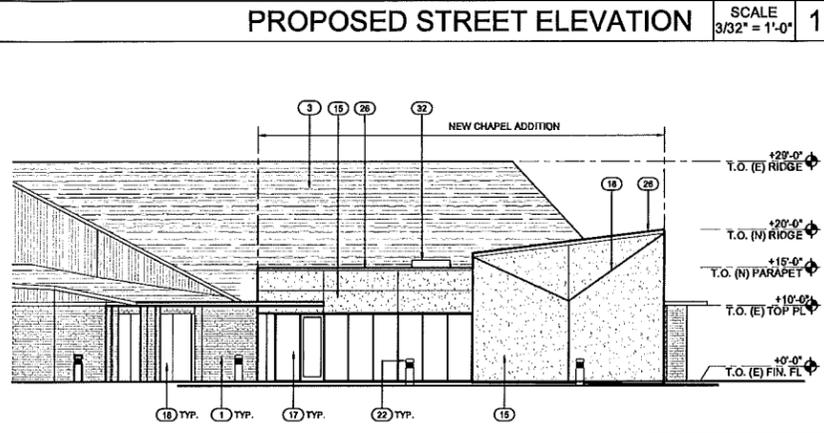
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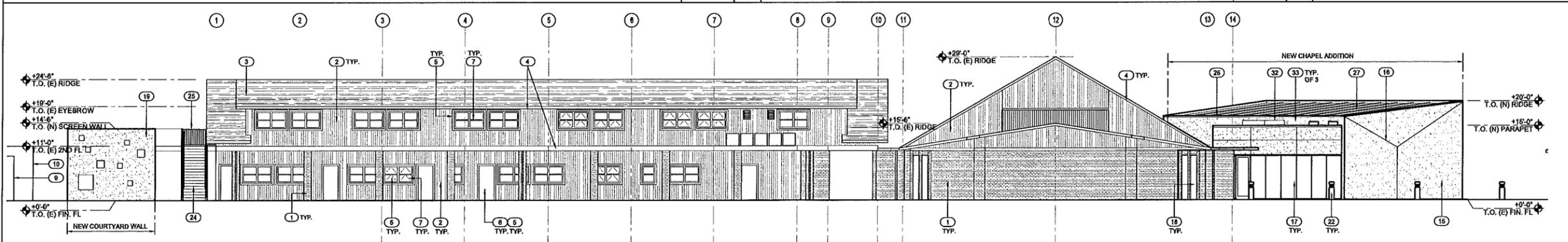
PROPOSED STREET ELEVATION SCALE 3/32" = 1'-0" 1



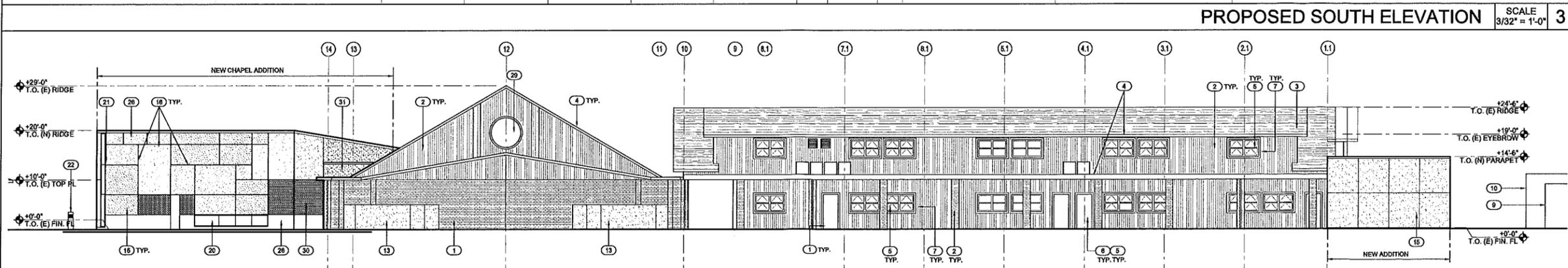
PROPOSED WEST ELEVATION SCALE 3/32" = 1'-0" 5



