

STAFF REPORT
PLANNING COMMISSION

FILE NO.: PDC09-019

Submitted: May 19, 2009

PROJECT DESCRIPTION:

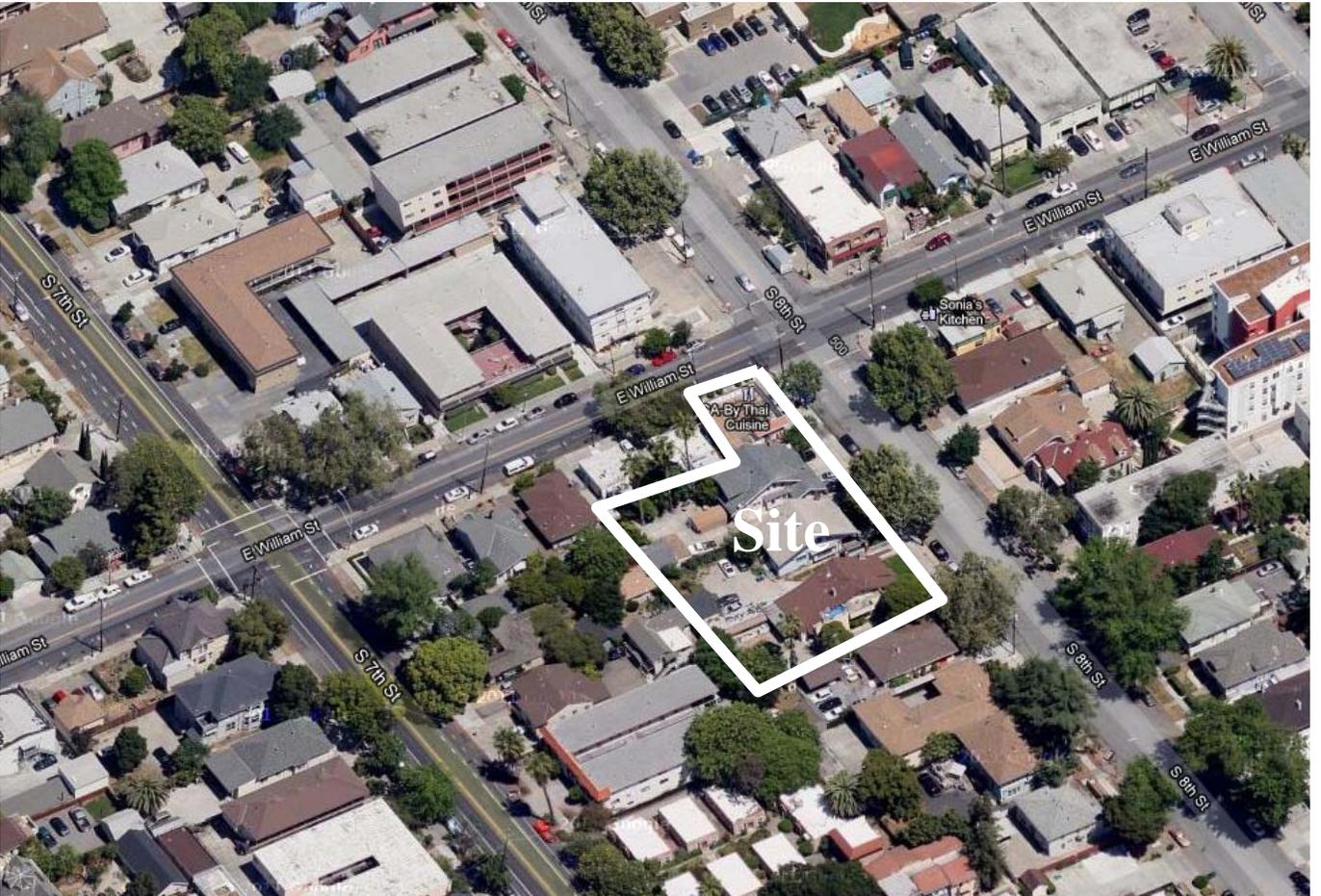
Planned Development Rezoning from unincorporated to A(PD) Planned Development to allow for the development of a mixed use project with up to 28 multi-family attached residences and 1,780 square feet of commercial space, and the conversion of an historic single-family residence for private community space on an 0.57 gross acre site.

LOCATION:

Southwest corner of William Street and S. 8th Street.

Zoning	CN - Commercial Neighborhood and R-M – Multiple Residence
Proposed Zoning	A(PD) Planned Development
2020 General Plan	High Density Residential (25-50 DU/AC)
2040 General Plan	Mixed Use Commercial and Residential Neighborhood
Council District	3
Annexation Date	March 27, 1850 (Original City)
Historic Resource	Yes
Redevelopment Area	University SNI
Specific Plan	NA

