

**REVISED STAFF REPORT**  
**PLANNING COMMISSION**

**FILE NO.:** CP12-045

**Submitted:** November 7, 2012

**PROJECT DESCRIPTION:**

Conditional Use Permit to demo an existing building and construct a new 7,660 square feet full-service restaurant, The Olive Garden, in the CG Commercial General Zoning District on a 0.58 gross acre site.

Zoning	CG-Commercial General
General Plan	Regional Commercial
Council District	8
Annexation Date	Amos_23 09/01/1972
Historic Resource	NA
Redevelopment Area	NA
Specific Plan	NA

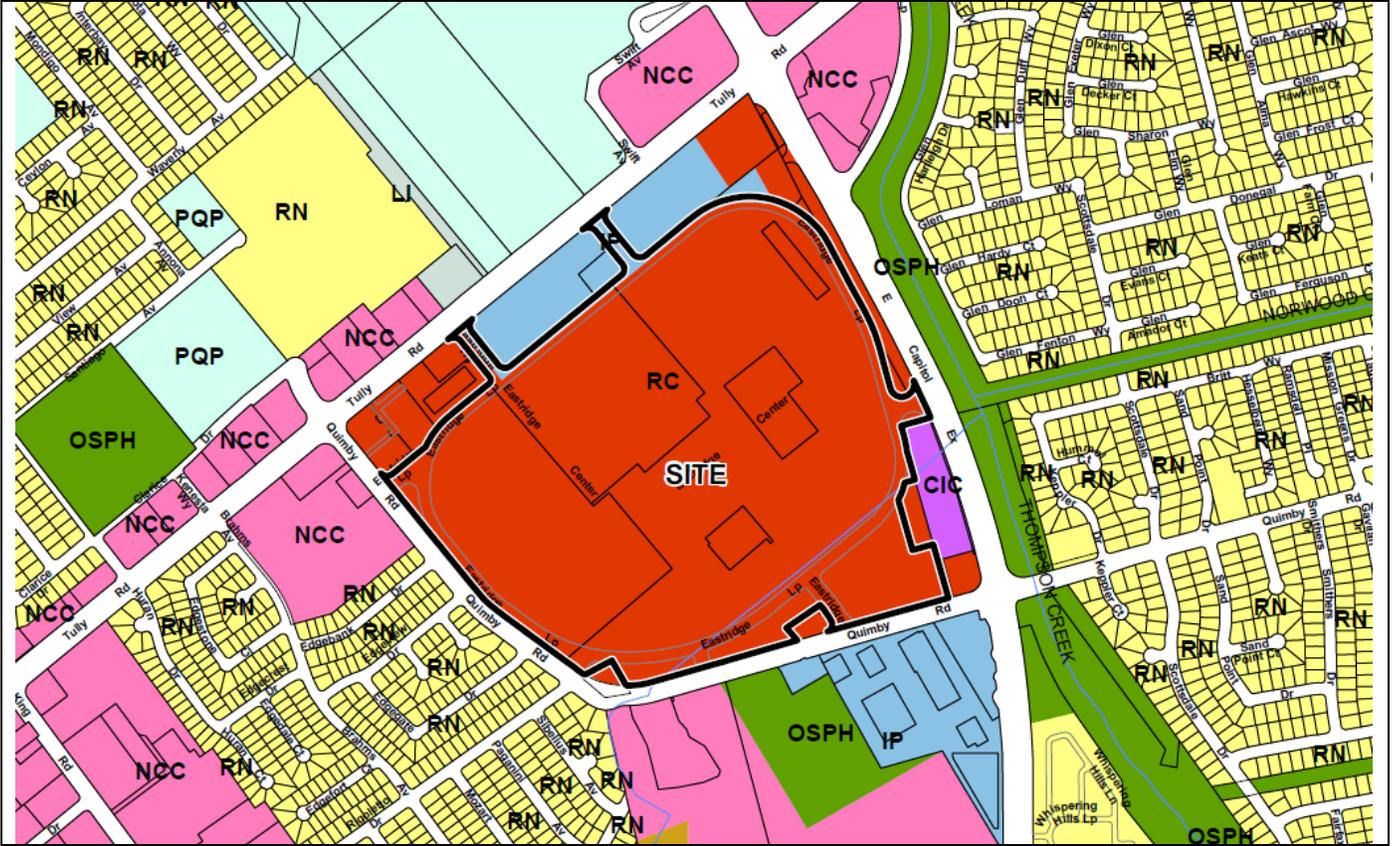
**LOCATION:**

North side of Eastridge Loop, 800 feet westerly of Capitol Expressway (2226 Eastridge Loop).

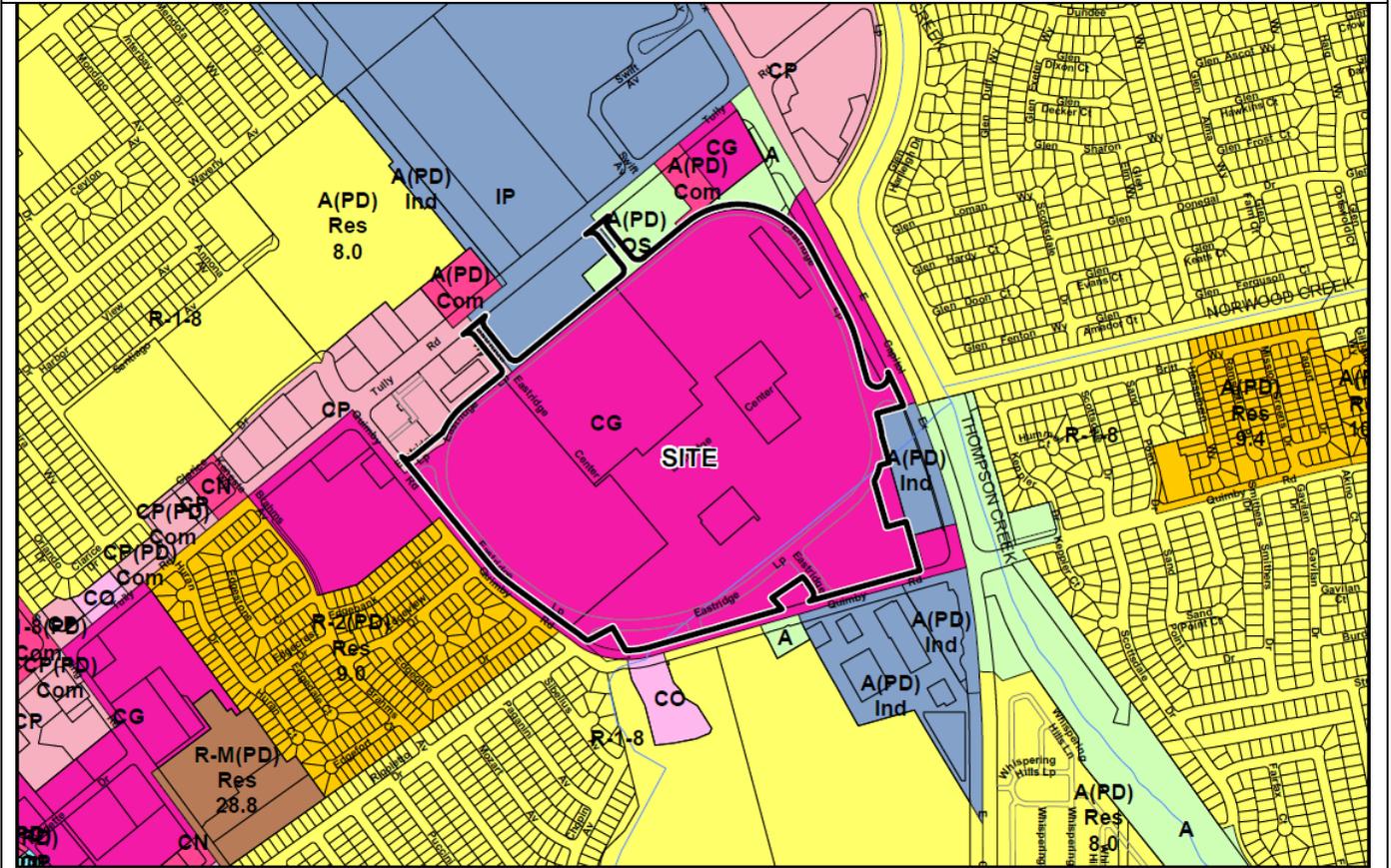
**Aerial Map**



### GENERAL PLAN



### ZONING



## **RECOMMENDATION**

Planning staff recommends that the Planning Commission find the project is in conformance with the California Environmental Quality Act (CEQA) and approve the proposed Conditional Use Permit as conditioned by staff for the following reasons:

1. The project conforms to the General Plan Land Use/Transportation Diagram designation of Regional Commercial. This General Plan designation is reserved for commercial areas that attract customers from a regional area and play an important fiscal and economic role for the City. Therefore, by providing a commercial use, the proposed project promotes the increased commercial activity envisioned by the Regional Commercial designation.
2. The location will not adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area and will not impair the utility or value of the property of other persons located within the vicinity of the site.
3. The proposed project conforms to the requirements of CEQA.

## **BACKGROUND & DESCRIPTION**

On November 7, 2012, the applicant, Steve Hale, on behalf of The Olive Garden, applied for a Conditional Use Permit to demolish an existing restaurant building and construct a new 7,660 square foot full-service restaurant. The site is approximately .58 gross acres. This tenant space was formally occupied by another full-service restaurant.

The proposed single-tenant restaurant building would provide full-menu service with the incidental sale of alcoholic beverages between the hours of 11:00 am and 11:00 pm. Additionally, the restaurant includes a bar which could cater to customers who may not order a meal. The bar service is a drinking establishment which requires a conditional use permit. No off-sale of alcohol is proposed as part of this project. The proposed building exterior will have a stone veneer façade with brick clinkers spaced throughout. There are architectural features such as wood trellis' and brick headers over windows and doors. The site will be appropriately landscaped with shrubs and trees surrounding the building.

### **Site and Surrounding Uses**

The subject 0.58 gross site is located in the eastern corner of the Eastridge mall site and currently developed with an existing vacant building that was previously a full service restaurant.

The larger Eastridge shopping mall site, which encompasses the project site, is located on the southeast corner of Tully and Quimby Roads. The site is roughly triangular in shape and surrounded to the north, south, and west by parking and a mixture of retail uses associated with the shopping mall. Directly to the east of the project site, across Capitol Expressway, is a single-family residential development.

### **Zoning and Permit History**

Development of the subject site was originally approved under a Conditional Use Permit (CP02-047) which allowed the demolition of a 254,991 square foot building area and the addition of two new pad buildings of equivalent square footage in the same location of the current proposal on the Eastridge Mall site. Through a Conditional Use Permit Amendment (CPA02-047-02), a single pad building was approved. This is the building that is located on the site of the proposed project and is proposed to be demolished.

## **ANALYSIS**

The proposed rezoning was analyzed with respect to: 1) conformance with the Envision San Jose 2040 General Plan, 2) City Council Policy 6-23 for the Evaluation of Nightclubs and Bars, 3) conformance with the Commercial Design Guidelines, 4) Zoning Ordinance 5) Sustainability, 6) Airport Land-Use Commission Conformance, and 7) California Environmental Quality Act (CEQA).

### **San Jose 2040 General Plan Conformance**

The site is designated Regional Commercial on the Envision San José 2040 General Plan Land Use/Transportation Diagram. The intent of the designation is to support a very broad range of commercial activity primarily located at existing regional malls. This designation supports a wide range of commercial uses which may develop at a wide range of density. The General Plan supports intensification and urbanization of Regional Commercial areas in order to promote increased commercial activity and more walkable, urban environments in Regional Commercial districts.

The proposed use is consistent with the Regional Commercial designation in that commercial uses, such as restaurants, are uses that can serve the population of the communities in the neighborhood, as well as individuals from the larger region drawn to the regional commercial center. By approving new commercial uses, such as the one proposed in this application, the City is promoting the General Plan's major strategy of establishing a Fiscally Strong City:

- Goal FS-4 – Promote Fiscally Beneficial Land Use: Maintain, enhance, and develop our City's employment lands as part of our strategy for Fiscal Sustainability.
- FS-4.4: Identify, designate, and maintain an adequate number of suitable sites for a full range of commercial opportunities, including large-scale commercial centers and neighborhood-scale shopping opportunities, to serve the resident and visitor consumer population fully and increase sales tax revenue in San Jose.

### **City Council Policy 6-23: Guidelines for Evaluation of Nightclubs and Bars**

The City Council Policy on Guidelines for Evaluation of Nightclubs and Bars, is intended to facilitate the evaluation process for individual permit applications by identifying the needed project characteristics that are necessary for approval. The applicable project characteristics required by the policy are inserted in italics below.

1. It is the responsibility of the Chief of Police to evaluate all bar and nightclub proposals to ensure the safety and security of both patrons and citizens. Conditions may be imposed to monitor bars and nightclubs and to discourage nuisance activities. These conditions may include such requirements as interior or exterior security guards, additional lighting, limited occupancy, and modifications or controls or procedures to increase effective law enforcement.

*The Police Department has no comments on this Conditional Use Permit. The Police Department is responsible for monitoring bars and nightclubs and may impose conditions through the subsequent Entertainment Permit to discourage nuisance activities as stated above.*

2. Nightclub and bar operators should provide daily cleaning of the public right-of-way up to 200 feet from the property lines of the site of the facility. This cleaning should occur before 8:00 a.m. each day. Mechanical equipment used for outside maintenance, including blowers and street sweepers, etc., should not be used between 10:00 p.m. and 6:00 a.m. if the clean up occurs within 500 feet of existing residential uses.

*While this project is neither a nightclub nor a stand alone bar the draft resolution, nonetheless, includes a provision for the site and surrounding areas to be maintained free of litter, refuse, and debris.*

3. Amplified sound may be restricted based on potential incompatibility with adjacent uses.

*The proposal does not include the use of amplified sound.*

### **Commercial Design Guidelines**

The Commercial Design Guidelines state that commercial buildings should be located as close to the allowable front setbacks to enhance the streetscape and provide a more active pedestrian environment. This project site is confined to the pad area that was approved in the original CP02-047, which locates the building approximately 80 feet away from Quimby Road. As such, the building is oriented to the driveway entrance into the site from Eastridge Mall. The placement of the pad building will help achieve the intent of the guidelines to break up the otherwise large expanse of parking area. There is a substantial amount of parking available on this site that is more than adequate to handle the needs of the proposed facility and Eastridge Mall.

In order to improve the streetscape, General Growth Properties Incorporated, who is the property owner of the Eastridge Shopping Center, has enhanced the landscaping plan for the planting strip along Quimby Road which will serve to reduce the dominance of the parking lot.

Architectural design details of the proposed building itself includes stone veneer façade with brick clinkers spaced throughout and architectural features such as wood trellis' and brick headers over windows and doors. Although the architectural detailing of the building is distinct from the other buildings surrounding the proposed site, staff recognizes that because the building design must conform to companies architectural standards the applicant has made some compromises with regards to the materials used for the facade.

Staff has reservations about the rear façade of the building. Due to the location of the building, being that it can be viewed from all four sides, particular attention needs to be paid to the rear elevation which faces Eastridge Loop. Although, the applicant has made some additions to the rear façade to activate the elevation, staff thinks there is still room for improvement. This could include the addition of a decorative metal ordimentation on the trash enclosure.

## **Zoning Ordinance**

### Use

The site is located in the CG Commercial General Zoning District. The CG Commercial General District is a district intended to serve the needs of the general population. This district allows for a full range of retail and commercial uses with a local or regional market. A public eating establishment, such as the proposed full service restaurant, is a permitted use in the CG Commercial General Zoning District. However, a Conditional Use Permit is required for a bar in the CG Commercial General Zoning District.

### Parking

The original Conditional Use Permit for the Eastridge Mall renovation, in providing 7,400 parking spaces, took into consideration the existing pad building at the project site in conjunction with the total parking demand for the entire shopping center. The zoning ordinance requires neighborhood shopping centers (shopping centers with 100,000 square feet or greater) to provide 1 parking stall per 225 square feet of net floor area. Applying this calculation to the entire Eastridge Mall site, a minimum of 6,186 parking spaces must be provided to be in conformance to the Zoning Ordinance. The original conditional use permit, which took into consideration the current pad building's square footage, approved a total of 7,400 parking spaces. Since the proposed building will only add an additional 500 square feet of net floor area, the 7,400 parking spaces approved with the original Conditional Use Permit is more than enough for the proposed project.

## **Sustainability**

This project is subject to the City of San Jose Green Building Ordinance for New Construction Private Development. At this time, it is known that the project proposes to implement the following green building measures:

- Water efficient landscaping
- Highly reflective roof materials
- Use of LED light fixtures in place of incandescent
- Reduced food waste by monitoring expiration dates and donating to local food banks when possible
- Plumbing fixtures are water efficient
- Roof top units are energy efficient
- Constant monitoring of utilities to identify future potential energy saving measures

## **Airport Land-Use Commission Conformance**

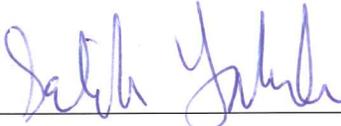
This site is located within the Airport Land-Use Commission (ALUC) identified Inner Safety Zone for the Reid-Hillview Airport. The project was referred to the ALUC at the County of Santa Clara but approval was not required because the project is not a Rezoning or a General Plan Amendment.

**California Environmental Quality Act (CEQA)**

Under the provisions of Section 15302(b) (Replacement or Reconstruction) of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project is found to be exempt from the environmental review requirements of Title 21 of the San José Municipal Code, implementing the California Environmental Quality Act of 1970, as amended. The proposed project involves the replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity.

**PUBLIC OUTREACH/INTEREST**

The property owners and occupants within a 1,000-foot radius were sent public hearing notices for the Planning Commission and City Council hearings. This staff report has been posted on the City's web site. Signage has been posted at the site to inform the public about the proposed change. Staff has been available to discuss the proposal with interested members of the public.

**Project Manager:** Megan Shrubsole **Approved by:**  **Date:** 2/20/2013

<b>Owner/Applicant:</b> Steve Hale The Olive Garden 1048 Peppertree Drive Fairfield, CA 94533	<b>Attachments:</b> Draft Resolution Plan Set
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## **REVISED RESOLUTION NO. 13-**

Resolution of the Planning Commission of the City of San José approving a Conditional Use Permit to allow the development of an approximately 7,660 square-foot full service public eating establishment with a bar on an approximately .58 gross-acre parcel located on the north side of Eastridge Loop approximately 800 feet westerly of Captiol Expressway (2236 Eastridge Loop).