PROPOSED ENTRY PLAZA ELEVATION SCALE 3/32" = 1'-0" 2



PROPOSED SOUTH ELEVATION SCALE 3/32" = 1'-0" 3



PROPOSED NORTH ELEVATION SCALE 3/32" = 1'-0" 4

- ### KEY NOTES
- 1 (E) BRICK VENEER, PAINTED
 - 2 (E) VERTICAL WOOD SIDING, PAINTED
 - 3 (E) ASPHALT SHINGLE TO REMAIN
 - 4 (E) WOOD FASCIA, PAINTED
 - 5 (E) WOOD TRIM, PAINTED
 - 6 (E) WOOD DOOR, PAINTED
 - 7 (E) OPERABLE ALUMINUM WINDOW
 - 8 (E) ALUMINUM STOREFRONT DOORS
 - 9 OUTLINE OF (E) TRANSFORMER CAGE TO REMAIN
 - 10 OUTLINE OF (E) PORTABLE BLDG TO REMAIN, PAINT ALL (E) SURFACES INCL. WALLS, DOORS, TRIMS, FASCIA, GUTTERS, ETC
 - 11 CEMENT PLASTERED STUCCO FINISH ELEVATOR WALL
 - 12 (E) ROOFTOP MECHANICAL UNIT
 - 13 HVAC UNIT, GROUND MOUNTED DN 8" HIGH REINFORCED CONCRETE PAD WITH CEMENT PLASTERED STUCCO FINISH ENCLASURE WALL
 - 14 DODR & TRIM, PAINTED TO MATCH (E)
 - 15 CEMENT PLASTERED STUCCO FINISH
 - 16 ALUMINUM CHANNEL SCREED 1-1/2" WIDE X 1" DEEP BY FRY REGLET OR EQUAL
 - 17 ALUMINUM STOREFRONT WINDOW WITH FIXED CLEAR TEMPERED GLAZING
 - 18 8'-0" X 9'-0" SOLID WOOD DOUBLE DOORS WITH ANTIQUE BRASS FINISH HARDWARE
 - 19 CEMENT PLASTERED STUCCO FINISH COURTYARD ENCLOSURE SCREEN WALL
 - 20 FIXED TEMPERED GLASS WINDOW SET ON ALUMINUM FRAME
 - 21 STAINED GLASS FIXED WINDOW SET ON ALUMINUM FRAME
 - 22 6'0" X 4'0" HIGH LED ROLLARD LIGHTING BY BEGA OR EQUAL
 - 23 REDWOOD VERTICAL SIDING TO MATCH (E)
 - 24 EXTERIOR CONCRETE STAIRS ON STEEL DECKING
 - 25 PAINTED GALVANIZED STEEL GUARDRAIL WITH 1-1/2" DIAMETER PAINTED GALVANIZED STEEL HANDRAILS
 - 26 PAINTED GALVANIZED SHEET METAL FLASHING CAP TYPICAL OVER PARAPET WALL
 - 27 STANDING SEAM METAL ROOFING, PRE-PAINTED
 - 28 3'-0" HIGH EXPOSED CONCRETE CURB
 - 29 6'-0" DIA. STAINED GLASS ROSE WINDOW
 - 30 ADHERED BRICK VENEER, MATCH (E) COLOR & PATTERN
 - 31 ROOF DUCT CHASE WITH CEMENT PLASTERED STUCCO FINISH
 - 32 ROOF MOUNTED HVAC UNIT BEHIND PARAPET WALL
 - 33 CLERESTORY WINDOWS BEHIND PARAPET WALL



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Architect

Consultant

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 1523 MCLAUGHLIN AVENUE
 SAN JOSE, CA 95122

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COMMUNITY MEETING	01.03.2013
PLANNING SUBMITTAL	11.02.2012
Project No:	12012
Sheet Title:	PROPOSED ELEVATIONS
AS SHOWN	

Scale:
 Sheet No:
A3.2
 of # sheets



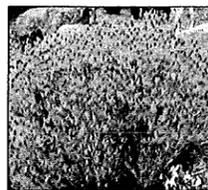
A. CEDRUS DOEDARA
(DEODAR CEDAR)