Aerial Map

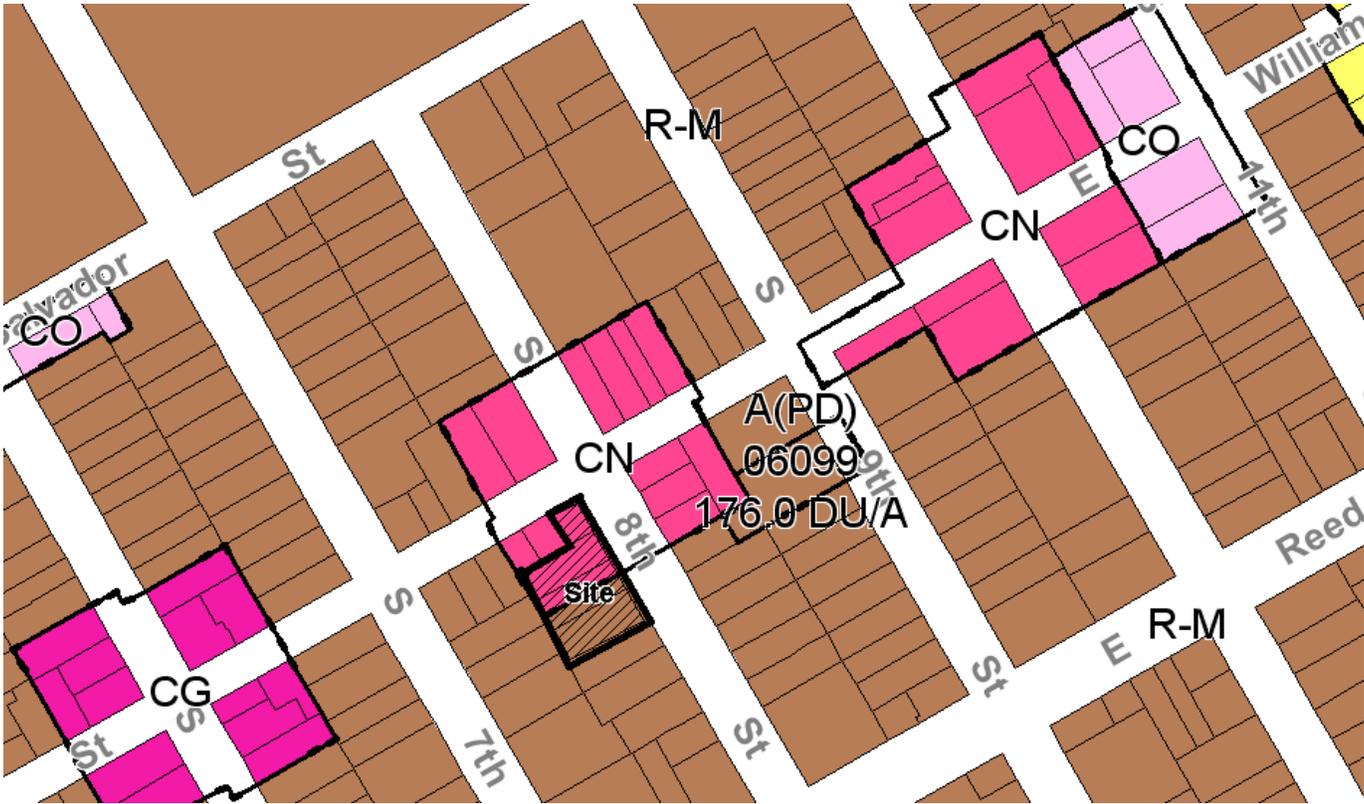


2040 GENERAL PLAN

2020 GENERAL PLAN



ZONING



RECOMMENDATION

Planning staff recommends that the Planning Commission find that the project is conformance with the California Environmental Quality Act (CEQA) and recommend to the City Council approval of the proposed Planned Development Rezoning on the subject site for the following reasons:

1. There is no substantial evidence that the project will have a significant effect on the environment. A Mitigated Negative Declaration (MND) for the proposed project was prepared in conformance with the California Environmental Quality Act (CEQA) and circulated for public review between November 9, 2012 and December 10, 2012.
2. The proposed project is consistent with the Envision San Jose 2040 General Plan which contains a specific policy that allows “pipeline projects” for development proposals that were already on file prior to the time of Council adoption of the 2040 General Plan to determine General Plan conformance with the San Jose 202 General Plan.
3. The proposed Planned Development Rezoning is consistent with the goals and policies of the San Jose 2020 General Plan, specifically:
 - a. The zoning will comply with site’s the Land Use/Transportation Diagram land use designation of High Density Residential 25-50 dwelling units per net acre (DU/AC).
 - b. The Housing Major Strategy, as the proposed project adds additional residential units in an area designated for higher density residences that is located in an area adjacent to the Downtown Core and is already served by urban services.
 - c. Historic, Archaeological and Cultural Resources Policy No. 1, as the project proposes to rehabilitate the Cooper Residence at 535 S. 8th Street and with rehabilitation, the building could be considered for designation as a San Jose Landmark and eligible for listing in the California Register of Historic Resources.
4. The project is consistent with the Residential Design Guidelines appropriate for mixed use development.

BACKGROUND & DESCRIPTION

On May 19, 2009, Paulo Hernandez of JPH Consulting, representing the property owner Brian Ho, applied for a Planned Development Rezoning on the subject site to allow for the development of up to 28 multi-family housing units, at an approximate net density of 49 dwelling units per acre, 1,780 square feet of commercial space, and the conversion of an historic single-family residence for private community space on the subject 0.57 gross acre site.

The conceptual site plan shows a four-story mixed-use development in a podium structure containing one level of subterranean parking, commercial uses at ground level surrounding an interior at-grade parking level and combination of two and three levels of residential units above. Additionally, the project includes preservation of an onsite, locally-important structure referred to as the Cooper Residence (535 S. 8th Street) and conversion of the residence into a multi-purpose center and garden. All other structures will be demolished.

Site and Surrounding Uses

The subject site is currently developed with three (3) two-story, single-family detached residences and a small 1,300 square foot restaurant, Sa-By Thai Cuisine. The land uses surrounding the site include multi-family residences to the north, single-family and multi-family residences to the east and west, and one single-family detached residence to the south followed by multi-family apartments. San Jose State University is located one block north of the subject site.



Looking south at the Sa-By Thai Cuisine restaurant on the subject site.

Community Engagement

On June 24, 2010, a community meeting was held for the subject rezoning at City Hall located at 200 E. Santa Clara Street, at which approximately 20 community members were in attendance.

Those at the meeting expressed that they were concerned about the loss of the historic buildings and that there should be large setbacks and more landscaping along 8th Street.



Looking west at the single-family residences on the subject site.

ANALYSIS

The proposed rezoning was analyzed with respect to: 1) conformance with the Envision San Jose 2040 General Plan, 2) conformance with the San Jose 2020 General Plan, 3) conformance with the Residential Design Guidelines, 4) sustainability, 5) California Environmental Quality Act (CEQA).

Envision San Jose 2040 General Plan Conformance

On November 1, 2011, the City Council approved the Envision San Jose 2040 General Plan. Under the Envision San Jose 2040 General Plan, the site has a Land Use/Transportation Diagram land use designation of Mixed Use Commercial on 0.22 acres and Residential Neighborhood on 0.35 acres. However, with the approval of the new General Plan, a specific policy was included that allows “pipeline projects” for development proposals that were already on file prior to the time of Council adoption of the Envision San Jose 2040 General Plan to determine General Plan conformance for a period of up to 18 months based on the San Jose 2020 General Plan. The pipeline project provision reads as follows:

For a period of up to 18 months following the adoption date of the 2040 General Plan, planned development zonings and discretionary development permits (including use permits and subdivision maps) may be considered for General Plan conformance to the land use designations

as shown on the final adopted version of the Focus on the Future San Jose 2020 Land Use/Transportation Diagram. In addition, during the same 18 month period, planned development zonings and development permits for residential projects of four units or less on sites with a residential designation on the final adopted version of the Focus on the Future San Jose 2020 Land Use/Transportation Diagram may be considered in conformance with the General Plan. All of the "Pipeline" applications benefiting from this policy must have been submitted to the City, including full payment of initial application fees, prior to adoption of this General Plan and their review must be completed within this same 18-month period.