### **FILE NO. CP12-045**

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SAN JOSE:

WHEREAS, pursuant to the provisions of Chapter 20.100 of Title 20 of the San José Municipal Code, on November 7, 2012, application (File Nos. CP12-045) were filed for a Conditional Use Permit for the purpose to allow the development of an approximately 7,660 square-foot full service public eating establishment on that certain real property (hereinafter referred to as “subject property”), situate in the CG Commercial General Zoning District, located on the north side of Eastridge Loop approximately 800 feet westerly of Captiol Expressway (2236 Eastridge Loop) and

WHEREAS, the subject property is all that real property described in Exhibit “A,” which is attached hereto and made a part hereof by this reference as if fully set forth herein; and

WHEREAS, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code, this Planning Commission conducted a hearing on said application, notice of which was duly given; and

WHEREAS, at said hearing, this Planning Commission gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

WHEREAS, at said hearing this Planning Commission received and considered the reports and recommendation of the Director of Planning, Building and Code Enforcement; and

WHEREAS, at said hearing, this Planning Commission received in evidence a plan for the subject property entitled, “The Olive Garden Italian Restaurant, 2236 Eastridge Loop, San José, California,” dated September 14, 2012, and last revised on January 18, 2013. Said plan is on file in the Department of Planning, Building and Code Enforcement and is available for

inspection by anyone interested herein, and said development plan is incorporated herein by this reference, the same as if it were fully set forth herein; and

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SAN JOSÉ:

1. After considering evidence presented at the Public Hearing, the Planning Commission finds that the following are the relevant facts regarding this proposed project:
2. The site is located on the north side of Eastridge Loop, approximately 800 feet westerly of Capitol Expressway (2236 Eastridge Loop).
3. The project site has a General Plan land use designation of Regional Commercial. Commercial uses such as a full service restaurant are consistent with this land use designation.
4. The proposal includes the demolition of an existing restaurant building and construction of a new 7,660 square foot building to be used for a full service restaurant.
5. The proposed restaurant includes a bar which constitutes a drinking establishment as it may cater to customers independent of meal service.
6. The subject site is located within the CG Commercial General Zoning District.
7. The Zoning Ordinance requires a Conditional Use Permit for the on site sale of alcohol at a restaurant which includes a drinking establishment.
8. Under the provisions of Section 15302(b) (Replacement or Reconstruction) of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project is found to be exempt from the environmental review requirements of Title 21 of the San José Municipal Code, implementing the California Environmental Quality Act of 1970, as amended. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
9. The site located in the eastern corner of the Eastridge Mall site.
10. The building will be surrounded by parking.
11. The uses surrounding the site include commercial and retail uses to the north, south, and west, and Capitol Expressway separates residential uses to the east.
12. The proposed project is subject to City Council Policy 6-23: Guidelines for the Evaluation of Nightclubs and Bars.
13. The proposed facility will have a full service menu at all times except that alcohol may be served at the bar without food.
14. The proposed facility does not propose the off-sale of alcohol.
15. The placement of the proposed building helps to anchor the street entrance to the project and helps break up the visual impact of the large continuous parking lot.

This Planning Commission concludes and finds, based upon an analysis of the above facts that:

1. The proposed project conforms to the City's General Plan.

2. The proposed project complies with all applicable provisions of the Zoning Ordinance.
3. The proposed project is in compliance with the California Environmental Quality Act.
4. The proposed project, as conditioned, conforms to Council Policy 6-23: Guidelines for Evaluation of Nightclubs and Bars.

Further, this Planning Commission concludes and finds, based on the analysis of the above facts, that under the provisions of Section 20.80.400(A) of the San José Municipal Code, no demolition permit or removal permit shall be issued unless and until a Development Permit which specifically approves such demolition or removal has been issued and has become effective pursuant to the provisions of Chapter 20.100.

1. This Planning Commission has considered, pursuant to Section 20.80.460, the following criteria in evaluating the proposed demolition:
  - a. The failure to approve the permit would result in the creation of continued existence of a nuisance, blight or dangerous condition.
  - b. The failure to approve the permit would jeopardize public health, safety or welfare.
  - c. The approval of the permit would not negatively impact the supply of existing housing stock in the City of San José.
  - d. Both inventoried and non-inventoried buildings, sites and districts of historical significance will not be negatively impacted.
  - e. Rehabilitation or reuse of the existing building would not be feasible.
  - f. The approval of the demolition of the building should facilitate a project that is compatible with the surrounding neighborhood.
  - g. Further, the Director of Planning concludes and finds, based on the analysis of the above facts, that:
    - h. The proposed project conforms in all respects to the provisions of Title 20 of the San José Municipal Code.
    - i. The proposed project is in conformance with the California Environmental Quality Act.
    - j. The benefits of permitting the demolition, removal or relocation of the subject buildings outweigh the impacts of the demolition, removal or relocation.

Further, this Planning Commission concludes and finds, based on the analysis of the above facts, that:

1. The interrelationship between the orientation, location, and elevations of proposed buildings and structures and other uses on-site are mutually compatible and aesthetically harmonious.
  - a. The proposed building will replace an existing building. The proposed building will be oriented in the same way the current building is, towards the mall. The proposed one story building will have a stone veneer façade and brick clinkers

with trellis features and brick headers.

2. The orientation, location and elevation of the proposed buildings and structures and other uses on the site are compatible with and are aesthetically harmonious with adjacent development or the character of the neighborhood.
  - a. The proposed building is located in the Eastridge Mall parking lot but is isolated from other buildings on the site. The use is compatible with other uses on and around the Eastridge Mall site. The proposed building is a one story building and is consistent with the building that it will replace.
  - b. The proposed building is to be located in a large parking area. This building will break up the parking lot and adds a visual focal point.
  - c. The structure(s) proposed on site are comparable in terms of mass, scale and height with existing adjacent or nearby structures.
  - d. The proposed structure(s) do not unreasonably interfere with the light and air available to adjacent sites.
  - e. The project conforms to the Commercial Design Guidelines.
3. The environmental impacts of the project, including but not limited to noise, vibration, dust, drainage, erosion, storm water runoff, and odor which, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative affect on adjacent property or properties.
  - a. Under the provisions of Section 15302(b) (Replacement or Reconstruction) of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project is found to be exempt from the environmental review requirements of Title 21 of the San José Municipal Code, implementing the California Environmental Quality Act of 1970, as amended. The proposed project involves the replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity.
  - b. The proposed project will not individually or cumulatively have an adverse effect on the wildlife resources, as defined in Section 711.2 of the California Department of Fish and Game Code.
4. Landscaping, irrigation systems, walls and fences, features to conceal outdoor activities, exterior heating, ventilating, plumbing, utility and trash facilities are sufficient to maintain or upgrade the appearance of the neighborhood.
  - a. All of the landscaping, irrigation systems, walls and fences, features to conceal outdoor activities, exterior heating, ventilating, plumbing, utility and trash facilities will be sufficiently hidden from view of the public right of way.
5. Traffic access, pedestrian access and parking are adequate.
  - a. The proposed project is to be located in Eastridge Mall which allows for ample parking for this use.
  - b. The proposed project is replacing an existing building which was the same use.
  - c. The project conforms to the parking requirements set forth in the Zoning Ordinance.

- d. Sidewalks provide good access to the site.
6. The application is consistent with the General Plan's designation of Regional Commercial which supports a wide range of commercial uses.

Finally, based upon the above-stated findings and subject to the conditions set forth below, the Planning Commission finds that:

1. The proposed uses at the location requested will not:
  - a. Adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; or
  - b. Impair the utility or value of property of other persons located in the vicinity of the site; or
  - c. Be detrimental to public health, safety or general welfare; and
2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features in this title, or as otherwise required in order to integrate said use with the uses in the surrounding areas; and
3. The proposed site is adequately served:
  - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quality of traffic such use would generate; and
  - b. By other public or private service facilities as are required.

In accordance with the findings set forth above, a Conditional Use Permit to use the subject property for said purposes specified above and subject to each and all of the conditions hereinafter set forth is hereby granted. This Planning Commission expressly declares that it would not have granted this permit except upon and subject to each and all of said conditions, each and all of which conditions shall run with the land and be binding upon the owner and all subsequent owners of the subject property, and all persons who use the subject property for the use conditionally permitted hereby.

## CONDITIONS

This Conditional Use Permit shall have no force or effect and the subject property shall not be used for the hereby permitted uses unless and until all things required by the below-enumerated precedent conditions shall have been performed or caused to be performed and this Resolution has been recorded with the County Recorder.

1. **Acceptance of Permit.** Per Section 20.100.290(B), should the permittee fail to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the permittee shall be deemed to constitute all of the following on behalf of the applicant:
  - a. Acceptance of the Permit by the permittee; and
  - b. Agreement by the permittee to be bound by, to comply with, and to do all things required of or by the permittee pursuant to all of the terms, provisions, and conditions of this permit or other approval and the provisions of Title 20 applicable to such Permit.

2. **Permit Expiration.** This Conditional Use Permit shall automatically expire two years from and after the date of adoption of the Resolution by the Planning Commission, or by the City Council on appeal, granting this Permit, if within such two-year period, the proposed use of this site has not commenced, pursuant to and in accordance with the provisions of this Conditional Use Permit. The date of adoption is the date the Resolution granting this Conditional Use Permit is approved by the Planning Commission. However, the Director of Planning may approve a Permit Adjustment to extend the validity of this Permit pursuant to Title 20 of the San Jose Municipal Code. The Permit Adjustment must be approved prior to the expiration of this Permit.
3. **Permittee Responsibility.** The permittee shall ensure that the use authorized by this Permit is implemented in conformance with all of the provisions of this Permit.
4. **Conformance with Plans.** The use of this property shall conform to approved plans entitled, "The Olive Garden Italian Restaurant, 2226 Eastridge Loop, San Jose, CA" dated September 14, 2012, and last revised on January 18, 2013 on file with the Department of Planning, Building and Code Enforcement, except as noted in condition #6.
5. **Permit Adjustment Required.** Prior to the issuance of a building permit the developer shall secure and agree to implement a permit adjustment to address the following items to the satisfaction of the Director of Planning:
  - a. The project's Stormwater Control Plan and numeric sizing calculations should be provided to the satisfaction of the Director of Public Works.
  - b. Provide a site plan illustrating all site design changes necessary to accommodate the storm water requirements in conformance to City Policy 6-29.
6. **Compliance with Local and State Laws.** The subject use shall be conducted in full compliance with all local and state laws. No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code. The Permit shall be subject to revocation if the subject use is conducted in such a manner as to cause a nuisance, as defined above.
7. **Conformance with Municipal Code.** No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code.

8. **Nuisance.** This use shall be operated in a manner that does not create a public or private nuisance. Nor shall the use adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area or be detrimental to public health, safety or general welfare. Any such nuisance must be abated immediately upon notice by the City.
9. **Anti-Litter.** The site and surrounding area shall be maintained free of litter, refuse, and debris.
10. **Waste Discharge.** The proposed facility shall conform to the City of San José industrial waste discharge regulations. Any non-domestic wastewater discharge into the sanitary sewer system shall require Source Control Staff to review and approve the final plans. Contact Environmental Engineering Staff at (408) 945-3000 with any questions.
11. **Discretionary Review.** The Director of Planning maintains the right of discretionary review of requests to alter or amend structures, conditions or restrictions of this Conditional Use Permit incorporated by reference in this Permit in accordance with the San José Municipal Code.
12. **Anti-Graffiti.** The applicant shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement.
13. **Refuse.** All trash areas shall be effectively screened from view and covered and maintained in an orderly state to prevent water from entering into the garbage container. No outdoor storage is allowed / permitted unless designated on the approved plan set. Trash areas shall be maintained in a manner to discourage illegal dumping.
14. **Compliance with Other Permits.** The developer shall comply with all terms and conditions of the previously approved permits on the site.
15. **Sign Approval.** No signs approved at this time. All proposed signs shall be subject to approval by the Director of Planning.
16. **Sewage Treatment Demand.** Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the applicant for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José-Santa Clara Water Pollution Control Plant represented by approved land uses in the area served by said Plant will cause the total sewage treatment demand to meet or exceed the capacity of San José-Santa Clara Water Pollution Control Plant to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Quality Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approval authority.
17. **Building Permit.** Procurement of a Building Permit from the Building Official for the structures described or contemplated under this permit shall be deemed acceptance of all conditions specified in this permit and the applicant's agreement to fully comply with all of said conditions. No change in the character of occupancy or change to a different group of occupancies as described by the "Building Code" shall be made without first obtaining a Certificate of Occupancy from the Building Official, as required under San

José Municipal Code Section 24.02.610, and any such change in occupancy must comply with all other applicable local and state laws.

18. **Revocation.** This Conditional Use Permit is subject to revocation for violation of any of its provisions or conditions.
19. **Public Works Clearance.** Prior to the approval of the Tract or Parcel Map (if applicable) by the Director of Public Works, or the issuance of Building permits, whichever occurs first, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.
20. **Public Works Clearance for Building Permit(s) or Map Approval:** Prior to the approval of the Tract or Parcel Map (if applicable) by the Director of Public Works, or the issuance of Building permits, whichever occurs first, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.
  - a. **Transportation:** This project is located in the Evergreen East Hills Development Policy area. The proposed use was covered under the Eastridge Mall Theater Expansion that was approved by planning permit CP02-047 approved on 08/15/03. The approved permit allowed for two non-mall store buildings with a combined area of 12,000 s.f. at the current location of the Eastridge Mall site. To date, including this project 7,660 s.f. of the allotted square footage will have been used with 4,340 remaining for a future building at this site. We conclude that the subject project will be in conformance with the Evergreen East Hills Development Policy and a determination for a negative declaration can be made with respect to traffic impacts. Any future construction at this site that exceeds the remaining approved amount of square footage will be subject to the Evergreen Traffic Impact Fee.
  - b. **Grading/Geology:**
    - i. A grading permit is required prior to the issuance of a Public Works Clearance. The construction operation shall control the discharge of pollutants (sediments) to the storm drain system from the site. An erosion control plan may be required with the grading application.
    - ii. The Project site is within the State of California Seismic Hazard Zone. A geotechnical investigation report addressing the potential hazard of liquefaction must be submitted to, reviewed and approved by the City Geologist prior to issuance of a grading permit or Public Works Clearance. The investigation should be consistent with the guidelines published by the State of California (CGS Special Publication 117A) and the Southern California Earthquake Center (SCEC, 1999). A recommended depth of 50 feet should be explored and evaluated in the investigation.
  - c. **Stormwater Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of site design measures, source controls, and

numerically-sized Low Impact Development (LID) stormwater treatment measures to minimize stormwater pollutant discharges.

- i. The project's Stormwater Control Plan and numeric sizing calculations have yet to be received for this site.
  - ii. A planning permit adjustment must be filed within 60 days of issuance of this permit to ensure that this project will be in conformance with City Policy 6-29.
- d. **Stormwater Peak Flow Control Measures:** The project is located in a non-Hydromodification Management area and is not required to comply with the City's Post-Construction Hydromodification Management Policy (Council Policy 8-14).
- e. **Flood: Zone D** The project site is not within a designated Federal Emergency Management Agency (FEMA) 100-year floodplain. Flood zone D is an unstudied area where flood hazards are undetermined, but flooding is possible. There are no City floodplain requirements for zone D.
- f. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
- g. **Municipal Water:** In accordance with City Ordinance #23975, Major Water Facilities Fee is due and payable. Contact Jeff Provenzano at (408) 277-4954 for further information.

21. **Building Clearance for Issuing Permits.** Prior to the issuance of a Building Permit/Demolition Permit, the following requirements must be met to the satisfaction of the Chief Building Official:

- a. *Construction Plans.* This permit file number, CP12-045, shall be printed on all plans submitted to the Building Division.
- b. *Street Number Visibility.* Street numbers of the buildings shall be easily visible at all times, day and night.
- c. *Construction Plan Conformance.* A project construction plan conformance review by the Planning Division is required. Planning Division review for project conformance will begin with the initial plan check submittal to the Building Division. Prior to any building permit issuance, building permit plans shall conform to the approved Planning development permits and applicable conditions.

22. **Green Building Requirements.** The project shall comply with applicable Green Building standards in the City of San Jose Municipal Code in effect at time of submittal of building permit application.

- a. The project is subject to the mandatory requirements of the State of California Green Building Code Standards in effect at time of submittal of building permit application.
- b. The proposed project is subject to the bicycle parking and Clean Air Vehicle parking requirements of Chapter 20.90 Parking and Loading of the Zoning Ordinance, Title 20 of the San José Municipal Code.

- c. The project shall comply with the provisions of Ordinance No. 28622 in the San Jose Municipal Code or subsequent ordinance for private-sector green building that is in effect at the time that a building permit application is submitted to the Department of Planning, Building and Code Enforcement Building Division. For new non-residential construction less than 25,000 square feet, a completed Green Point Rated or LEED checklist is required with application for Building Permit.
23. **Mechanical Equipment.** All roof equipment shall be screened from view.
  24. **Fire Clearance for Issuing Permits.** Compliance with all applicable fire and building codes and standards relating to fire and panic safety shall be verified by the Fire Department during the Building Permit process.
  25. **Fire Lanes.** Fire lanes, suitably designated "FIRE LANE - NO PARKING," shall be provided to the satisfaction of the Fire Chief.
  26. **Street Number Visibility.** Street numbers of the buildings shall be easily visible from the street at all times, day and night.
  27. **Landscaping.** Planting and irrigation are to be provided as indicated on the approved plans. Landscaped areas shall be maintained and watered and all dead plant material is to be removed and replaced. Permanent irrigation is to be installed in accordance with Part 4 of Chapter 15.10 of Title 15 of the San José Municipal Code, Water Efficient Landscape Standards for New and Rehabilitated Landscaping and the City of San José Landscape and Irrigation Guidelines.
  28. **Irrigation Standards.** The applicant shall install an adequately sized irrigation distribution system with automatic controllers in all areas to be landscaped that conforms to the Zonal Irrigation Plan in the Approved Plan Set and is consistent with the City of San José Landscape and Irrigation Guidelines.
  29. **Certification.** Pursuant to San José Municipal Code, Section 15.10.486, certificates of substantial completion for landscape and irrigation installation shall be completed by licensed or certified professionals and provided to the Department of Planning, Building and Code Enforcement prior to approval of the final inspection of the project.
  30. **Lighting.** All new outdoor lighting on the site shall conform to the City's Outdoor Lighting Policy and shall use low-pressure sodium (LPS) lighting fixtures.
  31. **Storm Water Stenciling.** All drain inlets shall be labeled "No Dumping-Flows to Bay." Please contact the City of San José, Department of Public Works, at (408) 277-5161 to obtain free stencils.
  32. **No Outside Storage.** No outside storage is permitted for the project.
  33. **Construction Impact Mitigation Measures.** The applicant shall ensure that the following construction impact mitigation measures are fully complied with throughout the duration of all construction activities associated with this project and related off-site construction work. Failure to comply with these conditions by the applicant, their contractors or subcontractors shall be cause for shutdown of the project site until compliance with the following conditions can be ensured by the City.
    - a. *Construction Hours.* Construction activities shall be limited to the hours of 7:00 a.m. and 7:00 p.m. Monday through Friday for any on-site or off-site

construction activities located within 500 feet of any residential unit.