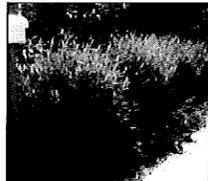
B. ULMUS PARVIFOLIA
(CHINESE ELM)



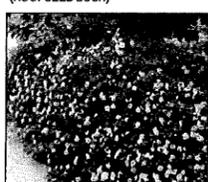
C. CORNUS KOUSA
(KOREAN DOGWOOD)



LAVANDULA SPECIES
(LAVENDER)



DODONAEA VISCOSA
(HOOPSEED BUSH)



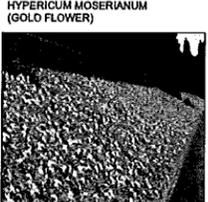
LIGUSTRUM JAPONICUM 'TEXANUM'
(WAX-LEAF PRIVET)



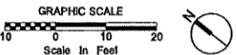
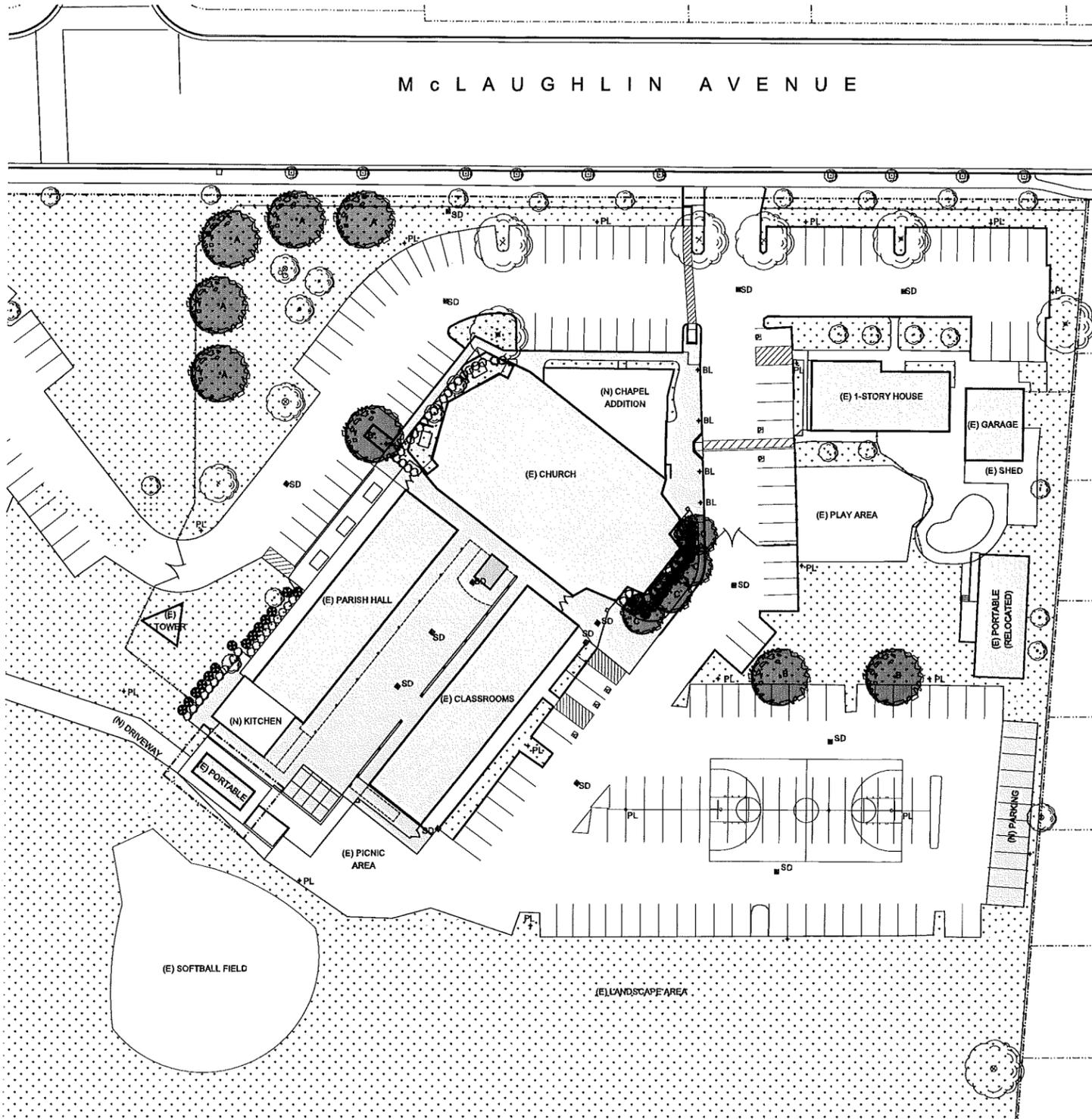
LANTANA MONTEVIDENSIS
(LANTANA)