The subject rezoning was on file with full payment at the time of the Council adoption, therefore, the proposed rezoning is analyzed for General Plan conformance under the San Jose 2020 General Plan as discussed below.

San Jose 2020 General Plan Conformance

The site's High Density Residential (25-50 DU/AC) land use designation under the 2020 General Plan is typified by three-to four-story apartments or condominiums over parking. This density is planned primarily near the Downtown Core Area, near commercial centers with ready access to freeways and/or expressways and in the vicinity of the rail stations within the Transit-Oriented Development Corridors Special Strategy Area. Sites with this land use designation should be developed at the high end of the density range to support a range of housing opportunities for all economic segments of the community. Sites within reasonable walking distance of a passenger rail station (2,000 feet) may be appropriate for vertical commercial/residential mixed-use development under a Planned Development zoning. The commercial component should be well integrated and well designed in the context of the overall development, with the commercial uses serving the surrounding neighborhood and rail passengers.

The project proposes a vertical mixed use development with ground floor commercial space and 28 multi-family residential units at a density of 49 dwelling units per acre. Consistent with the sites High Density Residential land use designation, the project's density is at the top of the density range. While the site is approximately 3,500 feet from light rail, it is within 1,400 feet from the Downtown Core and one block from San Jose State University, in an area that is urban and walkable and appropriate for higher density mixed use development. Therefore, the proposed development on the site is consistent with its land use designation.

The subject site has a San Jose 2020 General Plan Land Use/Transportation Diagram land use designation of High Density Residential (25-50 DU/AC) on the entire 0.57 gross acres site. The proposed vertical mixed use development with up to 28 multi-family residential units at a density of 49 DU/AC. The proposed project on the subject site is also consistent with the following General Plan Major Strategies and Policies as discussed in the following:

1. **Growth Management Major Strategy:** The purpose of a growth management strategy is to find the delicate balance between the need to house new population and the need to balance the City's budget, while providing acceptable levels of service.

The proposed project will facilitate development within the City's Urban Service Area boundary and Urban Growth boundary adjacent to the Downtown Core. Such development can be more easily supported by existing infrastructure and facilities such as libraries, schools, parks, community centers and commercial amenities.

2. Housing Major Strategy: This strategy seeks to provide sufficient housing opportunities for new workers in order to encourage and support continued economic development. To achieve this objective, the City's housing strategy includes careful planning for residential land uses at appropriate locations and densities.

The proposed project adds additional residential units in an area designated for higher density residences that is located in an area adjacent to the Downtown Core that is already served by urban services.

3. Historic, Archaeological and Cultural Resources Policy No. 1: Because historically or archaeologically significant sites, structures and districts are irreplaceable resources, their preservation should be a key consideration in the development review process.

The project site contains three residences constructed between circa 1907-1913. The Historic analysis did not find importance in the buildings at 515 or 521 S. 8th Street. However, the analysis did find that the building at 535 S. 8th Street (see photo below), referred to as the "Cooper Residence," was constructed circa 1907-1910, is of Craftsman architectural style. Should the building be rehabilitated in accordance with the Secretary of the Interior's Standards for Rehabilitation, the building could be considered for designation as a San Jose Landmark and eligible for listing in the California Register of Historic Resources. Consistent with this Policy, the project proposes to rehabilitate the Cooper Residence at 535 S. 8th Street (house only) and convert it into a community center and garden for the project.



535 S. 8th Street, the "Cooper Residence"

Residential Design Guidelines

This zoning application proposes a maximum of 28 residential units in a vertical mixed use configuration. The project is designed consistent with the intent of the Guidelines for Mixed Use Development. The proposed building is four-stories in a podium structure containing one level of subterranean parking, commercial uses at the ground level surrounding an interior at-grade parking level and a combination of

two and three levels of residential units above. The parking garage is accessed by a single driveway off of S. 8th Street.

Height

Consistent with the Zoning Ordinance for the CN Commercial Neighborhood and R-M Multiple Residence Zoning Districts, the project proposes an overall maximum height of 50 feet and four (4) stories.

Setbacks

Mixed use buildings are typically urban in character; therefore the Guidelines recommend that setbacks from streets should reflect the urban setting and should be no greater than 15 feet. Consistent with this recommendation, the project provides a 3-foot building setback from S. 8th Street and E. William Street.

The project provides a 10-foot rear setback from the multi-family and single-family structures to the west of the site that access from S 7th Street and a 10-foot side setback from the multi-family residence located to the south of the site. A majority of the structure is located 75 feet from the southern property line due to the preservation of the existing historic single-family “Cooper Residence” on the subject site. The fourth story at the southern (side) and western (rear) property lines are stepped back from the property line

Site Design

The guidelines recommend for buildings to be oriented parallel to the street particularly at corners and that active connections between buildings and the street, for example residential and retail entries, porches, stairs, decks, courtyards, and windows, should be maximized. Consistent with these recommendations the proposed building has pedestrian access for the commercial space on E. William Street and S. 8th Street, and the residential lobby located on S. 8th Street.

Parking

The Residential Design Guidelines indicate various parking ratios based on the number of bedrooms in each unit. These standards address variations in product types that include private garages. The project proposes residential parking ratios in conformance with these adopted standards for a total of 48 parking spaces required and provided. Additionally, the project includes nine (9) sets of tandem parking spaces which is a parking configuration that works best when a single unit is assigned both parking spaces. For this reason, the City has typically required that dwelling units be assigned to a tandem parking area, and the proposed Development Standards reflect this requirement.

Using the retail parking ratio from the Zoning Ordinance, the commercial space would require eight off-street parking spaces. The project provides eight (8) off-street parking spaces accessible to the public for guest parking and for the ground floor commercial space parking. Additionally, there are eight (8) on-street parking spaces located along the project frontage. Both the on- and off-street parking spaces are sufficient to serve the mixed use project that is located in a urban walkable neighborhood.

Open Space

The Guidelines recommend minimum amounts of private and common open space per unit for each product type. For the mixed use product type, the Guidelines recommend private open space at a minimum of 60 square feet per unit with a minimum dimension of 6 feet and common open space at a minimum of 100 square feet per unit.

The project provides over the recommended amount of common open space, approximately 200 square feet per unit, in the form of the community room and surrounding patio area. The project provides all units, except one, with private open space in excess of 60 square feet in the form of balconies. The proposed balconies range in size from 56 square feet to 439 square feet, with most being at 78 and 86 square feet in size. Given the excess common open space, and the urban form of development, having one unit type with less than the recommended amount of private open space is acceptable.