- b. *Construction Deliveries.* Deliveries shall not occur outside the above construction hours. All deliveries shall be coordinated to ensure that no delivery vehicles arrive prior to the opening of the gates to prevent the disruption of nearby residents.
  - c. *Fencing.* Construction areas shall be enclosed by security fencing. The gates to the project site shall remain locked during all other times, except for a fifteen-minute period immediately preceding and following the above hours of construction.
  - d. *Construction Employees.* Workers shall not arrive to the site until the opening of the project gates. The applicant shall designate a location without adjacent residential units for workers to wait prior to the opening of the project gates.
  - e. *Plans.* The construction hours shall be printed on all plans for the project used to construct the project.
  - f. *Mitigation Measure Disclosure.* These construction impact mitigation measures shall be included in all contract documents for the project to ensure full disclosure to contractors and subcontractors. In addition, the applicant is responsible to ensure the following occur prior to the issuance of a Building Permit for the project.
  - g. *Disturbance Coordinator.* A disturbance coordinator shall be identified by the developer for this project. The disturbance coordinator shall be responsible for ensuring compliance with the hours of construction, site housekeeping, and other nuisance conditions in this permit.
  - h. *Daily Log.* The disturbance coordinator shall maintain a log of daily activities on the project, including but not limited to, verification of site closure activities, project cleanliness, complaints on site activities and conditions and dates and times of the coordinators visits to the project if the coordinator is not solely responsible for this project site.
  - i. *Telephone Contact.* A phone with answering machine for non-work hours shall be maintained during the duration of project construction. The phone number should be a local call for surrounding residents.
34. **Street Cleaning and Dust Control.** During construction, the developer shall damp sweep the public and private streets within and adjoining the project site each working day sufficient to remove all visible debris and soil. On-site areas visible to the public from the public right-of-way shall be cleaned of debris, rubbish, and trash at least once a week. While the project is under construction, the developer shall implement effective dust control measures to prevent dust and other airborne matter from leaving the site.

**35. Revocation, Suspension, Modification.** This Conditional Use Permit may be revoked, suspended or modified by the Planning Commission, or by the City Council on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing in accordance with, Chapter 20.100, Title 20 of the San José Municipal Code it finds:

- a. A violation of any conditions of the Conditional Use Permit was not abated, corrected or rectified within the time specified on the notice of violation; or
- b. A violation of any City ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation; or
- c. The use as presently conducted creates a nuisance.

Adopted and issued this **13<sup>th</sup> day of February, 2013**, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

---

EDESA BIT-BADAL  
Chairperson

---

JOSEPH HORWEDEL  
Director of Planning Building & Code Enforcement  
Planning Commission Secretary

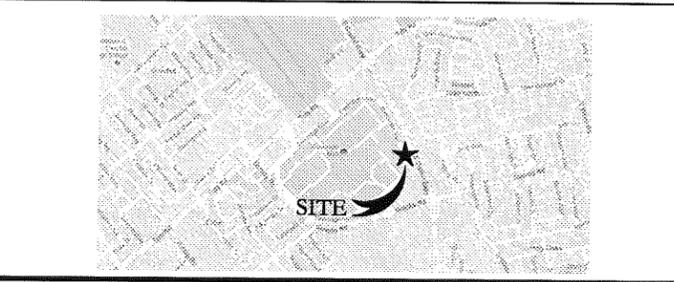
### **NOTICE TO PARTIES**

*The time within which judicial review must be sought to review this decision is governed by the provisions of the California Code of Civil Procedure Section 1094.6.*

**RESPONSIBILITY CHART FOR SUPPLY AND INSTALLATION OF BUILDING RELATED ITEMS**

OWNER FURNISHED ITEMS	INSTALLED BY OWNER	INSTALLED BY CONTRACTOR	REMARKS
DIVISION 4 - MASONRY			
41 SIMULATED STONE VENEER		X	EXCEPT F DEVELOPER DICTATED, THEN G.C.
DIVISION 5 - METALS			
51 STAINLESS STEEL PACKAGE (CORNER GUARDS, WALL PANELING)		X	
DIVISION 6 - CARPENTRY			
61 WOOD TRELLIS		X	
62 AQUA FIBER ROCK PANEL		X	
6.3 BIANCO/TI BIRDS / WOOD AND LAMINATE PANELING / TRIM		X	
6.4 CABINETRY		X	
6.5 GRANITE / SOLID SURFACE (VANITY COUNTERS, WORK TABLES, WINE HITCHES, CREDENZAS)		X	
6.6 BLAK TOP (LAVA STONE / GRANITE / WOOD)		X	
DIVISION 8 - DOORS AND WINDOWS			
81 WOOD DOORS (INTERIOR)		X	
82 WOOD OR METAL CLAD WOOD DOORS (EXTERIOR)		X	
83 WINDOW PACKAGE		X	
8.4 DOOR HARDWARE		X	ONLY DECORATIVE HARDWARE ON FRONT DOORS
8.5 SHUTTERS FOR WINDOWS - PRE FINISHED		NA	
DIVISION 9 - FINISHES			
91 CARPET / ADHESIVES	X		
92 WALL TILE / DECORATIVE TILE TRIM (INTERIOR)		X	
93 FLOOR TILE / BASE SETTING MATERIAL / GROUT		X	
94 CURVED COPPER CEILING (3)		NA	
95 STAINLESS STEEL FREEZER COOLER / BASE	X		
96 WALL COVERING		NA	
DIVISION 10 - SPECIALTIES			
101 DECORATIVE INTERIOR SIGNAGE		X	
102 TEMPORARY JOB SIGN DURING CONSTRUCTION		X	
103 RESTROOM PARTITIONS (BY G.C. PURCHASED FROM OWNER'S SUPPLIER)		NA	
10.4 WARDROBE MIRRORS		X	
10.5 OPENING BANNERS		X	
10.6 EXTERIOR SIGN AND LED BORDER	X		ROUGH IN BY G.C.
DIVISION 11 - EQUIPMENT			
111 WALK-IN FREEZERS AND COOLERS	X		
112 REFRIGERATION LINES (COOKLINE, BEER TOWERS, ICE MACHINES, WALK-IN)	X		
113 CHAIR TABLE FREEMER		X	
114 BOOSTER HEATER		X	
115 UPS (BY POS VENDOR)	X		
117 POS - UPS	X		
118 COI	X		
119 SAFE	X		
120 STAINLESS STEEL PACKAGE (CUSTOM KITCHEN EQUIPMENT)		X	
121 BUILT-OUT KITCHEN EQUIPMENT		X	
122 MECH. STAINLESS STEEL (TICKET RAIL, CAN OPENER)		X	
123 WINE ROOM RACK SYSTEM / REFRIGERATION		NA	
124 COFFEE, CAPPUCCINO / TEA MACHINES	X		
125 CONDENSER STAND FOR WALK-IN COOLERS		NA	
126 INSULATED WOOD LINE WALL (PREFERRED)		X	
127 GAS LINES AND RESTRAINING CABLES		X	
128 ROOF TOP GAS-LINE CONTAINMENT PADS		NA	
129 KITCHEN PAPER TOWEL DISPENSERS		X	
130 ROOF TOP REFRIGERATION EQUIPMENT		X	
131 ROAF / CHEMICAL DISPENSERS	X		
132 SODA SYSTEM	X		
133 TELEVISION		X	
134 WATER SOFTENER		X	
135 STAINLESS STEEL THROUGH DRAINS		X	
DIVISION 12 - FURNISHINGS			
121 INTERIOR DECOR PACKAGE (ARTWORK / VALANCES)	X		
122 VANITY MIRRORS	X		
123 BOOTHS, CHAIRS, TABLETOPS, BASES AND BRACKETS		X	
12.4 INTERIOR PLANT PACKAGE	X		
12.5 EXTERIOR WAITING BENCHES		X	
12.6 WINDOW TREATMENTS	X		
12.7 OFFICE FURNITURE	X		
DIVISION 13 - MECHANICAL			
131 HOODS, EXHAUST FAN SYSTEM		X	
13.2 ANUL FIRE SUPPRESSION SYSTEM FOR HOOD	X		
13.3 ROOF TOP AIR CONDITIONING UNITS, TEMPERATURE SENSORS		X	
13.4 COKE SYSTEM	X		
13.5 BEER SYSTEM	X		
13.6 WATER HEATER / INSTALLATION KIT		X	
13.7 TEST / BALANCE HOODS	X		
13.8 CURBS FOR A/C UNITS		X	
DIVISION 14 - ELECTRICAL			
141 TELEPHONES	X		PANELS IN KITCHEN BY G.C.
14.2 CFI PANEL (MODULAR SWITCHGEAR / LIGHTING / HVAC CONTROL)		X	
14.3 FIRE ALARM SYSTEM / SECURITY SYSTEM - AET	X		
14.4 LIGHTING POSITION SENSORS		X	
14.5 SOUND SYSTEM	X		
14.6 BBS ATTRACTORS		X	
14.7 DECORATIVE EXTERIOR AND INTERIOR LIGHTING-CHANDLERS, SCONCES, ETC.		X	
14.8 PARKING LOT LIGHTS AND POLES		X	INLENS LL PROVIDED
14.9 TVSS		X	

**VICINITY MAP**



**THE OLIVE GARDEN ITALIAN RESTAURANT**  
 2226 EASTRIDGE LOOP, CA  
 SAN JOSE, CA

PROTOTYPE: P16R-WD  
 UPDATED THRU: HSKP 2010.1 REVISION  
 DESIGN DIRECTIVE: DD2 04/2012

**DIRECTORY**

**OWNER/OPERATOR:** DARDEN d/b/a THE OLIVE GARDEN  
 1020 DARDEN CENTER DRIVE  
 ORLANDO, FLORIDA 32831  
 (407) 245-4000 / FAX: 245-6758  
 PROJECT MANAGER: SHAWN RODDLE

**ARCHITECT:** CRHO ARCHITECTS, INC.  
 155 SOUTH "C" STREET, SUITE 200  
 TUSTIN, CALIFORNIA 92780  
 (714) 832-1834 / FAX: 832-1910  
 PROJECT MANAGER: MARK SPATZ

**PLUMBING:** ZERO 4 ASSOCIATES  
 215 RIVERSIDE AVE, SUITE 105  
 NEWPORT BEACH, CA 92663  
 (949) 515-4333 / FAX: 515-4323  
 PROJECT MANAGER: LAURENCE ZERO

**ELECTRICAL:** OMB ELECTRICAL ENGINEERS  
 8653 RESEARCH DRIVE, SUITE 100  
 IRVINE, CALIFORNIA 92618  
 (949) 153-1953 / FAX: 153-1992  
 PROJECT MANAGER: STEVE KELNER

**MECHANICAL:** ZERO 4 ASSOCIATES  
 215 RIVERSIDE AVE, SUITE 105  
 NEWPORT BEACH, CA 92663  
 (949) 515-4333 / FAX: 515-4323  
 PROJECT MANAGER: LAURENCE ZERO

**STRUCTURAL:** SHIMAJI AND LASCOLA  
 23602 BIRITCHER DRIVE  
 LAKE FOREST, CALIFORNIA 92630  
 (949) 110-9961 / FAX: 110-9542  
 PROJECT MANAGER: JIM LASCOLA

**LANDSCAPE:** HOURIAN ASSOCIATES  
 101 AVENIDA MIRAPAR, SUITE D  
 SAN CLEMENTE, CA 92672  
 (949) 499-5623 / FAX: 499-5637  
 PROJECT MANAGER: JOHN HOURIAN

**CIVIL:** LUCO ENGINEERING  
 9089 ELK GROVE BLVD, SUITE 201  
 ELK GROVE, CA 95624  
 (916) 813-1440 / FAX: 160-2701  
 PROJECT MANAGER: LUIS H. CORNEJO

**GENERAL NOTES**

- LANDSCAPE NOTES:**
- WEED CONTROL SCREEN TO BE PLACED BELOW STONE IN BEDDING AREAS
  - METAL EDGE BAND TO BE PLACED @ EDGE OF ALL PLANTING AREAS
  - ANY ON SITE UTILITIES (BACKFLOW PREVENTERS, GAS METERS, ETC.) TO BE PAINTED BY GENERAL CONTRACTOR - PAINT TO MATCH ADJACENT SURFACES
  - LANDSCAPE LIGHTING, CONDUITS, TRANSFORMERS ETC. TO BE PAINTED - VERIFY W/ DARDEN PROJECT MANAGER
  - LANDSCAPE ARCHITECT IS TO HAVE LOCAL REPRESENTATIVES VISIT AT TWO TIMES, ONE FOR INSPECTION PRIOR TO PLANTING WHILE STOCK IS ON SITE AND ONE FOR INSPECTIONS AFTER STOCK HAS BEEN INSTALLED, G.C. TO COORDINATE WITH THIS INDIVIDUAL AS TO TIMING.
- TESTING NOTES:**  
 ALL REQUIRED TESTING FOR SOIL, CIVIL, STRUCTURAL AND OTHERS TO BE BY DARDEN RESTAURANTS INC. AND COORDINATED THROUGH THE GENERAL CONTRACTOR WITH PSI. ANY RETESTING PROVIDED BY G.C.

**DEFERRED SUBMITTALS**

- GENERAL CONTRACTOR TO PROVIDE ROOF TRUSS DRAWINGS & CALCULATIONS TO THE BUILDING DEPT. FOR APPROVAL PRIOR TO INSTALLATION.
- GENERAL CONTRACTOR TO PROVIDE FIRE SPRINKLER DRAWINGS TO BUILDING DEPT. FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE FIRE & BURGLAR ALARM DRAWINGS TO FIRE DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR TO SUBMIT HOOD FIRE SUPPRESSION DRAWINGS TO FIRE DEPT. FOR APPROVAL PRIOR TO INSTALLATION

**MUNICIPAL AGENCIES :**

**CITY OF SAN JOSE**  
 200 E. SANTA CLARA ST.  
 SAN JOSE, CA 95113

**ZONING :**  
 ADMINISTRATOR : MARTINA DAVIS  
 TELEPHONE : (408) 535-1868  
 ADDRESS : 200 E. SANTA CLARA ST. SAN JOSE, CA 95113

**PLANNING :**  
 ADMINISTRATOR : MARTINA DAVIS  
 TELEPHONE : (408) 535-1868  
 ADDRESS : 200 E. SANTA CLARA ST. SAN JOSE, CA 95113

**BUILDING :**  
 ADMINISTRATOR : MIKE TANG  
 TELEPHONE : (408) 235-1113  
 ADDRESS : 200 E. SANTA CLARA ST. SAN JOSE, CA 95113

**FIRE MARSHALL :**  
 ADMINISTRATOR : CURTIS JACOBSON  
 TELEPHONE : (408) 535-1150  
 ADDRESS : 200 E. SANTA CLARA ST. SAN JOSE, CA 95113

**HEALTH :**  
 ADMINISTRATOR : YVONNE BLANCO  
 TELEPHONE : (408) 918-3481  
 ADDRESS : 1555 BERGER DR. SAN JOSE, CA 95112

**ENGINEERING AND STORM SEWER :**  
 CITY OF SAN JOSE  
 ADDRESS : 200 E. SANTA CLARA ST. SAN JOSE, CA 95113

**SANITARY SEWER :**  
 ADMINISTRATOR : COLLEEN CASSIDY  
 TELEPHONE : (408) 945-3000  
 ADDRESS : 200 E. SANTA CLARA ST. SAN JOSE, CA 95113

**WATER :**  
 CITY OF SAN JOSE  
 TELEPHONE : (408) 363-4743  
 ADDRESS : 200 E. SANTA CLARA ST. SAN JOSE, CA 95113

**GAS :**  
 PACIFIC GAS & ELECTRIC  
 (415) 912-1863  
 111 ALMADEN BLVD.  
 SAN JOSE, CA 95113

**SUMMARY OF SPECIAL INSPECTION**

NO.	DATE	REVISION	BY
1	12-14-12	AGENCY REVISION	R.D.
2	1-18-13	AGENCY REVISION	R.D.

**SCOPE OF WORK**

DEMOLISH EXISTING MACARONI GRILL AND BUILT A NEW 1,660 SQUARE FEET OLIVE GARDEN RESTAURANT. PROVIDING A SOLID ROOF OVER ENTIRE TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING.