HYPERICUM MOSERIANUM
(GOLD FLOWER)



HYPERICUM CALYCNUM
(ST. JOHNS WORT)



SHEET NOTES

1. PLANS BASED ON TOPOGRAPHIC AND BOUNDARY SURVEY
PREPARED BY:
MH ENGINEERING
16075 VINEYARD BOULEVARD
MORGAN HILL, CALIFORNIA 95037
(408) 779-7381
2. IMPROVEMENTS ALDNG RIGHT OF WAY TO MEET
SAN JOSE CITY REQUIREMENTS

LEGEND

LANDSCAPE SPECIES: (FOR REFERENCE ONLY - DEFERRED APPROVAL)

TAG	BOTANICAL (COMMON NAME)	QTY.
TREES - 15 GAL. SIZE:		
A	CEDRUS DOEDARA (DEODAR CEDAR)	5
B	ULMUS PARVIFOLIA (CHINESE ELM)	3
C	CORNUS KOUSA (KOREAN DOGWOOD)	4
SHRUBS - 5 GAL. SIZE:		
	HYPERICUM MOSERIANUM (GOLD FLOWER)	
	LAVANDULA SPECIES (LAVENDER)	
	DODONAEA VISCOSA (HOOPSEED BUSH)	
	LIGUSTRUM JAPONICUM 'TEXANUM' (WAX-LEAF PRIVET)	
GROUND COVER - 5 GAL. SIZE:		
	LANTANA MONTEVIDENSIS (LANTANA)	
	HYPERICUM CALYCNUM (ST. JOHNS WORT)	
GRASS:		
	FESTUCA RUBRA (MOLATE BLUE)	
	(E) TURF AREA	
	(E) TREE	
	(N) LANDSCAPE / HARDSCAPE AREA	
PL	(N) POLE LIGHTING	
BL	(N) BOLLARD LIGHTING	
SD	(E) STORM DRAIN	

KEY NOTES

Issued:	Date:
PLANNING RESUBMITTAL	02.01.2013
PLANNING RESUBMITTAL	01.07.2013
COMMUNITY MEETING	01.03.2013
PLANNING SUBMITTAL	11.02.2012
Project No:	12012
Sheet Title:	

LANDSCAPE PLAN

Scale: 1/16" = 1'-0"
Sheet No:

L1.1

sheets



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Architect

Consultant

**HOLY KOREAN MARTYRS
CATHOLIC CHURCH**
1523 MCLAUGHLIN AVENUE
SAN JOSE, CA 95122

Project Information

Title Company: First American Title Insurance Company, National Commercial Services
 Preliminary Report Date: May 11, 2012
 Property: 1623 McLaughlin Ave., San Jose, CA
 Title Officer: Mike D. Hickey
 Order Number: NCS-544728-SC
 Title Vested In: San Jose Christian Community Church, a California Corporation.

LEGAL DESCRIPTION

Real property in the City of San Jose, County of Santa Clara, State of California, described as follows: Lot 1, Tract No. 8453, filed October 02, 1992 in Book 841 of Maps, at Pages 10 and 11, Santa Clara County Records.
 EXCEPTING THEREFROM the underground water rights with no right of surface entry, as conveyed to the San Jose Water Company, A California Corporation, instrument recorded February 02, 1993 in Book M612 at Page 0373 of Official Records, Santa Clara County.
 APN: 477-46-054

Exceptions and Exclusions

At the date hereof exceptions to coverage in addition to the printed Exceptions and Exclusions in said policy form would be as follows:

- General and special taxes and assessments for the fiscal year 2012-2013, a lien not yet due or payable.
- General and special taxes and assessments for the fiscal year 2011-2012. First installment: \$2,872.00, DELINQUENT Penalty: \$287.20 Second installment: \$2,872.00, DELINQUENT Penalty: \$287.20 Tax Rate Area: 17-172 A. P. No.: 477-46-054.
- The lien of defaulted taxes for the fiscal year 2009-2010, and any subsequent delinquencies. Tax Rate Area: 17-172 A. P. No.: 477-46-054 Amount to redeem: \$16,676.62 Valid through: June 30, 2012.
- The lien of supplemental taxes, if any, assessed pursuant to Chapter 3.5 commencing with Section 76 of the California Revenue and Taxation Code.
- An easement for pole line, ingress and egress and incidental purposes, recorded August 06, 1924 as Book 85, Page 468 of Official Records. In Favor of Pacific Gas and Electric Company Affects: As described therein (location cannot be determined from the record document)
- TERMS AND CONDITIONS of that certain Permit File No.: PD 75-7-28 Disclosed By: Notice of granting of a PD Permit Recorded: July 16, 1978 as Document No. 5339756 in Book C148, Page 580, Official Records Reference is hereby made to the record for particulars.
- TERMS AND CONDITIONS of that certain Permit File No.: CP 91-12-058 Disclosed By: Notice of Granting of a Conditional Use Permit Recorded: July 09, 1992 as Document No. 11443545 in Book M125, Page 1678, Official Records Reference is hereby made to the record for particulars.
- A Deed of Trust to secure an original indebtedness of \$350,000.00 recorded April 24, 2001 as Instrument No. 15648213 of Official Records. Dated: April 20, 2001 Trustor: San Jose Christian Community Church, a California corporation Trustee: TD Service Company Beneficiary: Evangelical Christian Credit Union
 A document entitled "Assignment of Rents" recorded April 24, 2001 as Instrument No. 15648214 of Official Records, as additional security for the payment of the indebtedness secured by the deed of trust.
- The fact that the land lies within the boundaries of the Strong Neighborhoods Initiative Redevelopment Project Area, as disclosed by the document recorded August 01, 2002 as Instrument No. 16367034 of Official Records.
- Terms and provisions of an unrecorded lease dated February 27, 2003, by and between San Jose Christian Community Church, a California nonprofit 501(c)3 corporation as lessor and GTE Mobilnet of California Limited Partnership, dba Verizon Wireless as lessee, as disclosed by a Memorandum of Option and Lease Agreement recorded May 23, 2003 as Instrument No. 17062361 of Official Records.
 Defects, liens, encumbrances or other matters affecting the leasehold estate, whether or not shown by the public records are not shown herein.
- TERMS AND CONDITIONS of that certain Permit File No.: CP03-022 Disclosed By: Notice of Granting of a Certificate of Permit Recorded: August 12, 2003 as Document No. 17265357, Official Records Reference is hereby made to the record for particulars.
- TERMS AND CONDITIONS of that certain Permit File No.: CPA03-022-01 Disclosed By: Notice of Granting of a Certificate of Permit Recorded: March 17, 2004 as Document No. 17666003, Official Records Reference is hereby made to the record for particulars.
- Terms and provisions of an unrecorded lease dated December 18, 2005, by and between San Jose Christian Community Church, a California nonprofit 501(c)3 corporation as lessor and Omnipoint Communications, Inc. as lessee, as disclosed by a Memorandum of Lease recorded August 29, 2006 as Instrument No. 19084125 of Official Records.
 Defects, liens, encumbrances or other matters affecting the leasehold estate, whether or not shown by the public records are not shown herein.
- Rights of parties in possession.