Sustainability

This project is subject to the City of San Jose Green Building Ordinance for New Construction Private Development. A future Planned Development Permit for this project will be conditioned to be GreenPoint rated for 50 points or LEED Silver prior to issuance of a building permit. At this time, it is unknown what green building measures the project proposes to implement.

California Environmental Quality Act (CEQA)

An Initial Study (IS) and MND were prepared by the Director of Planning, Building, and Code Enforcement for both the proposed project. The documents were circulated for public review between November 9, 2012 and December 10, 2012.

The MND states that the proposed Planned Development Rezoning will not have a significant effect on the environment. The primary environmental issues addressed in the Initial Study include the potential impacts of the physical development of the site on: biologic resources, hazards and hazardous materials, and noise. The MND includes mitigation measures that would reduce any potentially significant project impacts to a less-than-significant level. The mitigation measures will be included in the project in the form of development standards for the Planned Development Zoning, as well as, in a Mitigation Monitoring Program. The entire MND and Initial Study are available for review on the Planning web site at: <http://www.sanjoseca.gov/index.aspx?nid=2165>

PUBLIC OUTREACH/INTEREST

In addition to the community meeting mentioned earlier in this report, the property owners and occupants within a 1,000-foot radius were sent public hearing notices for the Planning Commission and City Council hearings. This staff report has been posted on the City's web site. Signage has been posted at the site to inform the public about the proposed change. Staff has been available to discuss the proposal with interested members of the public.

General Correspondence

One letter from the Valley Transportation Authority (VTA) was received in support of the project as it is intensification of a site in Downtown. One letter in opposition to the project was received and stated that the project was not consistent with the existing neighborhood. Both letters are attached to this report.

Project Manager: Lesley Xavier

Approved by:

Samuel Prevett

Date:

12-19-12

Owner/Applicant:	Attachments:
<p><u>Owner:</u> Brian Ho 3621 Bercaw Lane San Jose, CA 95124</p> <p><u>Applicant:</u> JPH Consulting c/o Paulo Hernandez 139 N. 13th Street San Jose, CA</p>	<p>Development Standards General Correspondence Plan Set</p>

FILE NO. PDC09-019
8TH & WILLIAMS PROJECT
DEVELOPMENT STANDARDS
REVISED DECEMBER 19, 2012

In any cases where the graphic plans and text may differ, this text takes precedence.

USE ALLOWANCES

- Multi-family attached residential within a density range of 25 to 50 DU/AC (14 to 28 residential units)
- Ground floor commercial uses up to 1,780 square feet (limited to areas within vertical mixed-use building only). Uses limited to those of the CP-Commercial Pedestrian Zoning District, as amended. Conditional and Special Uses as identified in the CP-Commercial Pedestrian Zoning District may be permitted with the issuance of a Planned Development Permit.
- Private Community Recreation Uses (within historic house to be preserved and restored according to the Secretary of Interior Standards). Specific limitations for the use of this structure shall be determined at the Planned Development Permit stage.

DEVELOPMENT STANDARDS

SETBACKS: *(setbacks are measured from the face of main building)*

- Building to property line on 8th Street: 3 feet
20 feet for Community Room Bldg.
- Building to property line on E. William Street: 3 feet
- Building adj. on E. William St. (APN 472-28-053): 5 feet
- West property line: 10 feet
- South property line: 10 feet (3 story elements)
16 feet (4 story elements)
16 feet (historic structure)

Setback Exceptions:

- Minor architectural projections such as awnings, trellis elements, eaves, bay windows, etc. may project into any setback by up to 2 feet subject to approval by the Director of Planning.

MAXIMUM BUILDING HEIGHT:

- Height: 50 feet above grade (4 stories), except that the majority of the building façade (at least 50% of overall length) adjacent to the E. William Street frontage shall maintain a three story maximum height.

Height Exceptions:

- Non-habitable architectural projections and special treatments (e.g., chimneys, weather vanes, cupolas, pediments, etc.) shall be permitted to project above the maximum height limit by 10 feet. Non-habitable mechanical and equipment rooms shall also be permitted to exceed the height limit provided that such equipment is screened from the predominant public view or architecturally integrated within the building.

PARKING REQUIREMENTS:

- Commercial: Conform to the Zoning Ordinance, as amended.
- Residential: Conform to the Zoning Ordinance, under table 20-210 (all open parking), as amended. Tandem spaces are permitted, but for units that are assigned to such spaces, the parking requirement shall be two (2) spaces per unit.

Parking Exception for Street Parking: The overall residential and commercial parking requirement may be reduced at the discretion of the Director of Planning at the Planned Development Permit stage, provided that the developer can demonstrate that adequate street parking along the public street frontages of the project is provided in accordance with the standards identified for the this project.

BICYCLE AND MOTORCYCLE PARKING REQUIREMENTS:

- Shall be provided per Title 20, Table 20-190 and Table 20-250, as amended.

OPEN SPACE REQUIREMENTS:

- Private Open Space: 60 square feet per unit (for at least 50% of the units). Up to 50% of the units are not required to provide private open space.
- Common Open Space: 100 square feet per unit.

PUBLIC WORKS

Public Works Clearance for Building Permit(s) or Map Approval: Prior to the approval of the Tract or Parcel Map (if applicable) by the Director of Public Works, or the issuance of Building permits, whichever occurs first, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.

1. **Construction Agreement:** The public improvements conditioned as part of this permit require the execution of a Construction Agreement that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This agreement includes privately engineered plans, bonds, insurance, a completion deposit, and engineering and inspection fees.
2. **Grading/Geology:**
 - a) A grading permit is required prior to the issuance of a Public Works Clearance.
 - b) If the project proposes to haul more than 10,000 cubic yards of cut/fill to or from the project site, a haul route permit is required. Prior to issuance of a grading permit, contact the Department of Transportation at (408) 535-3850 for more information concerning the requirements for obtaining this permit.