**SHEET INDEX**

NO.	NAME	DELTA5
SHT. 1	TU - COVER SHEET	△△
SHT. 2	C3.1 - SITE PLAN	△△
SHT. 3	C6.1 - GRADING PLAN	△△
SHT. 3a	C6.2 - WATER CONTROL PLAN	△
SHT. 3b	C2.2 - EROSION CONTROL PLAN	△△
SHT. 3c	C4.1 - UTILITY PLAN	△△
SHT. 4	AB.1 - EXTERIOR ELEVATIONS	△△
SHT. 4a	AB.2 - EXTERIOR ELEVATIONS	△△
SHT. 5	A1.1 - FLOOR PLAN	△
SHT. 6	L2.1 - PLANTING PLAN	△
SHT. 7	A6.1 - SECTIONS	△
SHT. 7a	9P2.1 - SITE DETAILS	△

**C · R · H · O**

Architecture Interior Planning  
 195 South "C" Street 200  
 Tustin, California 92780  
 714 832-1834  
 FX 832-1910

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECTS OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

**ARCHITECTS PROJECT**  
 Job # 12-173



Issue Date: 9-4-12

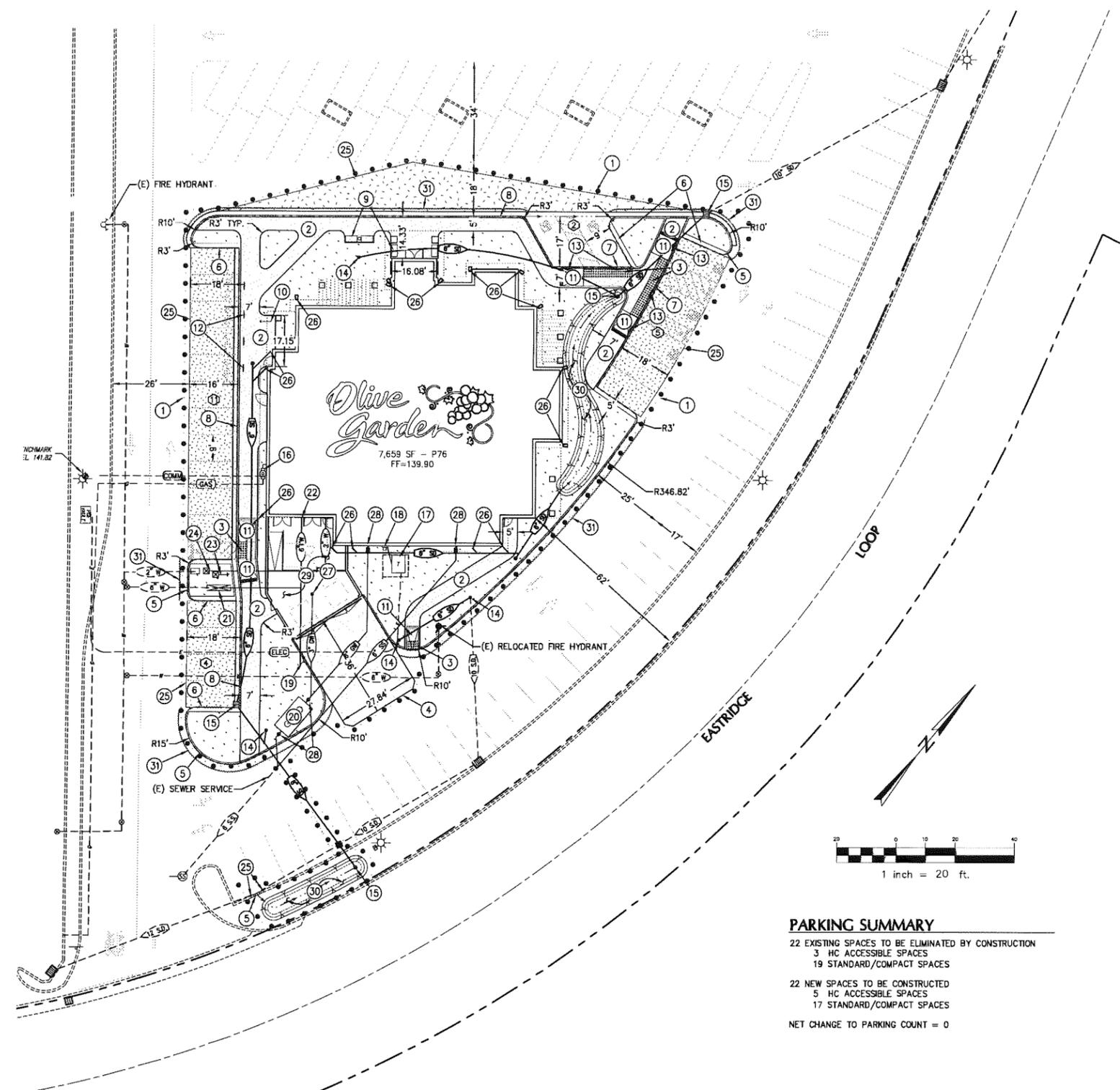
**REVISION**

NO.	DATE	REVISION
1	12-14-12	AGENCY REV.
2	1-18-13	AGENCY REV.

Restaurant #: 4468

**OLIVE GARDEN**  
 P76L WD  
 UPDATED THRU:  
 HSKP 2010.1  
 DD-2-7-2010  
 2226 EASTRIDGE LOOP  
 SAN JOSE, CA.

Drawing  
 COVER  
**T-1.1**



- LEGEND**
- PROPOSED LEASE LINE
  - EXISTING CURB, GUTTER OR SIDEWALK
  - LIMITS OF CONSTRUCTION
  - PAINT ADJACENT CURBS RED WITH WHITE LETTERING ON FACE OF CURB "FIRE LANE-NO PARKING"
  - PARKING ROW STALL COUNT
  - ⑤ PLACE LIGHT DUTY AC PAVEMENT, 3" ASPHALT CONCRETE OVER 6.5" CLASS II AGGREGATE BASE ON 12" COMPACTED SUBGRADE SOIL
  - ⑥ PLACE HEAVY DUTY AC PAVEMENT, 3.5" ASPHALT CONCRETE OVER 10.5" CLASS II AGGREGATE BASE ON 12" COMPACTED SUBGRADE SOIL
  - ⑦ PLACE HEAVY DUTY PC CONCRETE PAVEMENT, 7" PORTLAND CEMENT CONCRETE OVER 4" CLASS II AGGREGATE BASE ON 12" COMPACTED SUBGRADE SOIL
  - ⑧ CONSTRUCT PORTLAND CEMENT CONCRETE SIDEWALK, PLACE 4" PCC OVER 6" NATIVE SOIL COMPACTED TO 90% R.C.
  - ⑨ PROPOSED IRRIGATED LANDSCAPE, REFER TO LANDSCAPE & IRRIGATION PLANS

- CONSTRUCTION NOTES**
- 1 LIMITS OF CONSTRUCTION
  - 2 CONSTRUCT PC CONCRETE SIDEWALK
  - 3 INSTALL DETECTABLE WARNING PANEL (TRUNCATED DOME) PER DETAIL 6/C7.1
  - 4 CONSTRUCT HEAVY DUTY PC CONCRETE TRUCK APRON
  - 5 CONSTRUCT BARRIER CURB PER DETAIL 1/C7.1
  - 6 CONSTRUCT STEPPING CURB PER DETAIL 2/C7.1
  - 7 CONSTRUCT FLUSH CURB PER DETAIL 3/C7.1
  - 8 CONSTRUCT CURB & GUTTER PER DETAIL 4/C7.1
  - 9 INSTALL SITE FURNITURE (PROVIDED BY OLIVE GARDEN), REFER TO ARCH. PLANS
  - 10 INSTALL BICYCLE PARKING RACK, REFER TO ARCHITECTURAL PLANS FOR DETAILS
  - 11 CONSTRUCT HC ACCESSIBLE RAMP, SEE SHEET C6.1
  - 12 INSTALL "TO GO" SIGN TYPICAL (4) PLACES PER DETAIL 5/C7.1
  - 13 INSTALL ACCESSIBLE PARKING SIGNS TYPICAL (5) PLACES PER DETAIL 5/C7.1
  - 14 INSTALL LANDSCAPE AREA DRAIN, SEE SHEET C6.1
  - 15 CONSTRUCT STORM DRAIN INLET, SEE SHEET C6.1
  - 16 PROPOSED GAS SERVICE ENTRANCE AND METER, SEE SHEET C4.1
  - 17 EXISTING ELECTRIC TRANSFORMER, SEE SHEET C4.1
  - 18 PROPOSED ELECTRIC SERVICE ENTRANCE & METER, SEE SHEET C4.1
  - 19 INSTALL FIRE DEPARTMENT CONNECTION, SEE SHEET C4.1
  - 20 INSTALL 1,500 GALLON GREASE INTERCEPTOR, SEE SHEET C4.1
  - 21 EXISTING 6" DOUBLE CHECK VALVE ASSEMBLY, SEE SHEET C4.1
  - 22 PROPOSED FIRE SPRINKLER RISER LOCATION, SEE SHEET C4.1
  - 23 EXISTING 1" IRRIGATION WATER METER & BACKFLOW PREVENTER, SEE SHEET C4.1
  - 24 EXISTING 2" DOMESTIC WATER METER & BACKFLOW PREVENTER, SEE SHEET C4.1
  - 25 JOIN EXISTING CURB, SIDEWALK OR AC PAVEMENT
  - 26 ROOF DRAIN, SEE SHEET C6.1
  - 27 INSTALL LOCKING FLOOR DRAIN, SEE SHEET C6.1
  - 28 CONSTRUCT SEWER DR STORM DRAIN CLEANOUT PER DETAIL 1/C5.1
  - 29 PROPOSED TRASH ENCLOSURE, REFER TO ARCHITECTURAL PLANS FOR DETAILS
  - 30 CONSTRUCT BIO-RETENTION SWALE, SEE SHEETS C6.1 & C6.2
  - 31 PAINT INDICATED CURBS RED WITH WHITE LETTERING ON FACE OF CURB "FIRE LANE-NO PARKING"

**PARKING SUMMARY**

22 EXISTING SPACES TO BE ELIMINATED BY CONSTRUCTION  
 3 HC ACCESSIBLE SPACES  
 19 STANDARD/COMPACT SPACES

22 NEW SPACES TO BE CONSTRUCTED  
 5 HC ACCESSIBLE SPACES  
 17 STANDARD/COMPACT SPACES

NET CHANGE TO PARKING COUNT = 0

**PROJECT INFORMATION**

SITE DATA	
LEASE AREA	18,300± SF
BUILDING DATA	
BUILDING AREA	7,659 SF
BUILDING AREA/LEASE AREA (%)	42.55%
PARKING DATA	
CITY REQUIRED PARKING - 1 STALL/2.5 SEATS	
234 SEATS/2.5 = 94	94 STALLS REQUIRED
ACCESSIBLE STALLS, 0.02 x 94 = 1.9	2 DF 94 STALLS
PARKING PROVIDED	
STANDARD STALLS (9'x19')	78
COMPACT STALLS (8.5'x18')	11
HC ACCESSIBLE STALLS (9'x19')	5
TOTAL PARKING STALLS	94
LANDSCAPE DATA	
TOTAL LANDSCAPED AREA	5,770 SF

LUCO Engineering  
 9089 Elk Grove Blvd., Suite 207  
 Elk Grove, CA 95624  
 Phone: 916-913-1940  
 Fax: 916-760-2707

Project No. 001018

Issue Date: 01-29-2013

Restaurant #:  
 Olive Garden  
 P-76  
 2226 EASTRIDGE LOOP  
 Eastridge Mall  
 San Jose, CA

Drawing  
 DIMENSIONED  
 SITE PLAN

C3.1  
 Sht. No. 2



Project No. 001018



Issue Date: 01-29-2013

REVISION INFORMATION

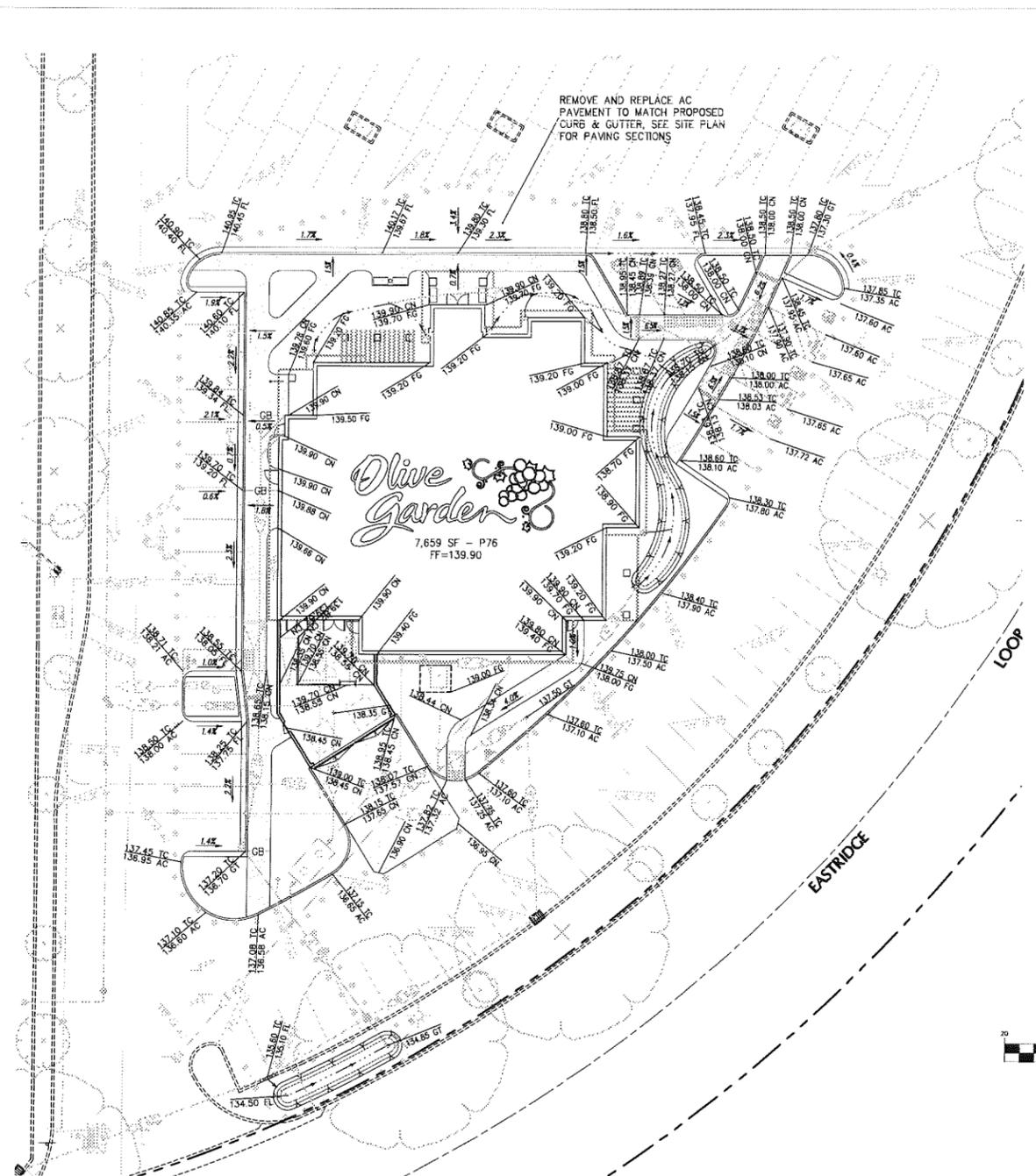
Restaurant #:

Olive Garden  
 P-76  
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 Eastridge Mall  
 San Jose, CA

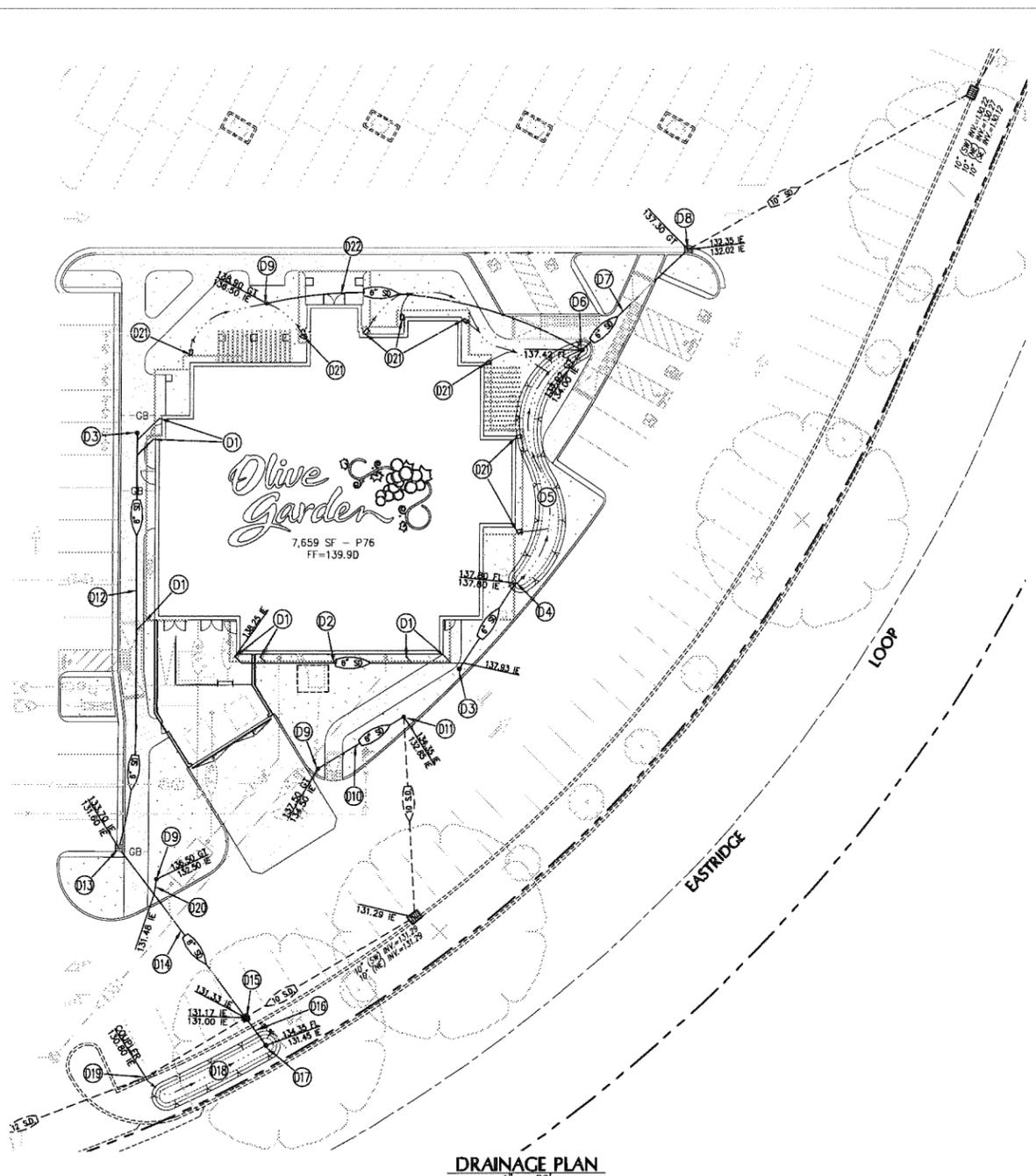
Drawing  
**GRADING AND  
 DRAINAGE  
 PLAN**

**C6.1**

Sht. No. 3



**GRADING PLAN**  
 1" = 20'



**DRAINAGE PLAN**  
 1" = 20'

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE			
Proper Phase Number: (A) 1, 2, 3, 4			
Total Site (acres)	Total Area of Site Disturbed (square feet)		0.58 Ac (25,265 sq ft)
	Existing Condition of Site Area Disturbed (square feet)	Proposed Condition of Site Area Disturbed (square feet)	
Impervious Surfaces			
Roof Areas	8,400	8,400	385
Parking	3,730	3,230	0
Accessways, Paths, Paths, etc.	3,100	3,100	400
Other Paved Surfaces (curbs, etc.)	0	0	0
Grass (existing)	5,005	3,900	0
<b>Total Impervious Surfaces:</b>	<b>20,235</b>	<b>18,630</b>	<b>785</b>
Pervious Surfaces			
Landscaped Areas	5,030	5,030	820
Pervious Paving	0	0	19,415
Other Pervious Surfaces (existing and new)	0	0	5650
<b>Total Pervious Surfaces:</b>			
<b>Total Proposed Replaced - New Impervious Surfaces:</b>			
<b>Total Proposed Replaced - New Pervious Surfaces:</b>			

**LEGEND**

- R --- EXISTING CURB, GUTTER OR SIDEWALK
- GB --- RIDGE LINE
- GB --- GRADE BREAK
- 137.83 AC --- EXISTING SPOT ELEVATION
- 2.1% --- FINISH SURFACE SLOPE
- 138.13 TC --- PROPOSED SPOT ELEVATION
- 137.83 AC --- EXISTING STORM DRAIN
- 12" SD --- PROPOSED STORM DRAIN
- 12" SD --- FLOWLINE
- 12" SD --- DRAIN INLETS
- 12" SD --- LIMITS OF CONSTRUCTION