Basis of Bearings

The bearings shown on this map are based on the centerline of Clemence Ave. as found monumented and recorded as North 32° 52' 51" West, on that map thereon recorded in Book 641 of Maps at Pages 10-11, Santa Clara County Records

Legend

- Project Property Line
- Property Line
- Centerline
- Easement Line
- Fence Line
- (SD) Storm Drain Line
- (SS) Sanitary Sewer Line
- (W) Water Line
- (G) Gas Line
- (E) Overhead Electrical Line



Vicinity Map

ALTA/ACSM Land Title Survey

The Roman Catholic Bishop of San Jose

City of San Jose, County of Santa Clara, State of California

as described in the commitment for title insurance prepared by:
First American Title Insurance Company National Commercial Services
Order Number: NCS 544728-SC
Date of ALTA/ACSM: June 12, 2012

Professional Land Surveyor's Statement

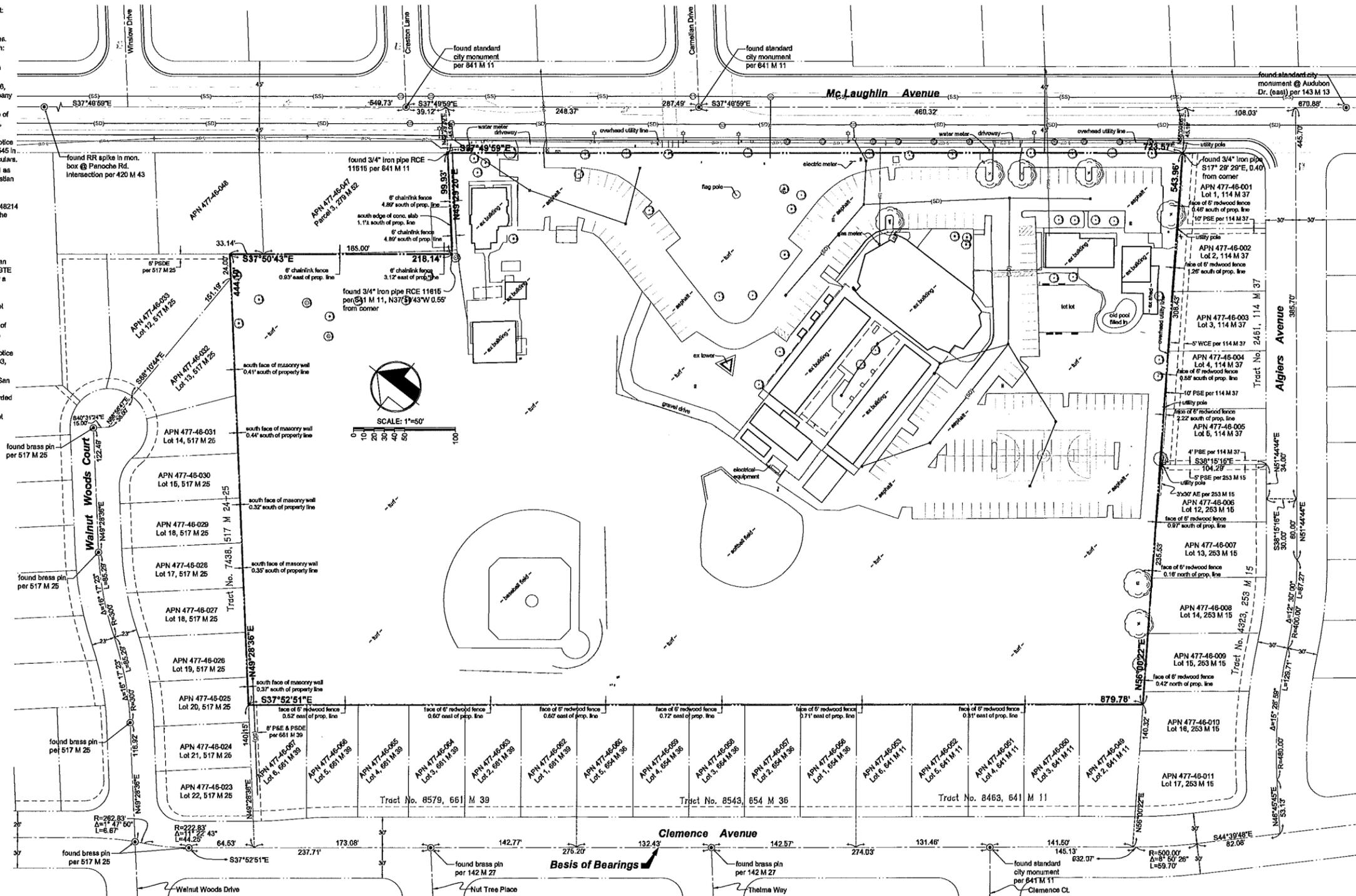
To: Diocese of San Jose and First American Title Insurance Company National Commercial Services

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes no items of Table A thereof. The field work was completed on June 12, 2012.