- c) The Project site is within the State of California Seismic Hazard Zone. A geotechnical investigation report addressing the potential hazard of liquefaction must be submitted to, reviewed and approved by the City Geologist prior to issuance of a grading permit or Public Works Clearance. The investigation should be consistent with the guidelines published by the State of California (CGS Special Publication 117A) and the Southern California Earthquake Center (SCEC, 1999). A recommended depth of 50 feet should be explored and evaluated in the investigation.
 - d) In order to accomplish the proposed grading and excavation for this project a detailed shoring plan will have to be submitted during the grading stage.
 - e) Only shoring tie-backs are allowed to encroach into the public right-of-way, no other shoring equipment shall encroach into the public right-of-way.
3. **Stormwater Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of Best Management Practices (BMPs) that include site design measures, source controls, and stormwater treatment controls to minimize stormwater pollutant discharges. Post-construction treatment control measures, shown on the project's Stormwater Control Plan, shall meet the numeric sizing design criteria specified in City Policy 6-29.
- a) Final inspection and maintenance information on the post-construction treatment control measures must be submitted prior to issuance of a Public Works Clearance.
4. **Flood: Zone D.** The project site is not within a designated Federal Emergency Management Agency (FEMA) 100-year floodplain. Flood zone D is an unstudied area where flood hazards are undetermined, but flooding is possible. There are no City floodplain requirements for Zone D.
5. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
6. **Parks:** This residential project is subject to either the requirements of the City's Park Impact Ordinance (Chapter 14.25 of Title 14 of the San Jose Municipal Code) or the Parkland Dedication Ordinance (Chapter 19.38 of Title 19 of the San Jose Municipal Code) for the dedication of land and/or payment of fees in-lieu of dedication of land for public park and/or recreational purposes under the formula contained within in the Subject Chapter and the Associated Fees and Credit Resolutions.
7. **Undergrounding:**
- a) The In Lieu Undergrounding Fee shall be paid to the City for all frontage adjacent to East William Street prior to issuance of a Public Works clearance. Seventy-five percent (75%) of the base fee in place at the time of payment will be due. Currently, the 2012 base fee is \$412 per linear foot of frontage and is subject to change every January 31st based on the Engineering News Record's 20 City Average Cost Index. The project will be required to pay the current rate in effect at the time the Public Works Clearance is issued. (Based on 2012 rate, the fee is approximately \$15,373.00.)

- b) The Director of Public Works may, at his/her discretion, allow the developer to perform the actual undergrounding of all off-site utility facilities fronting the project adjacent to East William Street. Developer shall submit copies of executed utility agreements to Public Works prior to the issuance of a Public Works Clearance.
8. **Street Improvements:**
- a) Remove and replace broken or uplifted curb, gutter, and sidewalk along project frontage.
 - b) Close unused driveway cut(s).
 - c) Proposed 2-way driveway width to be 20' min. to 26' max.
 - d) Repair, overlay, or reconstruction of asphalt pavement may be required. The existing pavement will be evaluated with the street improvement plans and any necessary pavement restoration will be included as part of the final street improvement plans.
9. **SNI:** This project is located within the University SNI area. Public improvements shall conform to the approved EIR and neighborhood improvement plan.
10. **Electrical:** Existing electroliers along the project frontage will be evaluated at the public improvement stage and any street lighting requirements will be included on the public improvement plans.
11. **Street Trees:** Install any missing street trees within public right-of-way along entire project street frontage per City standards. The locations of the street trees will be determined at the street improvement stage. Contact the City Arborist at (408) 277-2756 for the designated street tree. Obtain a DOT street tree planting permit for any proposed street tree plantings. Street trees shall be installed in cut-outs at the back of curb.

Environmental Mitigation

Biotics

1. Mature trees on the project site may provide nesting habitat for raptors (birds of prey). Raptors and their nests are protected under the Migratory Bird Treaty Act of 1918 and California Department of Fish and Game (CDFG) Code Sections 3503 and 3503.5. Although no raptors or nests were observed on the site, mature trees suitable for raptor nesting occur on the site. Despite the disturbed nature of the site, there remains the potential for raptors to nest in these trees. Mitigation is identified below to reduce this potential impact to a less-than-significant level.

2. If possible, construction should be scheduled between October and December (inclusive) to avoid the raptor nesting season. If this is not possible, pre-construction surveys for nesting raptors shall be conducted by a qualified ornithologist to identify active raptor nests that may be disturbed during project implementation. Between January and April (inclusive) pre-construction surveys shall be conducted no more than 14 days prior to the initiation of construction activities or tree relocation or removal. Between May and August (inclusive), pre-construction surveys no more than thirty (30) days prior to the initiation of these activities. The surveying ornithologist shall inspect all trees in and immediately adjacent to the construction area for raptor nests. If an active raptor nest is found in or close enough to the construction area to be disturbed by these activities, the ornithologist, shall, in consultation with the State of California, Department of Fish & Game (CDFG), designate a construction-free buffer zone (typically 250 feet) around the nest.
3. Pre-construction surveys conducted no more than 14 days prior to the initiation of construction activities or tree relocation or removal shall be provided electronically for review to the satisfaction of the Director of Planning, Building and Code Enforcement.
4. If an active raptor nest is found in or close enough to the construction area to be disturbed by these activities, the ornithologist, shall, in consultation with the State of California, Department of Fish & Game (CDFG), designate a construction-free buffer zone (typically 250 feet) around the nest. The applicant shall submit a report to the City's Environmental Principal Planner indicating the results of the survey and any designated buffer zones to the satisfaction of the Director of Planning prior to the issuance of any grading or building permit.
5. All measures shall be printed on all construction documents, contracts, and project plans.

Hazardous Materials

1. Development of the project will require the export contaminated material. Pesticides may have been historically used on the project site. In addition, lead may be present in soil from historic use of lead-containing paint for onsite structures. This represents a potentially significant impact that can be reduced to a less-than-significant level with the following mitigation.
2. Prior to initiation of earthwork activities, the project proponent shall perform soil testing on the project site and analytically test for pesticide residuals and related metals arsenic, lead, and mercury. Sampling activities shall be coordinated with the San Jose Environmental Services Department. If contamination is identified in the soil samples above applicable levels, the project proponent shall prepare a Site Management Plan (SMP) to establish protocols/guidelines for the contractor including: identification of appropriate health and safety measures while working in contaminated areas; soil reuse; handling and disposal of any contaminated soils; and agency notification requirements. The SMP shall be subject to the review and approval of the appropriate regulatory agency.
3. Pre-construction soil test conducted no more than 14 days prior to the initiation of construction activities shall be provided electronically for review to the satisfaction of the Director of Planning, Building and Code Enforcement.
4. The applicant shall submit a report to the City's Environmental Principal Planner indicating the results of the soil tests and any designated mitigation measures to the satisfaction of the Director of Planning prior to the issuance of any grading or building permit.