**GRADING NOTES**

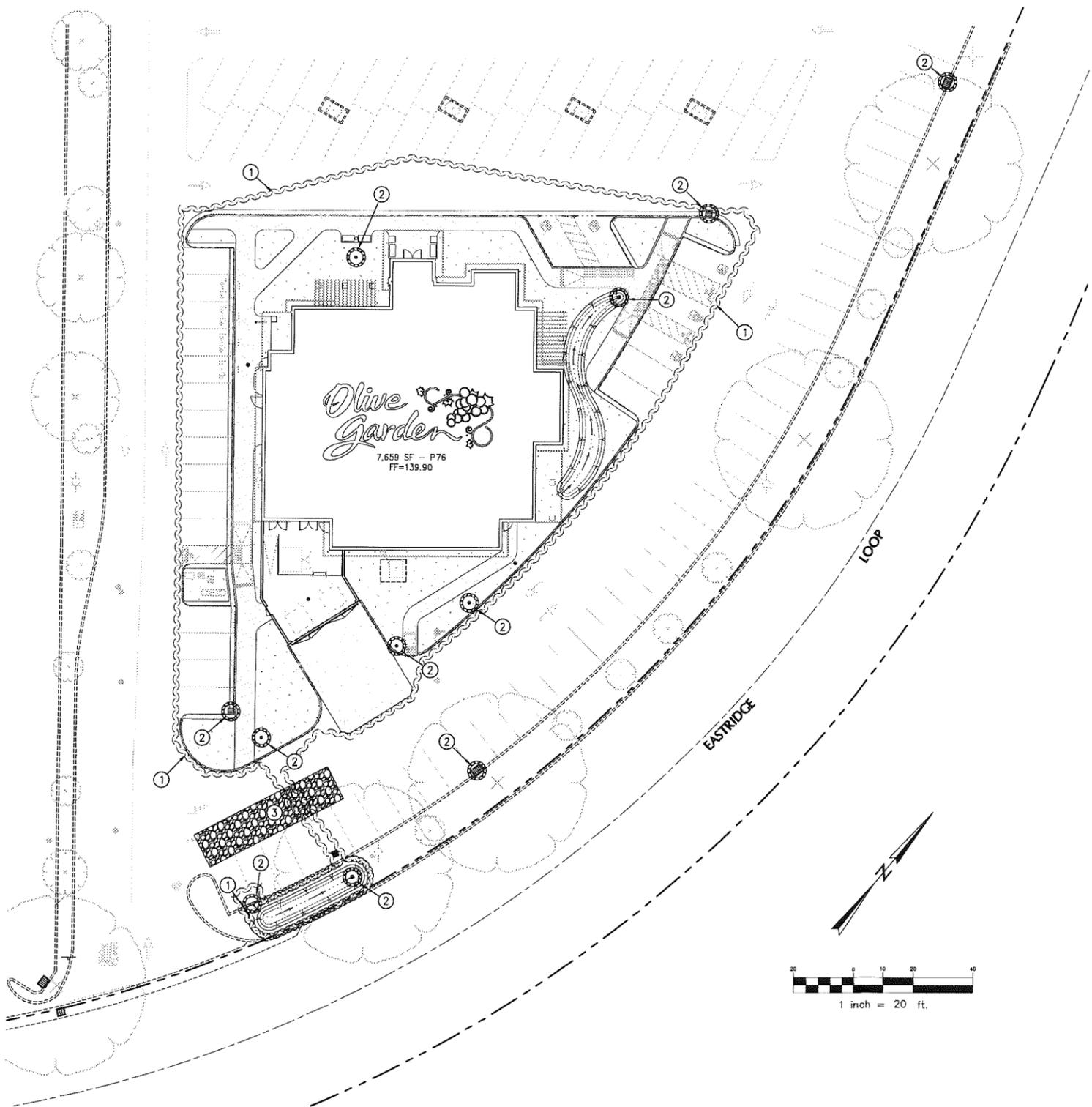
THE CONTRACTOR SHALL REMOVE (OVER-EXCAVATE) THE EXISTING SOILS BENEATH THE PROPOSED BUILDING PAD TO A DEPTH OF AT LEAST 3 FEET BELOW EXISTING OR PROPOSED FINISHED GRADE, WHICHEVER IS DEEPER. THIS SOIL SHALL BE STOCKPILED ON SITE FOR USE AS ENGINEERED FILL. THE BUILDING PAD SHALL BE DEFINED AS THE AREA OF THE BUILDING FOOTPRINT PLUS AT LEAST 5 FEET BEYOND.

**STORM DRAIN CONSTRUCTION NOTES**

- D1 ROOF DRAIN, CONNECT TO 6" SD PER DETAIL 7/C7.1
- D2 PLACE 91 LF (DEVELOPED LENGTH) 6" PVC STORM DRAIN, S=0.005
- D3 INSTALL 6" SD CLEANOUT TO GRADE PER DETAIL 8/C7.1
- D4 OUTFALL 6" SD TO BIO-SWALE, IE=137.80
- D5 CONSTRUCT 76 LF BIO-SWALE PER DETAIL 13/C7.2
- D6 CONSTRUCT 12" SQUARE CONCRETE DRAIN INLET PER DETAIL 11/C7.2
- D7 PLACE 41 LF 6" PVC DRAIN PIPE, S=0.041
- D8 CONSTRUCT 24" SQUARE CONCRETE DRAIN INLET (PER DETAIL 10/C7.1) ON (E) 10" STORM DRAIN PIPE.  
 (E) 10" IE OUT = 132.02  
 6" IE IN = 132.35  
 GT=137.30
- D9 INSTALL 8" NYLOPLAST CATCH BASIN PER DETAIL 9/C7.1
- D10 PLACE 28 LF 6" PVC DRAIN PIPE, S=0.005
- D11 INSTALL 8" NYLOPLAST CATCH BASIN PER DETAIL 9/C7.1 AND CONNECT TO (E) 10" SD
- D12 PLACE 120 LF (DEVELOPED LENGTH) 6" PVC DRAIN PIPE, S=0.005 MIN.
- D13 CONSTRUCT 24" SQUARE CONCRETE DRAIN INLET PER DETAIL 10/C7.1.  
 6" IE IN = 133.70  
 8" IE OUT = 131.80  
 GT=136.70
- D14 PLACE 59 LF 8" PVC DRAIN PIPE, S=0.0073
- D15 CONSTRUCT 24" SQUARE CONCRETE JUNCTION BOX PER DETAIL 10/C7.1.  
 (E) 10" IE THRU = 131.00  
 8" IE IN = 131.17  
 6" IE IN = 131.33  
 UD=135.60
- D16 PLACE 10 LF 6" PVC DRAIN PIPE, S=0.0125
- D17 CONSTRUCT 12" SQUARE CONCRETE DRAIN INLET PER DETAIL 11/C7.1
- D18 CONSTRUCT 35 LF BIO-SWALE PER DETAIL 13/C7.1
- D19 CONSTRUCT CONCRETE CURB-CUT PER DETAIL 12/C7.1
- D20 PLACE 4 LF 6" PVC DRAIN PIPE, S=0.005 MIN.
- D21 ROOF DRAIN, INSTALL SPLASH BLOCK AT GRADE
- D22 PLACE 91 LF 6" PVC DRAIN PIPE, S=0.005 MIN.

Drawn by: [Name], Checked by: [Name], Date: 01/29/2013, Scale: 1" = 20', Project: Olive Garden Restaurant, Sheet: C6.1



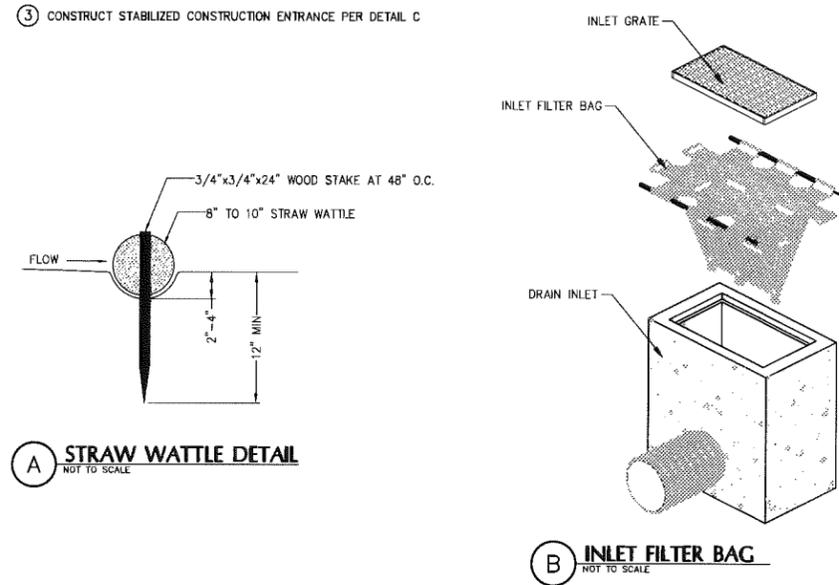


**LEGEND**

- LEASE LINE
- - - - - EXISTING CURB, GUTTER OR SIDEWALK
- FLOWLINE
- □ DRAIN INLETS
- ~ STRAW WATTLE/LIMITS OF CONSTRUCTION
- DRAIN INLET PROTECTION
- ▒ STABILIZED CONSTRUCTION ENTRANCE

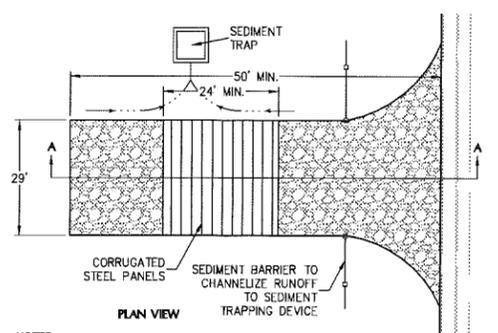
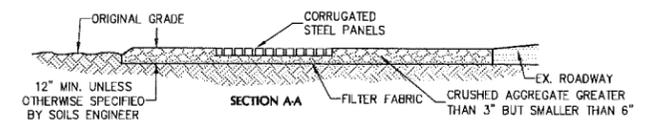
**EROSION CONTROL NOTES**

- ① INSTALL STRAW WATTLES PER DETAIL A
- ② INSTALL INLET FILTER BAG PROTECTION PER DETAIL B
- ③ CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE PER DETAIL C



**A STRAW WATTLE DETAIL**  
NOT TO SCALE

**B INLET FILTER BAG**  
NOT TO SCALE



**NOTES:**

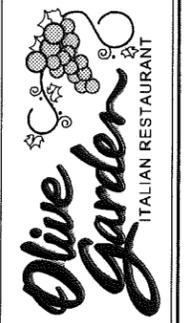
1. THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCASIONAL TOP DRESSING WITH MATERIAL AS SPECIFIED.
2. ACCESSES SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, MONTHLY DURING NORMAL USAGE, AND AFTER EACH RAINFALL, WITH MAINTENANCE PROVIDED AS NECESSARY. A PERIODIC TOP DRESSING SHALL BE DONE AS NEEDED.

**C STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE

LUCO Engineering  
9089 Elk Grove Blvd., Suite 207  
Elk Grove, CA 95624  
Phone: 916-811-7440  
Fax: 916-760-2707



Project No. 001018



Issue Date: 01-29-2013

**REVISION INFORMATION**

No.	Description

Restaurant #:

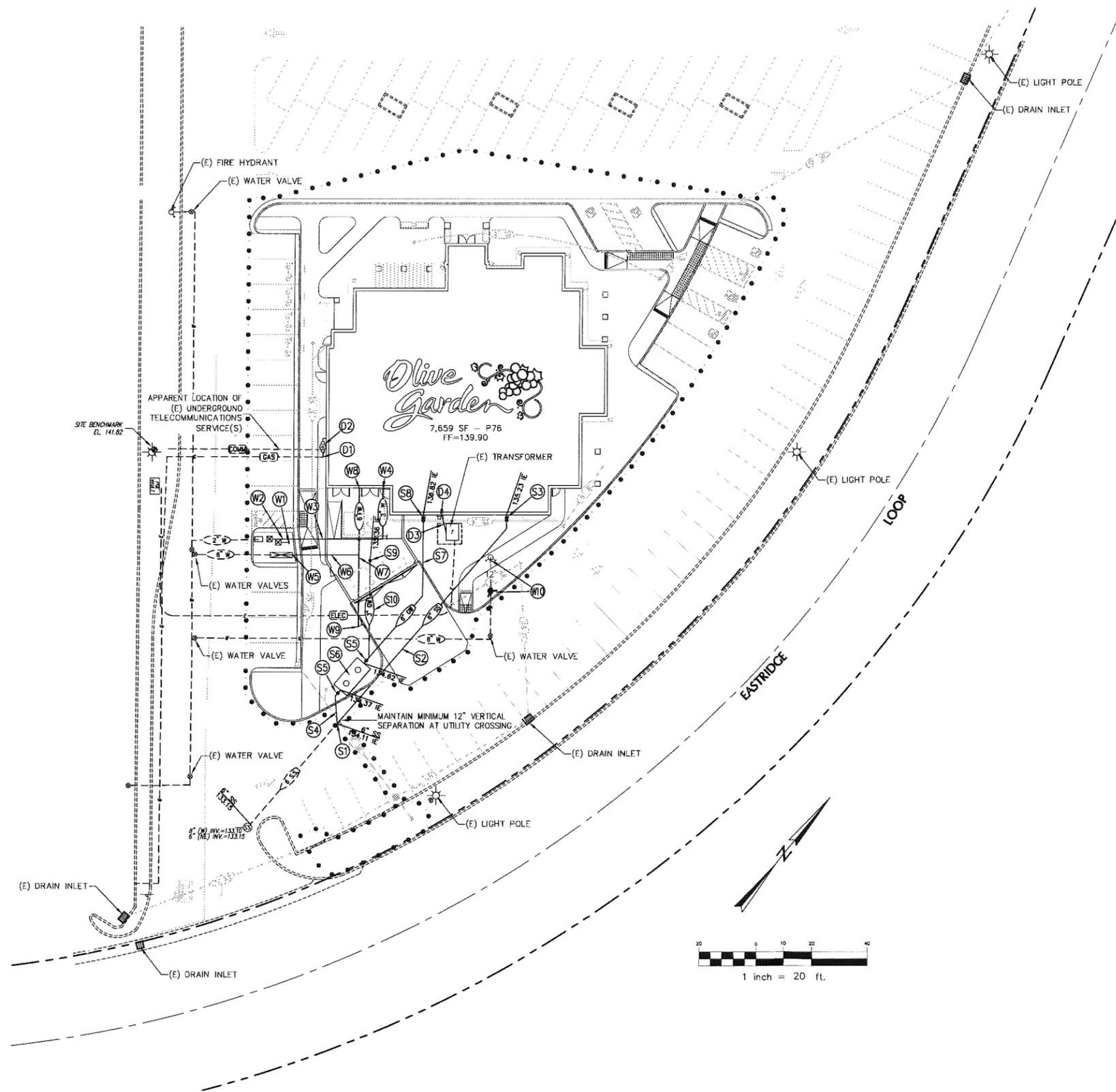
Olive Garden  
P-76  
2226 EASTRIDGE LOOP  
Eastridge Mall  
San Jose, CA

Drawing  
**EROSION CONTROL PLAN**

**C2.2**

Sht. No. 3b

Drawing by: VAD/CP/MS/ST/MS/CS, Inc. Date: 01/29/2013  
 Date: 01/29/2013  
 File: 001018.dwg  
 Plot: 01/29/2013, 10:13:11 AM



**LEGEND**

- ..... PROPOSED LEASE LINE
- EXISTING CURB, GUTTER OR SIDEWALK
- ..... LIMITS OF CONSTRUCTION
- ..... EXISTING STORM DRAIN
- ..... PROPOSED STORM DRAIN
- ..... EXISTING SANITARY SEWER
- ..... PROPOSED SANITARY SEWER
- ..... EXISTING WATER
- ..... PROPOSED WATER
- ..... EXISTING UNDERGROUND GAS
- ..... EXISTING UNDERGROUND ELECTRIC
- ..... EXISTING UNDERGROUND TELEPHONE AND/OR CABLE TELEVISION

**WATER CONSTRUCTION NOTES**

- (W1) POINT OF CONNECTION TO (E) 1" IRRIGATION WATER METER AND BACKFLOW PREVENTER ASSEMBLY, REFER TO LANDSCAPE & IRRIGATION PLANS FOR CONTINUATION
- (W2) POINT OF CONNECTION TO (E) 2" DOMESTIC WATER METER AND BACKFLOW PREVENTER ASSEMBLY
- (W3) PLACE 42 LF (DEVELOPED LENGTH) 2" WATER SUPPLY LINE TO BUILDING
- (W4) CONNECT TO BUILDING DOMESTIC WATER SUPPLY STUB, SEE PLUMBING PLANS FOR CONTINUATION
- (W5) POINT OF CONNECTION TO (E) 6" DOUBLE CHECK DETECTOR ASSEMBLY
- (W6) PLACE 24 LF 6" CLASS 200 C900 PVC WATER PIPE
- (W7) PLACE 50 LF (DEVELOPED LENGTH) 6" CLASS 200 C900 PVC WATER PIPE
- (W8) CONNECT TO BUILDING FIRE RISER STUB, SEE FIRE SPRINKLER PLANS FOR CONTINUATION
- (W9) INSTALL APPROVED FIRE DEPARTMENT CONNECTION ASSEMBLY
- (W10) RELOCATE (E) FIRE HYDRANT APPROXIMATELY 12 FEET SOUTHWEST OF ITS PRESENT LOCATION TO 3' BEHIND THE PROPOSED FACE OF CURB

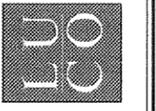
**SEWER CONSTRUCTION NOTES**

- (S1) CONNECT TO (E) 6" SEWER STUB
- (S2) PLACE 97 LF (DEVELOPED LENGTH) 6" SDR35 PVC SEWER PIPE, S=0.012
- (S3) CONNECT TO BUILDING SEWER STUB AT DOUBLE CLEANOUT, SEE PLUMBING PLANS FOR CONTINUATION
- (S4) PLACE 12 LF 6" SDR35 PVC SEWER PIPE, S=0.20
- (S5) INSTALL SEWER CLEANOUT(S) TO GRADE PER DETAIL 1/C5.1
- (S6) INSTALL APPROVED 1,500 GALLON GREASE INTERCEPTOR
- (S7) PLACE 61 LF (DEVELOPED LENGTH) 6" SDR35 PVC SEWER PIPE, S=0.036
- (S8) CONNECT TO BUILDING GREASE WASTE STUB AT DOUBLE CLEANOUT, SEE PLUMBING PLANS FOR CONTINUATION
- (S9) INSTALL LOCKING FLOOR DRAIN, REFER TO PLUMBING PLANS FOR DETAILS
- (S10) PLACE 40 LF 3" SDR35 PVC SEWER PIPE, S=0.020 (MINIMUM)

**DRY UTILITY CONSTRUCTION NOTES**

- (D1) POINT OF CONNECTION TO (E) GAS MAIN (BY GAS COMPANY)
- (D2) PROPOSED GAS METER LOCATION, COORDINATE INSTALLATION WITH GAS PROVIDER
- (D3) PLACE 10 LF ELECTRIC SECONDARY CONDUIT(S) & CONDUCTORS, REFER TO ELECTRICAL PLANS
- (D4) PROPOSED ELECTRIC SERVICE ENTRANCE/METER LOCATION. SEE ELECTRICAL PLANS FOR CONTINUATION

LUCO Engineering  
 9089 Elk Grove Blvd., Suite 207  
 Elk Grove, CA 95624  
 Phone: 916-813-7440  
 Fax: 916-765-2707



Project No. 001018



Issue Date: 01-29-2013

REVISION INFORMATION

NO.	DESCRIPTION

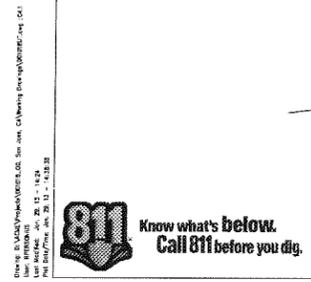
Restaurant #:

Olive Garden  
 P-76  
 2226 EASTRIDGE LOOP  
 Eastridge Mall  
 San Jose, CA

Drawing  
 UTILITY  
 PLAN

C4.1

Sht. No. 3c



CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.  
 ARCHITECTS PROJECT Job # 12-173



Issue Date: 9-4-12

REVISION	
1	12-14-12 AGENCY REV.
2	
3	
4	
5	

Restaurant #: 4468

**OLIVE GARDEN P76L WD**  
 UPDATED THRU:  
 HSKP 2010.1  
 DD-2-7-2010  
 2226 EASTRIDGE LOOP  
 SAN JOSE, CA.

Drawing  
 EXTERIOR ELEVATIONS

**A-5.1**

Sht. No. 4

NOTE:  
 THE MAXIMUM BUILDING HEIGHT FOR THIS SITE IS 22'-0" HIGH PER THE SANTA CLARA COUNTY AIRPORT COMMISSION RESTRICTIONS.