Allen T. Andrade _____ Date _____
 LS 7741
 Exp. 12/31/2013



REFERENCE ONLY



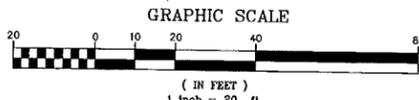
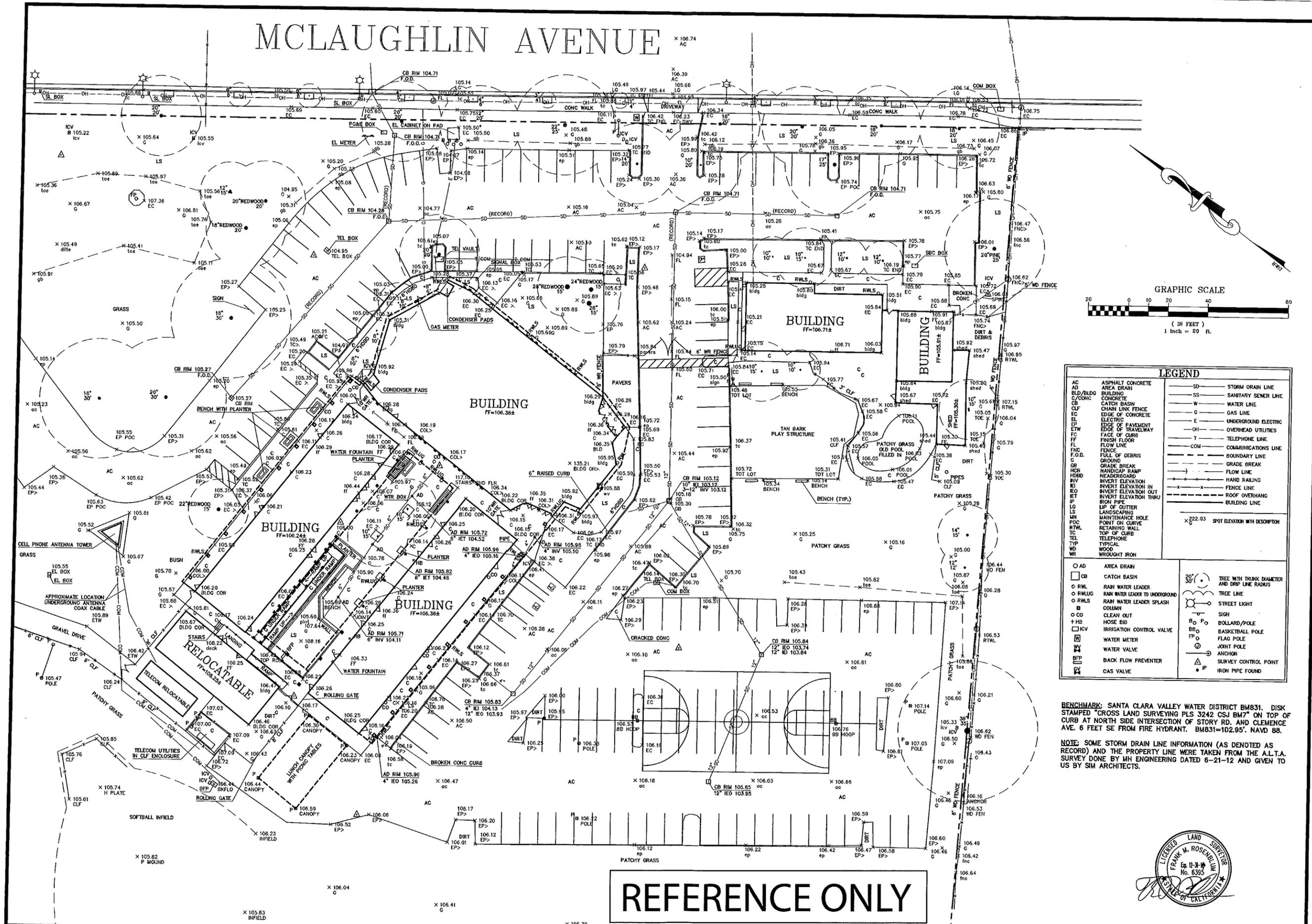
MH engineering Co.
 16075 Vineyard Boulevard
 Morgan Hill, CA 95037
 (408) 779-7381