Noise

1. Estimated future noise levels at the proposed residential uses are forecast to range from DNL 56 dBA in the western (shielded) portion of the site to DNL 68 dBA along William Street.
2. Final project design plans shall show exterior windows and doors with sound insulation ratings in the range of STC 28 to 30 along William Street and STC 26 to 28 along 8th Street and in other portions of the site are expected to reduce traffic noise to DNL 45 dBA indoors. This assumes exterior walls will consist of Hardi siding or shakes over plywood sheathing, insulation in stud cavities and at least 1 layer of gypsum board on unit interiors. Where windows will need to be closed to meet the interior noise criteria, which apply to the units facing William and 8th Streets, final project design plans shall include a ventilation or air conditioning system to provide a habitable interior environment.
3. Final design plans shall show 42-inch tall noise barriers at elevated balconies or decks facing William and 8th Streets to reduce future traffic noise to approximately DNL 60 dBA or lower for seated residents. Effective barriers may be comprised of a variety of materials, including glass or plastic, should be solid from bottom to top with no cracks or gaps, and should have a minimum surface density of three pounds per square foot. Specific details shall be determined during the design phase when the site plan, floor plans and elevations have been finalized. The project shall incorporate the recommendations of the noise assessment into final design as set forth in the noise assessment.



December 10, 2012

City of San Jose
Department of Planning and Building
200 East Santa Clara Street
San Jose, CA 95113

Attention: Rebekah Ross

Subject: City File No. PDC 09-019 / 8th Street and William Street Mixed Use

Dear Ms. Ross:

Santa Clara Valley Transportation Authority (VTA) staff have reviewed the Initial Study for 28 condominiums and 1,780 square feet of retail use on 0.57 acre at the southwest corner of William Street and 8th Street. We have the following comments.

Land Use

VTA supports the proposed land use intensification of this infill site in Downtown San Jose. This site is strategically located on the regional transportation network and within walking distance of both VTA Light Rail lines and several bus lines. In addition, the site's location within a short walking distance to San Jose State University, the San Jose Central Business District, and numerous shops and services will provide opportunities for daily tasks to be accomplished by walking and biking, thereby incrementally reducing automobile trips and greenhouse gas emissions. This location is identified as part of the Regional Core in VTA's Community Design & Transportation (CDT) Program Cores, Corridors and Station Areas framework, which shows VTA and local jurisdiction priorities for supporting concentrated development in the County. The CDT Program was developed through an extensive community outreach strategy in partnership with VTA Member Agencies, and was endorsed by all 15 Santa Clara County cities and the county.

Thank you for the opportunity to review this project. If you have any questions, please call me at (408) 321-5784.

Sincerely,

A handwritten signature in black ink that reads "Roy Molseed". The signature is written in a cursive, flowing style.

Roy Molseed
Senior Environmental Planner

sj1209

From: Robert Howell [mailto:rphowell@sbcglobal.net]
Sent: Monday, December 10, 2012 8:54 AM
To: Walsh, Susan
Cc: The Office of Mayor Chuck Reed
Subject: 8th Street project

Hello Susan,

I have a "notice" about a big project on the 500 block of South 8th Street. The letter is dated Nov 28. It is post marked Dec 5, and any written complaints are due today, 12-10-12. This is not a fair notice. I object to this NO NOTICE. This project will trash the old neighborhood forever.

Please consider this email my formal written complaint. I would like the opportunity to speak at the Jan 9 meeting. No time to get a proper legal answer.

FYI: You might want to visit South 8th Street, I think the same guy who owns this project has a house with a 100% paved yard, front & back, NO dirt, NO grass of any kind. There are people living in the basement, in the detached garage. Cars parked everywhere. When I complained years and years ago, I was told that there is nothing that can be done!!!!

But you can send me a bill when your tree, on your property, cracks your sidewalk!!! It must be my problem.

WE WILL BE THERE ON JAN 9th!!!!

Robert Howell
408-997-0635

PLANNED DEVELOPMENT ZONING

8TH & WILLIAM STREET MIXED USE DEVELOPMENT

SHERWIN SOUTH CAMPUS, LLC

PDC 09-019

AERIAL VIEW



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3.0B	CONCEPTUAL DEMOLITION PLAN	6.0A	CONCEPTUAL LANDSCAPE ELEMENTS
4.0	CONCEPTUAL GRADING & DRAINAGE PLAN	6.0B	CONCEPTUAL LANDSCAPE ARCHITECTURAL PLAN
4.0A	CONCEPTUAL STORM WATER CONTROL PLAN	6.0C	CONCEPTUAL LANDSCAPE PLANT PALETTE
4.0B	CONCEPTUAL STORM WATER CONTROL DETAILS	6.0D	CONCEPTUAL LANDSCAPE TREE DISPOSITION PLAN
5A	CONCEPTUAL ELEVATIONS		

PROJECT INFORMATION

ASSESSOR'S PARCEL NUMBER	472-28-054, 055, 056 & 057
PROPOSED GENERAL PLAN DESIGNATION	HIGH DENSITY RESIDENTIAL (25-50 DU/AC)
EXISTING GENERAL PLAN DESIGNATION	HIGH DENSITY RESIDENTIAL (25-50 DU/AC)
PROPOSED ZONING DESIGNATION	A(PD)
EXISTING ZONING DESIGNATION	COMMERCIAL NEIGHBORHOOD (CN), MULTI-FAMILY RESIDENTIAL (R-M)
GROSS SITE AREA	0.57 AC
PROPOSED USE	A MIXED-USE DEVELOPMENT w/28 MULTI-FAMILY UNITS , GROUND FLOOR RETAIL + REHABILITATION AND REUSE OF EXISTING HOUSE TO COMMUNITY CENTER & GARDEN
PROPOSED DENSITY	49 DU/AC
CONSTRUCTION START DATE	TO BE DETERMINED
CONSTRUCTION END DATE	TO BE DETERMINED

SITE INFORMATION

BUILDING AREA COVERAGE (PODIUM)	15,533 SF (63 %)
LANDSCAPE AREA COVERAGE (OFF PODIUM)	7,042 SF (28 %)
COMMUNITY CENTER (OFF PODIUM)	2,261 SF (09 %)
WALKS & DRIVEWAY (OFF PODIUM)	0 SF (00 %)
TOTAL GROSS SITE AREA	24,836 SF (100 %)

UNIT / PARKING INFORMATION

STUDIO / 1 BATH UNITS (650-754 SF)	4
1 BEDROOM / 1 BATH UNITS (910 - 1,175 SF)	9
2 BEDROOM / 2 BATH UNITS (1,097 - 1,368 SF)	8
3 BEDROOM / 2 BATH UNITS (1,334 - 1,760 SF)	7
TOTAL NUMBER OF RESIDENTIAL UNITS PROPOSED	28
TOTAL RESIDENTIAL PARKING REQUIRED	47.9
TOTAL RETAIL PARKING REQUIRED (1,780x 85 % x 0.005)	7.6
TOTAL RESIDENTIAL + RETAIL PARKING REQUIRED	56
TOTAL OFF-STREET PARKING PROVIDED	51
SHARED PARKING	5