NOTE:  
 EXTERIOR PLASTER FINISH TO BE SMOOTH TROULLED SAND FINISH OR SPONGE FLOAT  
 BRICK CLINKERS (133) IN 3-5 BRICKS PER GROUP, MIXED IN FIELD W/ SIM. STONE VENEER - TYP. WHERE SHOWN  
 BRICK HEADERS OVER DOORS AND WINDOWS SHALL NOT EXTEND MORE THAN ONE BRICK PAST OPENING  
 GC TO PROVIDE STONE BLOCK OUT AN ADDITIONAL 1/2" AROUND ENTIRE SIGN PER THE SIGN MFR'S DIMENSIONS  
 URETHANE CAULK THE WINDOW SILLS TO THE STONE ON THE ENTIRE BUILDING  
 ALL EXTERIOR FASCIA & TRIM TO BE PAINTED SHALL BE #2 WESTERN RED CEDAR OR BETTER  
 TG = TEMPERED GLASS

CONC. TILE ROOFING (110)  
 WOOD FACIA - PAINT (106)  
 WOOD TRELLIS, BEAM & POSTS - STAIN (144)  
 BRICK CLINKERS (133) IN 3-5 BRICKS PER GROUP, MIXED IN FIELD W/ SIM. STONE VENEER - TYP. WHERE SHOWN  
 SIMULATED STONE VENEER (107)  
 ADDRESS SIGN - 8" H x 15 3/4" W BY OWNER, 6'-0" AFF. TO CENTER OF SIGN - VERIFY W/ DARDEN REF., EXTERIOR PLASTER BEHIND SIGN - PAINT (102)

**1 NORTH ELEVATION (FRONT)**  
 1/4" = 1'-0"

NOTE THAT THE EXTERIOR PAINT (102) TO BE APPLIED AS FOLLOWS:  
 PRIME COAT, BENJAMIN MOORE'S SUPER-SPEC. ALKYD PRIMER PRODUCT #294-02 TINTED HALF FORMULA OF OLIVE GARDEN BROWN  
 FINISH COAT, BENJAMIN MOORE'S MOORGLO HOUSE & TRIM PAINT PRODUCT #296-4b. (CUSTOM COLOR) OLIVE GARDEN BROWN 2-COATS.  
 OLIVE GARDEN BROWN FORMULA PRODUCT #6294X (GALLON FORMULA)  
 Y3 1X12  
 R3 2X2  
 S1 1X28  
 W1 1X28

CONC. TILE ROOFING (110)  
 EXT. PLASTER - PAINT (102)  
 WOOD FACIA - PAINT (106)  
 BRICK CLINKERS (133) IN 3-5 BRICKS PER GROUP, MIXED IN FIELD W/ SIM. STONE VENEER - TYP. WHERE SHOWN  
 SIMULATED STONE VENEER (107)  
 WOOD POST & TRELLIS - STAIN (144)

**2 EAST ELEVATION (LEFT)**  
 1/4" = 1'-0"

SIMULATED STONE VENEER (107) ON CHIMNEY  
 EXTERIOR CEMENT PAINT - (103)  
 CONC. TILE CAP (110)

ALUMINUM CLAD WINDOW PANEL SYSTEM W/ FIRE-FINISHED WOOD FILLER BETWEEN WINDOWS (106)  
 HOURS OF OPERATION SIGN 12 1/2" H x 10 1/2" W, 5'-0" AFF. TO BOTTOM OF SIGN, MOUNT FLUSH WITH STONE, EXT. PLASTER BEHIND SIGN - PAINT (102)

SIGN - N.I.C. APPLIED FOR UNDER SEPARATE PERMIT GEN. CONTR. TO PROVIDE BACKING IN WALL & EXT. PLASTER 3'-8" W x 4'-3" H BEHIND SIGN - PAINT (102)  
 GOOSE LAMP LIGHT FIXTURE FOR SIGNAGE ON LIGHT BOX ACCENT (131) - SEE ELEC PLANS

MANAGER PLAQUE - 8" H x 15 3/4" W, CENTER OF SIGN ALIGNS W/ CENTER OF HOURS OF OPERATIONS SIGN, MOUNT FLUSH WITH STONE, EXT. PLASTER BEHIND SIGN - PAINT (102)  
 EXT. CEMENT PLASTER - PAINT (103)  
 LIGHT BOX ACCENT - TYP (131)

CONC. TILE ROOFING (110)  
 WOOD FACIA - PAINT (106)  
 TO-GO BLADE SIGNAGE - N.I.C. APPLIED UNDER SEPARATE PERMIT. GEN. CONTR. TO PROVIDE BACKING IN WALL  
 B.O. SIGN SIMPSON CAP - PAINT TO MATCH ADJ. SURFACE - TYP.  
 WOOD POST & BEAM - STAIN (144)  
 T.O. CONC. SLAB @ BLDG.  
 FINISH GRADE - SEE GRADING PLAN  
 SIMULATED STONE VENEER (107)  
 EXTERIOR CEMENT PLASTER - PAINT (103)

CONC. TILE CAP (110)  
 FALSE WINDOW SEE DETAIL (1 A-B3)  
 WOOD FACIA - PAINT (106)

SIGN - N.I.C. APPLIED FOR UNDER SEPARATE PERMIT GEN. CONTR. TO PROVIDE BACKING IN WALL & EXT. PLASTER 11'-3" W x 5'-0" H BEHIND SIGN - PAINT (102)  
 SIMULATED STONE VENEER (107) ON CHIMNEY  
 GOOSE LAMP LIGHT FIXTURE FOR SIGNAGE ON LIGHT BOX ACCENT (131) - SEE ELEC PLANS

SIMULATED STONE VENEER (107)  
 EXTERIOR CEMENT PLASTER - PAINT (103)  
 WOOD POST & TRELLIS - STAIN (144)

FINISH GRADE - SEE GRADING PLAN



Issue Date: 9-4-12

REVISION	
△	12-14-12
△	AGENCY REV.
△	1-18-13
△	AGENCY REV.
△	
△	

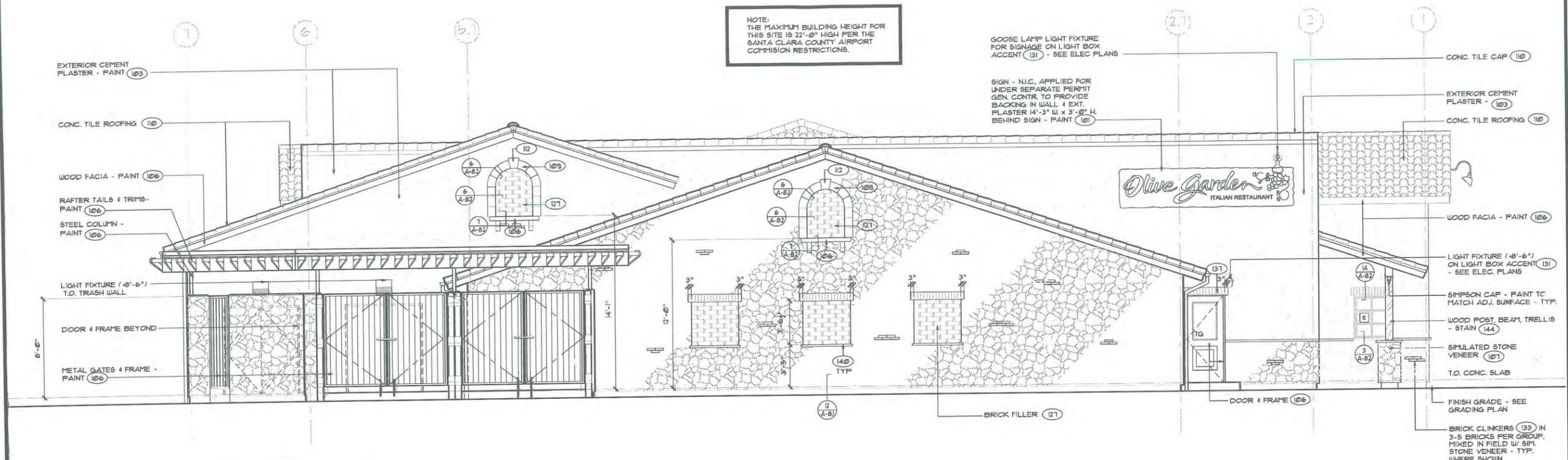
Restaurant #: 4468

OLIVE GARDEN  
 P76L WD  
 UPDATED THRU:  
 HSKP 2010.1  
 DD-2-7-2010  
 2226 EASTRIDGE  
 LOOP  
 SAN JOSE,  
 CA.

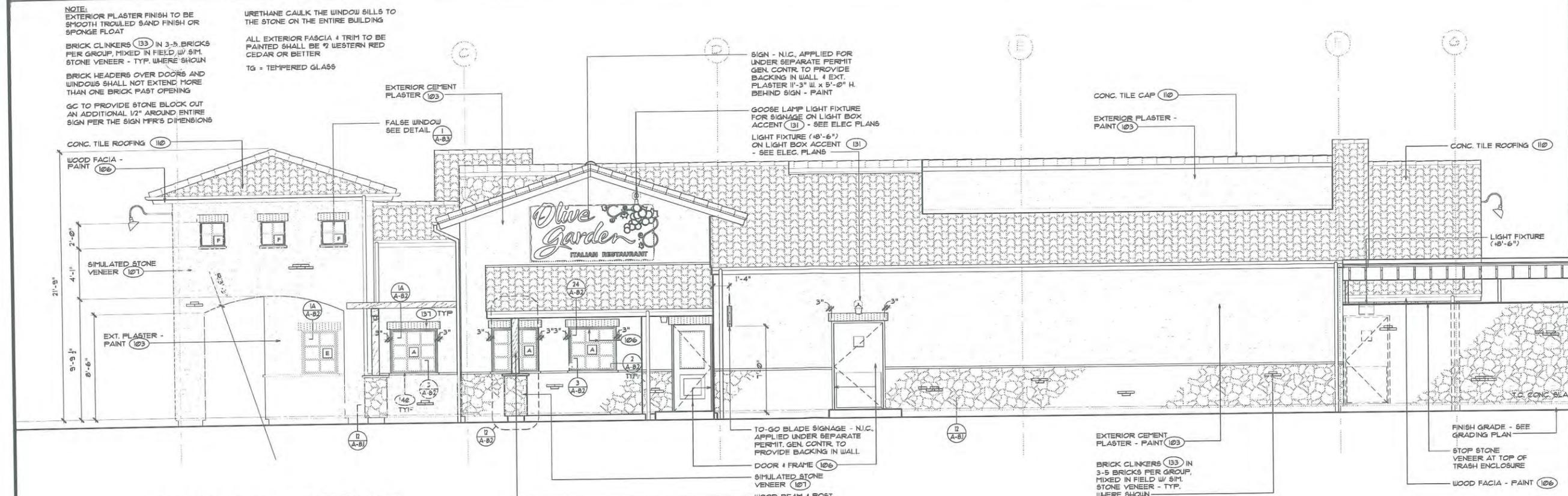
Drawing  
 EXTERIOR  
 ELEVATIONS

A-5.2

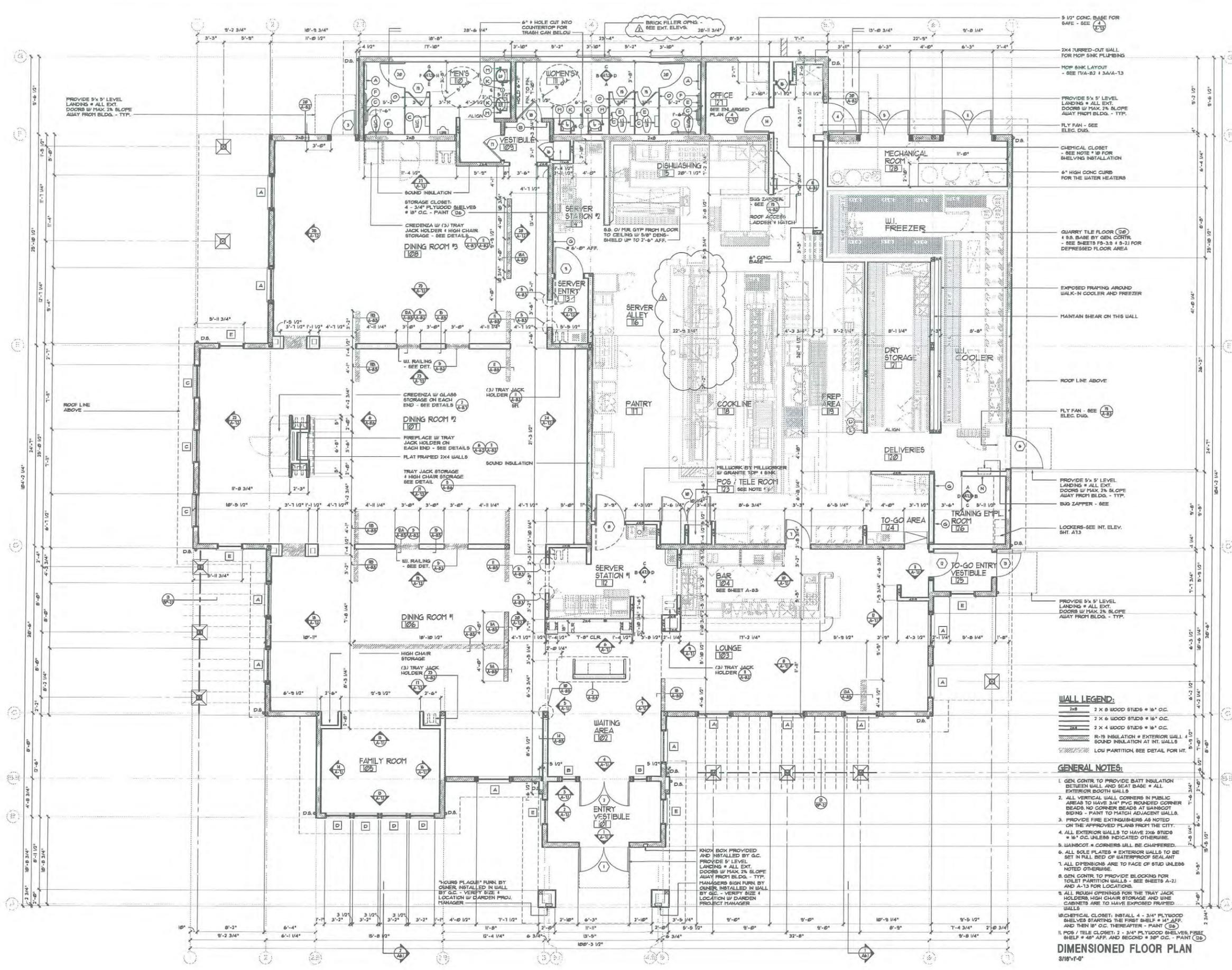
Sht. No. 4a



1 SOUTH ELEVATION (REAR)  
 1/4" = 1'-0"



2 WEST ELEVATION (RIGHT)  
 1/4" = 1'-0"



5 1/2" CONC. BASE FOR SAFE - SEE (A-11)

2x4 FURRED-OUT WALL FOR MOP SINK PLUMBING

MOP SINK LAYOUT - SEE FVA-B2 & 3A/A-13

PROVIDE 5x5' LEVEL LANDING # ALL EXT. DOORS W/ MAX 2% SLOPE AWAY FROM BLDG. - TYP.

FLY FAN - SEE ELEC. DUG.

CHEMICAL CLOSET - SEE NOTE # 10 FOR SHELVING INSTALLATION

6" HIGH CONC. CURBS FOR THE WATER HEATERS

QUARRY TILE FLOOR (17) 4 1/2" BASE BY GEN. CONTR. - SEE SHEETS F9-3.0 & 8-3.1 FOR DEPRESSED FLOOR AREA

EXPOSED FRAMING AROUND WALK-IN COOLER AND FREEZER

MAINTAIN SHEAR ON THIS WALL

ROOF LINE ABOVE

FLY FAN - SEE (B-13) ELEC. DUG.

PROVIDE 5x5' LEVEL LANDING # ALL EXT. DOORS W/ MAX 2% SLOPE AWAY FROM BLDG. - TYP.

BUG ZAPPER - SEE

LOCKERS-SEE INT. ELEV. SH. A13

PROVIDE 5x5' LEVEL LANDING # ALL EXT. DOORS W/ MAX 2% SLOPE AWAY FROM BLDG. - TYP.