ALTA/ACSM Land Title Survey
 for the Roman Catholic Bishop of San Jose
 City of San Jose, County of Santa Clara, State of California

No.	Revisions

T1

MCLAUGHLIN AVENUE



LEGEND	
AC	ASPHALT CONCRETE
AD	AREA DRAIN
BLD/BLDG	BUILDING
C/CONC	CONCRETE
CB	CATCH BASIN
CLF	CHAIN LINK FENCE
EC	EDGE OF CONCRETE
EL	ELECTRIC
ETW	EDGE OF TRAVELWAY
FC	FACE OF CURB
FF	FINISH FLOOR
FL	FLOW LINE
FNC	FENCE
F.O.D.	FULL OF DEBRIS
G	GROUND
HCR	GRADE BREAK
HDBD	HANDICAP RAMP
IB	INVERT ELEVATION
IE	INVERT ELEVATION IN
IEO	INVERT ELEVATION OUT
IEI	INVERT ELEVATION THRU
IP	IRON PIPE
LG	LIP OF GUTTER
LS	LANDSCAPING
LN	LANDSCAPING HOLE
POC	POINT ON CURVE
RTWL	RETAINING WALL
TC	TOP OF CURB
TEL	TELEPHONE
TIP	TYPICAL
WD	WOOD
WR	WROUGHT IRON
SD	STORM DRAIN LINE
SS	SANITARY SEWER LINE
W	WATER LINE
G	GAS LINE
E	UNDERGROUND ELECTRIC
OH	OVERHEAD UTILITIES
T	TELEPHONE LINE
COM	COMMUNICATIONS LINE
BL	BOUNDARY LINE
GB	GRADE BREAK
FL	FLOW LINE
HR	HAND RAILING
FL	FENCE LINE
RO	ROOF OVERHANG
BL	BUILDING LINE
222.03	SPOT ELEVATION WITH DESCRIPTION
20" 30"	TREE WITH TRUNK DIAMETER AND DRIP LINE RADII
TL	TREE LINE
SL	STREET LIGHT
S	SIGN
B/P	BOLLARD/POLE
BB	BASKETBALL POLE
FP	FLAG POLE
J/P	JOINT POLE
A	ANCHOR
SC	SURVEY CONTROL POINT
IP	IRON PIPE FOUND

BENCHMARK: SANTA CLARA VALLEY WATER DISTRICT BM831. DISK STAMPED "CROSS LAND SURVEYING PLS 3242 CSJ BM7" ON TOP OF CURB AT NORTH SIDE INTERSECTION OF STORY RD. AND CLEMENCE AVE. 6 FEET SE FROM FIRE HYDRANT. BM831=102.95'. NAVD 88.

NOTE: SOME STORM DRAIN LINE INFORMATION (AS DENOTED AS RECORD) AND THE PROPERTY LINE WERE TAKEN FROM THE A.L.T.A. SURVEY DONE BY MH ENGINEERING DATED 6-21-12 AND GIVEN TO US BY SH ARCHITECTS.

REFERENCE ONLY



DATE	
REVISIONS	
DESC.	

UNDERWOOD & ROSENBLUM, INC.
civil engineers and surveyors
1500 Underwood Road, Suite 111, San Jose, CA 95131
Tel. No. (408) 433-1222 Fax No. (408) 433-7070

HOLY KOREAN MARTYRS CATHOLIC CHURCH
1523 MCLAUGHLIN AVENUE
SAN JOSE, CALIFORNIA

TOPOGRAPHIC SURVEY

Date 12-7-12
Scale 1"=20'
Drawn: CR
Checked: FR
Job J12085
Sheet
T2