DEVELOPER / CONSULTANTS

DEVELOPER / OWNER	SHERWIN SOUTH CAMPUS, LLC 260 Main Street, Suite 200 Redwood City, CA 94063
ARCHITECT	LPMD ARCHITECTS 1288 Kifer Road #206 Sunnyvale, CA 94086
LAND PLANNER	JPH CONSULTING 139 N. 13th Street San Jose, CA 95112
CIVIL ENGINEER & LANDSCAPE ARCHITECT	VER CONSULTANTS, INC 1625 The Alameda Suite 406 San Jose, CA 95126

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REVISIONS

PROJECT:	2008.124
DRAWN:	YC
DESIGN:	DRR
SCALE:	1" = 30'
DATE:	OCTOBER 12, 2012
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	PROJECT DATA

TITLE SHEET

8TH & WILLIAM STREET MIXED USE DEVELOPMENT

GENERAL DEVELOPMENT PLAN - EXHIBIT C | PLANNED DEVELOPMENT ZONING - PDC09-019

GRAPHIC SCALE

1.0
SHEET NUMBER

LPMD Architects
1288 Kifer Road, Suite 206
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Telephone : 408-992-0280
Fax : 408-992-0281

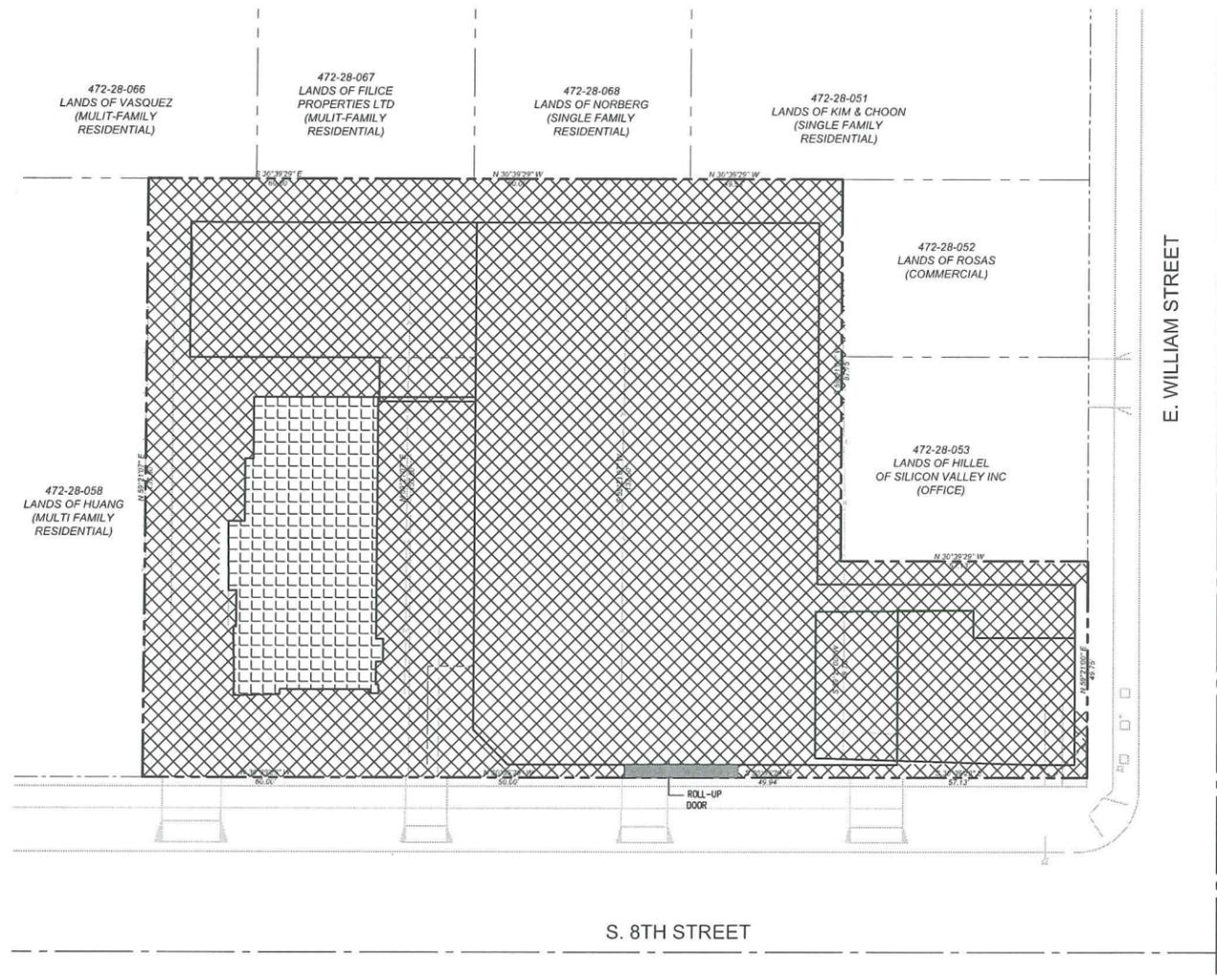
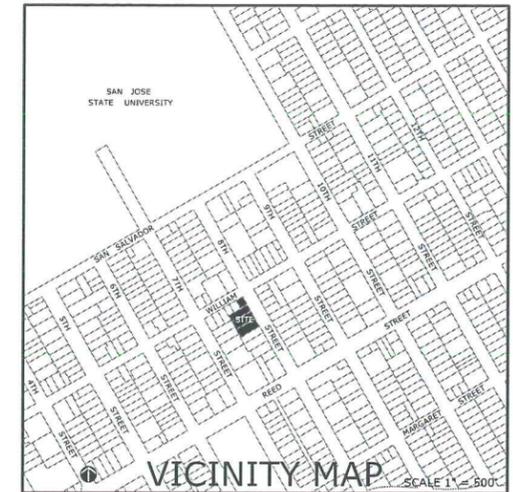
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LEGEND

EX. RESIDENTIAL		AREA (SF)	% OF AERA
EX. BUILDING TO REMAIN		2,261	9.1%
MIXED USE RESIDENTIAL COMMERCIAL		22,575	90.9%
TOTAL AREAS(SF)		24,836	100%

DEVELOPMENT STANDARDS:

1.