**WALL LEGEND:**

- 2x8 2 X 8 WOOD STUDS @ 16" O.C.
- 2x6 2 X 6 WOOD STUDS @ 16" O.C.
- 2x4 2 X 4 WOOD STUDS @ 16" O.C.
- R-15 INSULATION + EXTERIOR WALL SOUND INSULATION AT INT. WALLS
- LOW PARTITION SEE DETAIL FOR HT.

**GENERAL NOTES:**

- GEN. CONTR. TO PROVIDE BATT INSULATION BETWEEN WALL AND SEAT BASE # ALL EXTERIOR BOOTH WALLS
- ALL VERTICAL WALL CORNERS IN PUBLIC AREAS TO HAVE 3/4" PVC ROUNDED CORNER BEADS. NO CORNER BEADS AT WAINSCOT SIDING - PAINT TO MATCH ADJACENT WALLS.
- PROVIDE FIRE EXTINGUISHERS AS NOTED ON THE APPROVED PLANS FROM THE CITY.
- ALL EXTERIOR WALLS TO HAVE 2x6 STUDS @ 16" O.C. UNLESS INDICATED OTHERWISE
- WAINSCOT # CORNERS WILL BE CHAMFERED
- ALL SOLE PLATES # EXTERIOR WALLS TO BE SET IN FULL BED OF WATERPROOF SEALANT
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
- GEN. CONTR. TO PROVIDE BLOCKING FOR TOILET PARTITION WALLS - SEE SHEETS A-21 AND A-13 FOR LOCATIONS
- ALL ROUGH OPENINGS FOR THE TRAY JACK HOLDERS, HIGH CHAIR STORAGE AND WINE CABINETS ARE TO HAVE EXPOSED FRAMED WALLS
- CHEMICAL CLOSET: INSTALL 4 - 3/4" PLYWOOD SHELVING STARTING THE FIRST SHELF 14" AFF. AND THEN 18" O.C. THEREAFTER - PAINT (16)
- POS / TELE CLOSET: 2 - 3/4" PLYWOOD SHELVES, FIRST SHELF # 40" AFF. AND SECOND # 30" O.C. - PAINT (16)

**DIMENSIONED FLOOR PLAN**  
3/16"=1'-0"

**C · R · H · O**  
Architecture Interior Planning  
195 South "C" Street 200  
Tustin, California 92780  
714 832-1834  
FAX 832-1910

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECTS OF ANY DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

**ARCHITECTS PROJECT**  
Job # 12-173



Issue Date: 9-4-12

REVISION
1-18-13
AGENCY REV.

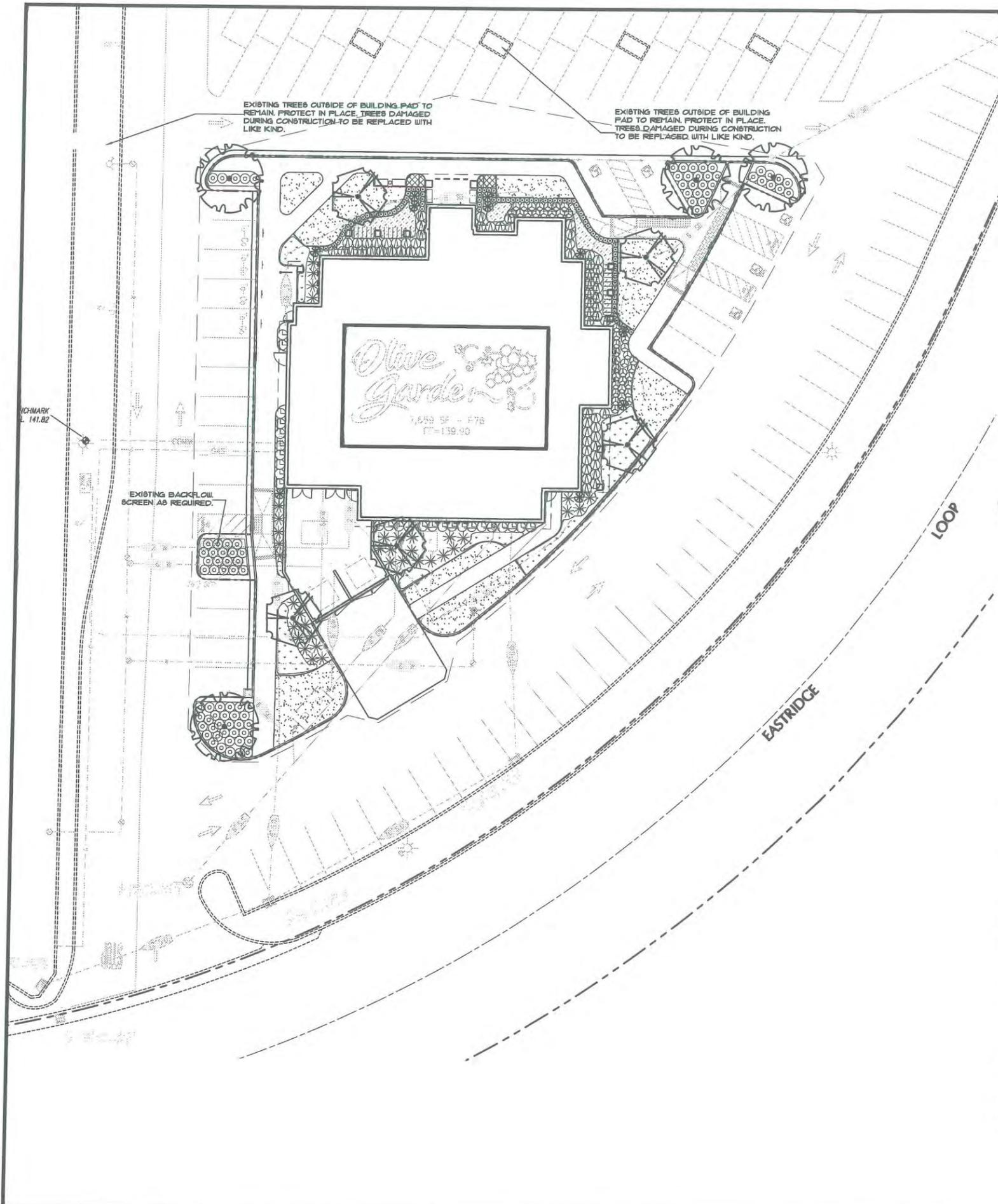
Restaurant #: 4468

**OLIVE GARDEN**  
P76L WD  
UPDATED THRU:  
HSPK 2010.1  
DD-2-7-2010  
**2226 EASTRIDGE LOOP**  
**SAN JOSE, CA.**

Drawing  
**FLOOR PLAN**

**A-1.1**

Sht. No. 5



**PLANTING LEGEND (TOTAL FOR OLIVE GARDEN LIMITS OF WORK ONLY)**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS #	ZONE
<b>TREES</b>							
(Symbol)	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	36" BOX	5	LOW BRANCHING	---	LOW
(Symbol)	PLATANUS ACERIFOLIA 'YARWOOD'	LONDON PLANE	24" BOX	4	STANDARD	---	MODERATE
(Symbol)	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	8" HGT. MIN.	11	MAINTAIN AT ROOF HT.	---	LOW
<b>SHRUBS / GROUNDCOVERS</b>							
(Symbol)	ABELIA X GRANDIFLORA 'EDWARD GOUCHER'	GLOSSY ABELIA	5 GAL.	65	3'-8" O.C.	---	MODERATE
(Symbol)	BUXUS M. JAPONICA 'WINTER GEM'	JAPANESE BOXWOOD	5 GAL.	94	1'-6" O.C.	---	MODERATE
(Symbol)	DIETES VEGETA	FORTNIGHT LILY	5 GAL.	40	2'-6" O.C.	---	LOW
(Symbol)	LIGUSTRUM JAPONICUM	WAX LEAF PRIVET	5 GAL.	25	3'-0" O.C.	---	MODERATE
(Symbol)	PHORMIUM HYBRID 'MAORI MAIDEN'	NEW ZEALAND FLAX	5 GAL.	39	4'-0" O.C.	---	LOW
(Symbol)	RHAPHIOLEPIS INDICA 'CLARA'	INDIAN HAWTHORN	5 GAL.	83	3'-0" O.C.	---	LOW
(Symbol)	NANDINA DOMESTICA 'HARBOUR DWARF'	DWARF HEAVENLY 'HARBOUR DWARF'	1 GAL. 18" O.C.	282	635 SF.	---	TRI-SPACE MODERATE
(Symbol)	LIRIOPE MUSCARI	LILY TURF	1 GAL. 18" O.C.	120	271 SF.	---	TRI-SPACE MODERATE
(Symbol)	PERENNIAL COLOR (*ASSUMES 64 PLANTS / FLAT, 64 SF. PER FLAT)	BLOOMING COLOR	FLAT 8" O.C.	2 FLATS	40 SF.	---	TRI-SPACE MODERATE
(Symbol)	FESTUCA HYBRID 'MARATHON II'	LOCALLY GROWN DROUGHT TOLERANT FESCUE	SOD	2,041 SF.	SODDED TURF W/ METAL EDGING	---	HIGH

**PLANTING NOTES**

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION(S) FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "HORTICULTURAL STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION"
- PROVIDE ROOT DEFLECTORS FOR ALL TREES PLANTED WITHIN EIGHT (8) FEET OF PAVED SURFACES.
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- SEE PLANTING DETAILS FOR PLANTING AND STAKING AND GUYING REQUIREMENTS.
- FERTILIZER FOR ALL GROUND COVER AREAS SHALL BE AS SPECIFIED WITHIN THE SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF UTILITIES. REPAIR TO INCLUDE ALL DAMAGED IRRIGATION AND PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- ALL PLANTING FINGERS TO BE TOP DRESSED WITH 3" LAYER OF FINE SHREDDED REDWOOD BARK. ALL TOP DRESSING TO BE INSTALLED TO TOP OF WALK.
- FINISH GRADE TO BE 3" BELOW TOP OF CURB OR SIDEWALK FOR SHRUB BEDS & GROUND COVER AREAS.
- ALL PLANTER AREAS TO BE ROTOTILLED AND AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS. NO DEVIATIONS.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, ROLLING, MOWING, RESEEDING, EDGING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
- ALL FINISH GRADING SHALL BE DIRECTED AWAY FROM THE BUILDING AND WALKS AND TOWARDS THE PVIOUS PLANTER AREAS TO THE MAXIMUM EXTENT PRACTICABLE. REFER TO CIVIL PLANS FOR GRADING AND DRAINAGE.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT SHALL ADHERE TO CITY OF SAN JOSE LANDSCAPE STANDARDS.
- THE LANDSCAPE CONTRACTOR IS TO PROVIDE AN ADDITIONAL 15 FLATS OF BLOOMING SEASONAL COLOR TO BE INSTALLED AS DIRECTED BY LANDSCAPE ARCHITECT.
- ALL SHRUB & GROUNDCOVER BEDS ADJACENT TO BUILDING TO HAVE 3-5" LAYER OF TAN/BUFF RIVER ROCK MULCH 1/2" - 3/4" DIAMETER WITH WEED FILTER FABRIC BELOW. ALL TOP DRESSING TO BE INSTALLED 1" BELOW TOP OF WALK. CEMENT IN STONES ADJACENT TO WALK AS REQUIRED.

**WATER CONSERVATION STATEMENT**

THE FOLLOWING ARE GUIDELINES TO WHICH THIS PLAN SHALL ADHERE IN ORDER TO CONSERVE WATER AND GENERALLY CONFORM TO THE REQUIREMENTS OF THE DROUGHT RESPONSIVE LANDSCAPE SECTION AND OTHER APPLICABLE CITY AND AGENCY REQUIREMENTS.

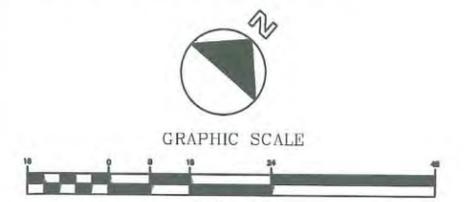
- LIMITED AMOUNT OF TURF SHALL BE USED ON THIS PROJECT.
- LOW TO MODERATE DROUGHT TOLERANT SHRUBS ARE TO BE USED.
- AN AUTOMATIC IRRIGATION CONTROLLER CONNECTED TO A RAIN SENSOR AND ET SENSOR SHALL BE PROVIDED.
- WATERING TIMES SHALL BE BETWEEN 3:00 PM AND 6:00 AM (SEE NOTE ON IRRIGATION PLANS).
- DIFFERENT PLANTING HYDROZONES SHALL BE IRRIGATED ON SEPARATE VALVES AND BASED ON SOLAR ORIENTATION, SLOPE GRADIENTS AND WATERING REQUIREMENTS.
- LANDSCAPING SHALL BE SERVICED BY SEPARATE WATER METER.

**LANDSCAPE CALCULATIONS**

SHRUB AREA:	3,805 SF.
TURF AREA:	34.9% 2,041 SF.
OG LANDSCAPE AREA:	5,852 SF.

**EXISTING TREES**

EXISTING TREES - PROTECT IN PLACE. CONTRACTOR TO REVIEW AND VERIFY LOCATIONS OF EXISTING TREES AND ALSO FOR VIABILITY AND STRUCTURAL INTEGRITY AS THEY ALIGN WITH THE PROPOSED PARKING LOT LAYOUT (SEE PLAN). IF AN EXISTING TREE(S) REQUIRES REMOVAL DUE TO A CONFLICT IN LOCATION OR THE HEALTH OF THE TREE(S) THE CONTRACTOR SHALL CONSULT WITH OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR POSSIBLE REPLACEMENT AND / OR RELOCATION OF TREE(S).



**PLANTING PLAN**

**C · R · H · O**  
 Architecture Interior Planning  
 195 South "C" Street 200  
 ustin, California 92780  
 714 832-1834  
 FAX 832-1910

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

ARCHITECTS PROJECT Job # 12-173

**Hourian Associates**  
 Landscape Architecture  
 507 AVENIDA MIRAMAR, SUITE D  
 SAN Geronimo, CA 95072  
 TEL: 404-484-5623  
 FAX: 404-484-5622  
 CA Lic. 1889

REGISTERED LANDSCAPE ARCHITECT  
 STATE OF CALIFORNIA  
 No. 12147

**Olive Garden**  
 ITALIAN RESTAURANT

Issue Date: 9-4-12

REVISION  
 AGENCY REV. 9-14-12

Restaurant #:

**OLIVE GARDEN**  
 P76L WD  
 UPDATED THRU:  
 HSKP 2010.1  
 DD-2-7-2010  
 2226 EASTRIDGE LOOP  
 SAN JOSE CA

Drawing  
 PLANTING PLAN

L2.1

Sht. No. 6



Issue Date: 9-4-12

REVISION	
△	1-18-13 AGENCY REV.
△	
△	
△	
△	

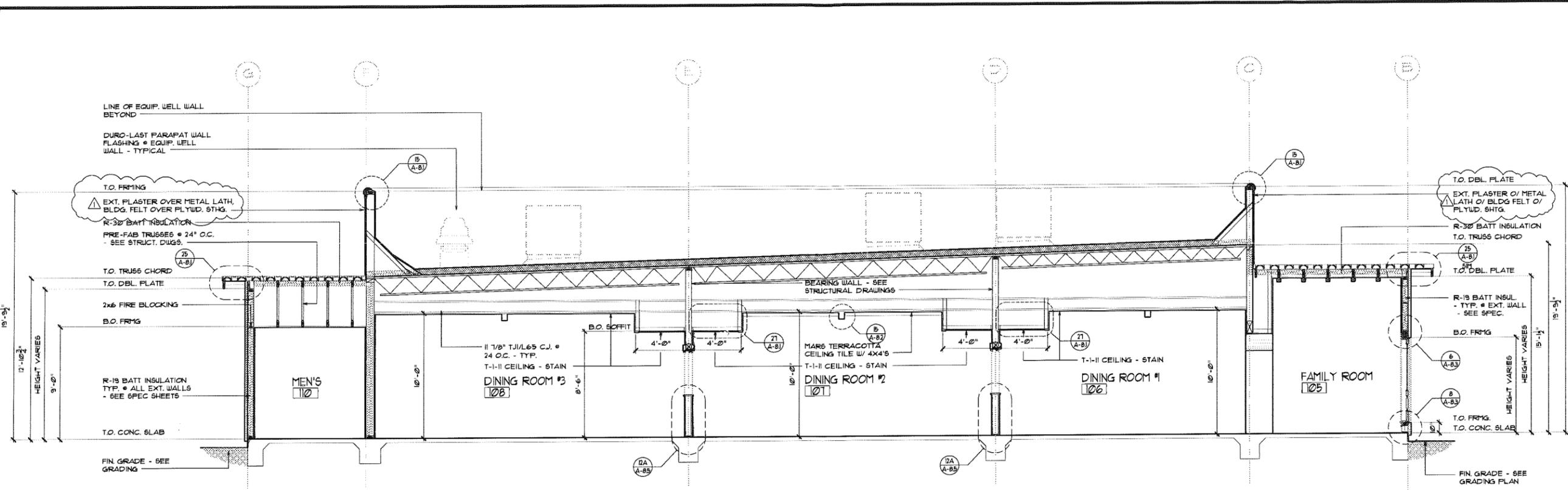
Restaurant #: 4468

**OLIVE GARDEN**  
 P76L WD  
 UPDATED THRU:  
 HSKP 2010.1  
 DD-2-7-2010  
 2226 EASTRIDGE LOOP  
 SAN JOSE, CA.

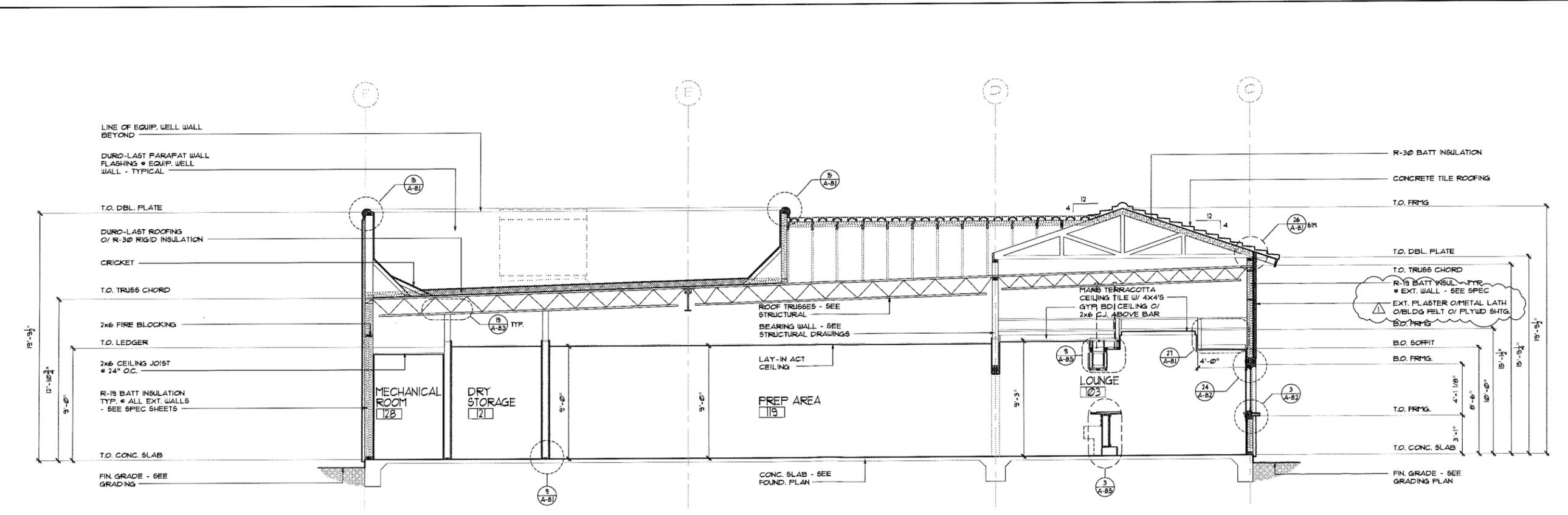
Drawing  
 SECTIONS

A-6.1

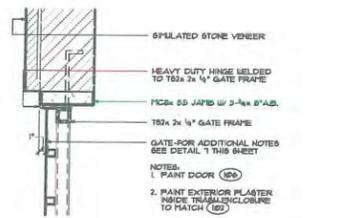
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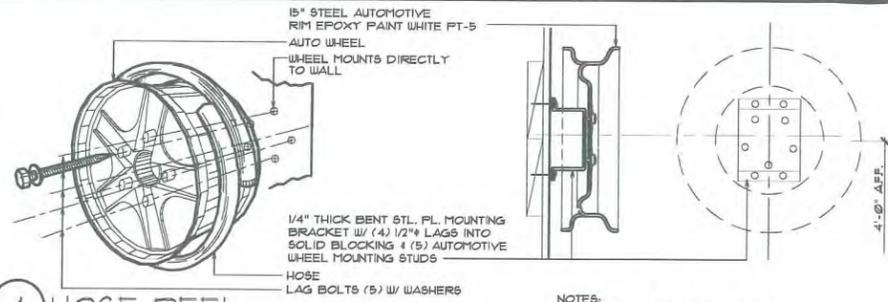
1 SECTIONS  
 1/4" = 1'-0"



2 SECTIONS  
 1/4" = 1'-0"



12 TRASH GATE

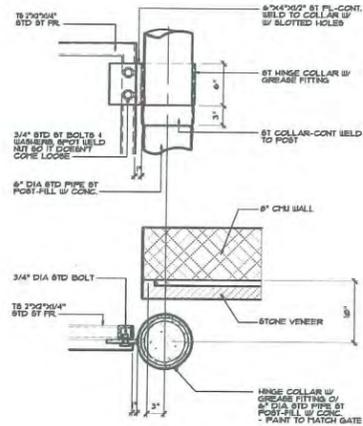


4 HOSE REEL

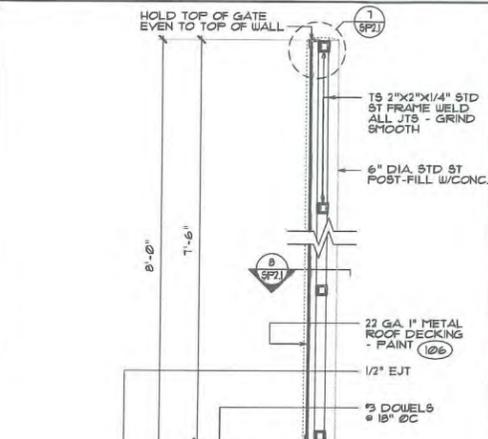
- DOOR HARDWARE FOR PAIR OF GATES:
- |              |                 |     |         |
|--------------|-----------------|-----|---------|
| 1 PADLOCK    | 157             | BR6 | SARGENT |
| 2 HASP       | CD34IBP         | 602 | STANLEY |
| 2 CANE BOLTS | CD102S - 18 IN. | 602 | STANLEY |
- BALANCE OF HARDWARE BY DOOR MANUFACTURER
- DOOR HARDWARE FOR DOOR:
- |                             |              |       |            |
|-----------------------------|--------------|-------|------------|
| 4 HINGE (SPRING LOADED)     | 850 - 5 x 5  | 600   | STANLEY    |
| 1 EXIT DEVICE (WEATHERIZED) | 2610 GUARD-X | 313AN | VON DUPRIN |
- BALANCE OF HARDWARE BY DOOR MANUFACTURER

NOTE: ALL HARDWARE TO BE PAINT TO MATCH THE EXTERIOR METAL DOORS AND DUMPSTER GATES.

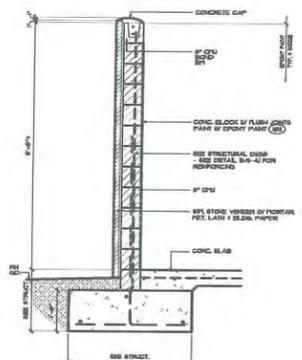
5 DOOR & GATE HARDWARE



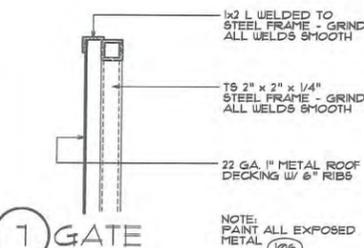
9 GATE HINGE/COLLAR



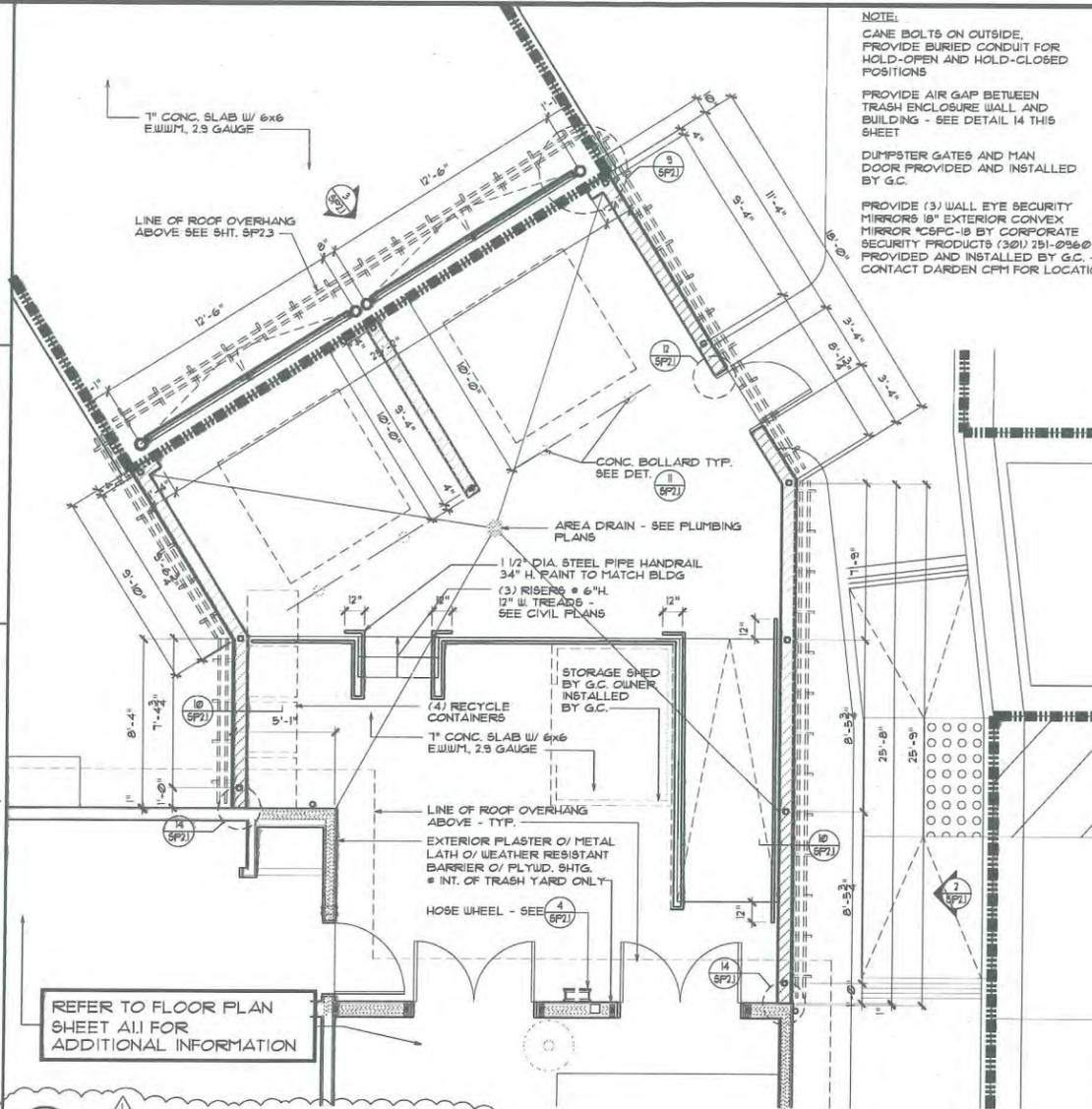
6 GATE



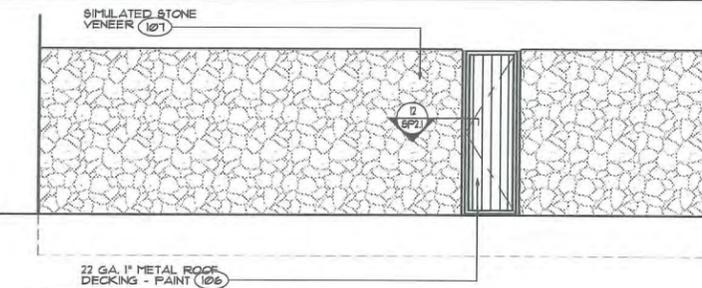
10 ENCL. WALL



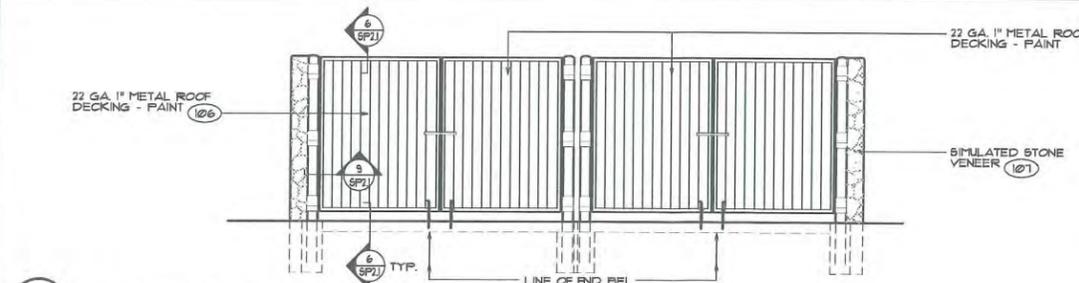
7 GATE



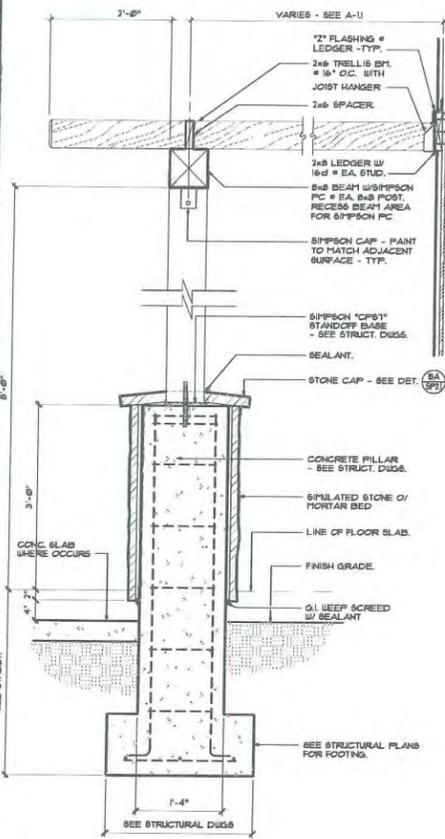
1 TRASH ENCLOSURE PLAN



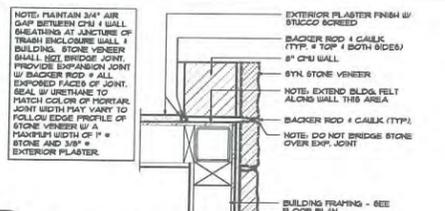
2 TRASH ENCL. ELEV.



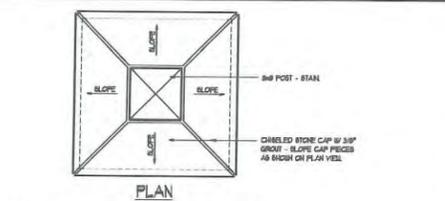
3 TRASH ENCL. ELEV.



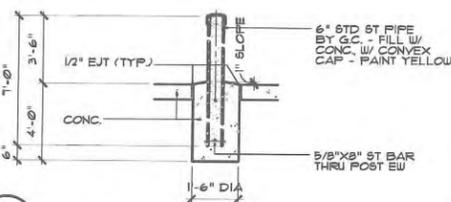
13 TRELLIS COLUMN



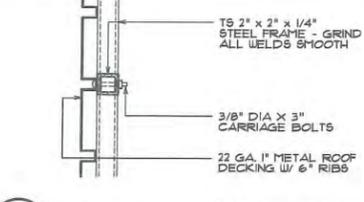
14 EXPANSION JOINT DETAIL



15A TRELLIS STONE CAP LAYOUT



11 PIPE GUARD



8 GATE

NOTE: CANE BOLTS ON OUTSIDE. PROVIDE BURIED CONDUIT FOR HOLD-OPEN AND HOLD-CLOSED POSITIONS. PROVIDE AIR GAP BETWEEN TRASH ENCLOSURE WALL AND BUILDING - SEE DETAIL 14 THIS SHEET. DUMPSTER GATES AND MAN DOOR PROVIDED AND INSTALLED BY G.C. PROVIDE (3) WALL EYE SECURITY MIRRORS 18 inch EXTERIOR CONVEX MIRROR 'CSPC-18' BY CORPORATE SECURITY PRODUCTS (301) 251-0960 PROVIDED AND INSTALLED BY G.C. - CONTACT DARDEN CFM FOR LOCATION.

C R O H O  
Architecture Interior Planning  
195 South T Street 200  
Tustin, California 92780  
714 832-1834  
FAX 832-1910  
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ARCHITECTS PROJECT Job # 12-173

Olive Garden ITALIAN RESTAURANT

Issue Date: 9-4-12

REVISION	
12-14-12	AGENCY REV.

Restaurant #: 4468

OLIVE GARDEN P76L WD  
UPDATED THRU: HSKP 2010.1  
DD-2-7-2010  
2226 EASTRIDGE LOOP  
SAN JOSE, CA.

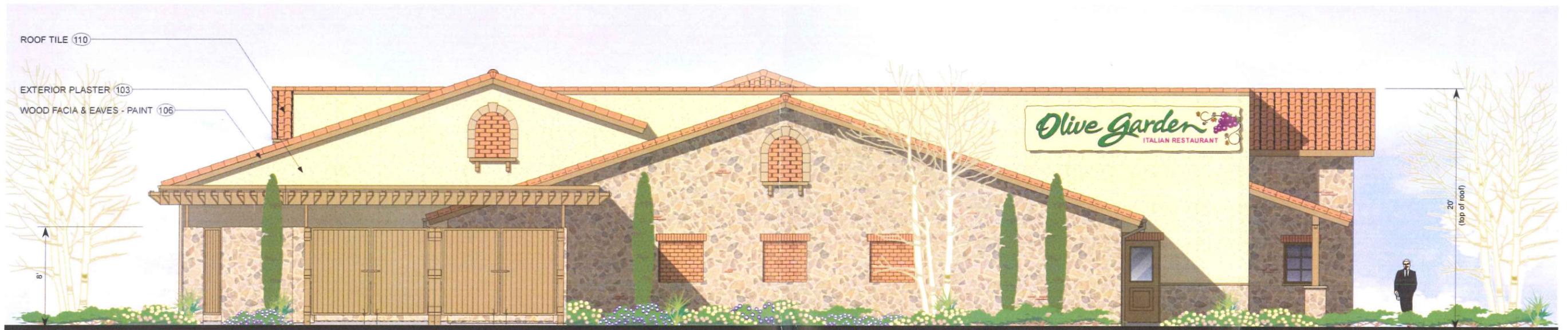
Drawing SITE DETAILS

SP2.1

Sht. No. 7a



NORTH ELEVATION



SOUTH ELEVATION



File Name: 12173 FR&RE

# ITALIAN RESTAURANT

## SAN JOSE, CA



### MATERIAL LEGEND

- 103 - PAINT @ EXTERIOR WALLS  
Benjamin Moore #HC-12 "Concord Ivory" - apply per spec.
- 106 - PAINT @ WOOD TRIM, WINDOWS & DOORS  
Benjamin Moore "Olive Garden Brown"
- 107 - STONE VENEER (w/ #133 Brick Clinkers) Coronado Stone  
"Appalachian Fieldstone" w/ matching chiseled corner stones  
Color: "Mountain Sunset"  
Grout: Natural Gray
- 110 - ROOF TILE  
Eagle Roofing Tile #3774 Capistrano Style "Olive Garden Blend"
- 133 - BRICK CLINKERS  
Coronado Stone  
2-1/8" x 8" Thin Brick - Tumbled & Spaced Randomly  
w/ Natural Gray Grout
- 144 - STAIN @ WOOD TRELLIS  
Olympic Semi-Transparent Stain #726  
Oil base, Cut 25%

For: Darden Restaurants  
Orlando, FL  
407 245 4000

By: CRHO Architects  
Tustin, CA  
714 832 1834

January 29th, 2013  
Sheet 1 of 2



WEST ELEVATION



EAST ELEVATION



File Name: 12173 LE&RI

# ITALIAN RESTAURANT

## SAN JOSE, CA



### MATERIAL LEGEND

- 103 - PAINT @ EXTERIOR WALLS  
Benjamin Moore #HC-12 "Concord Ivory" - apply per spec.
- 106 - PAINT @ WOOD TRIM, WINDOWS & DOORS  
Benjamin Moore "Olive Garden Brown"
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Olympic Semi-Transparent Stain #726  
Oil base, Cut 25%

For: Darden Restaurants  
Orlando, FL  
407 245 4000

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Tustin, CA  
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January 29th, 2013  
Sheet 2 of 2