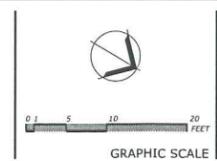
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▲	PROJECT: 2008.124
▲	DRAWN: YC
▲	DESIGN: DRR
▲	SCALE: 1" = 10'
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LAND USE PLAN

8TH & WILLIAM STREET MIXED USE DEVELOPMENT

GENERAL DEVELOPMENT PLAN - EXHIBIT C | PLANNED DEVELOPMENT ZONING - PDC09-019

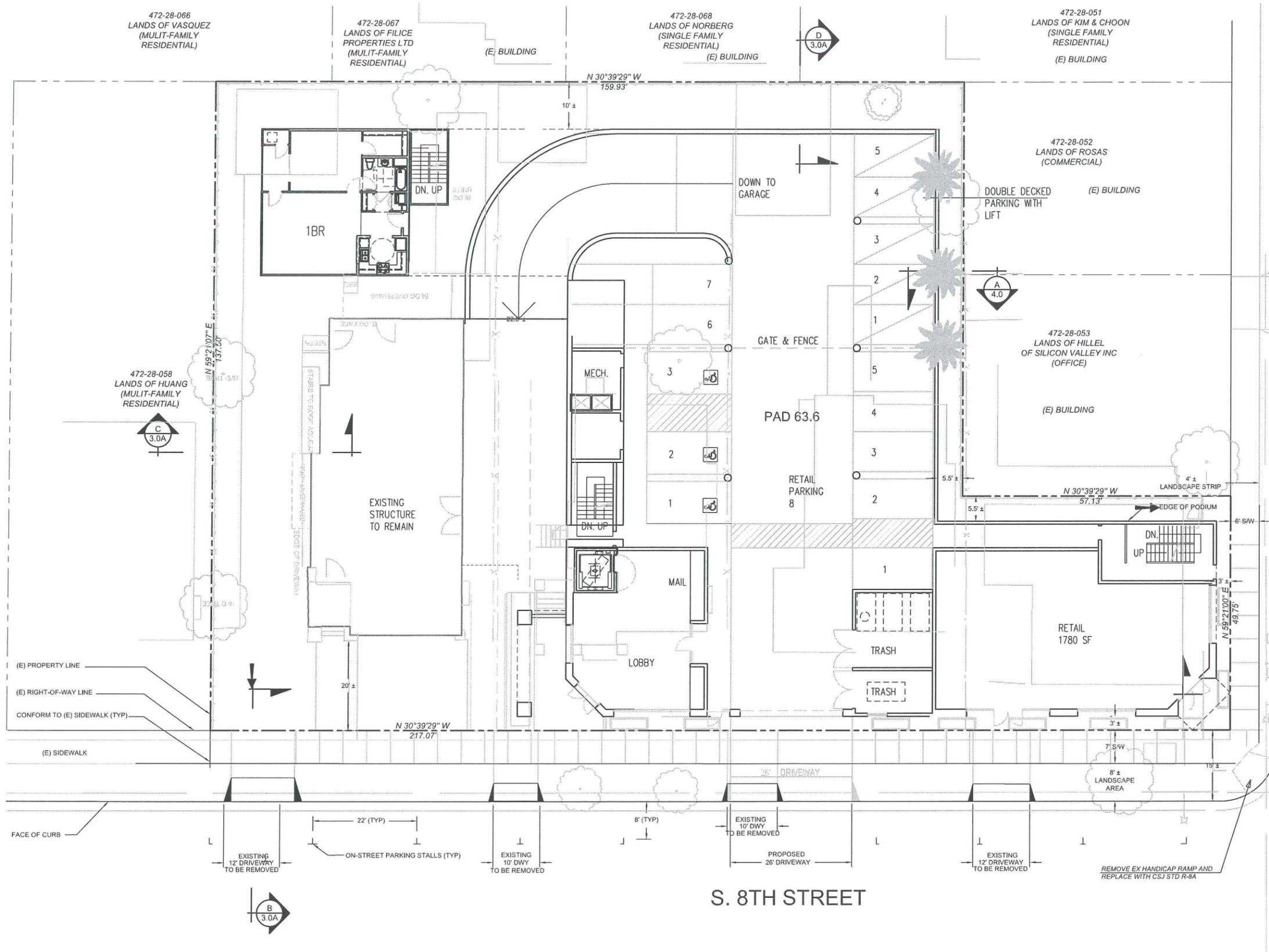


2.0
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E. WILLIAM STREET

LEGEND

SYMBOL	DESCRIPTION
---	PROJECT BOUNDARY
- - -	EXISTING LOT LINE
- · - · -	EASEMENT
---	PUBLIC RIGHT-OF-WAY
---	FACE OF CURB
---	BUILDING OUTLINE
---	BUILDING (OVERHEAD / BELOW)
---	SIDEWALK
---	LIP OF GUTTER
---	DRIVEWAY
---	PEDESTRIAN CIRCULATION
---	VEHICULAR CIRCULATION
1-3	SECTION NUMBER
G-3	SHEET NUMBER
000-00-000	ASSESSOR'S PARCEL NUMBER
LANDS OF SMITH	LAND OWNER
(RESIDENTIAL)	EXISTING LAND USE

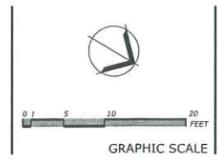
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REVISIONS	PROJECT DATA
▲	PROJECT: 2008.124
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CONCEPTUAL SITE PLAN

8TH & WILLIAM STREET MIXED USE DEVELOPMENT

GENERAL DEVELOPMENT PLAN - EXHIBIT C | PLANNED DEVELOPMENT ZONING - PDC09-019

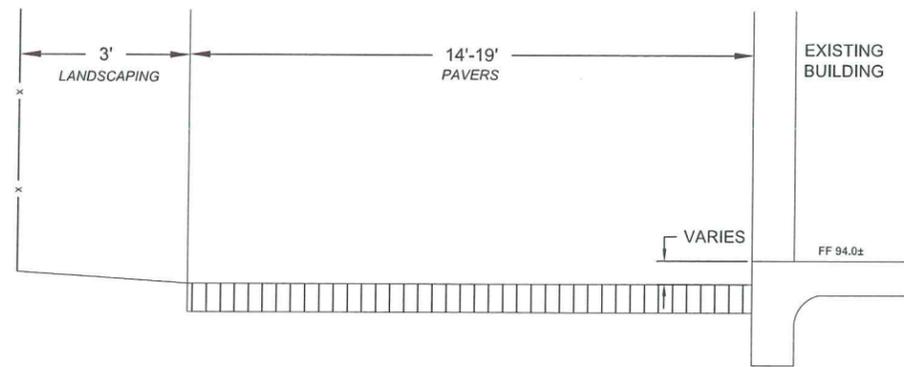


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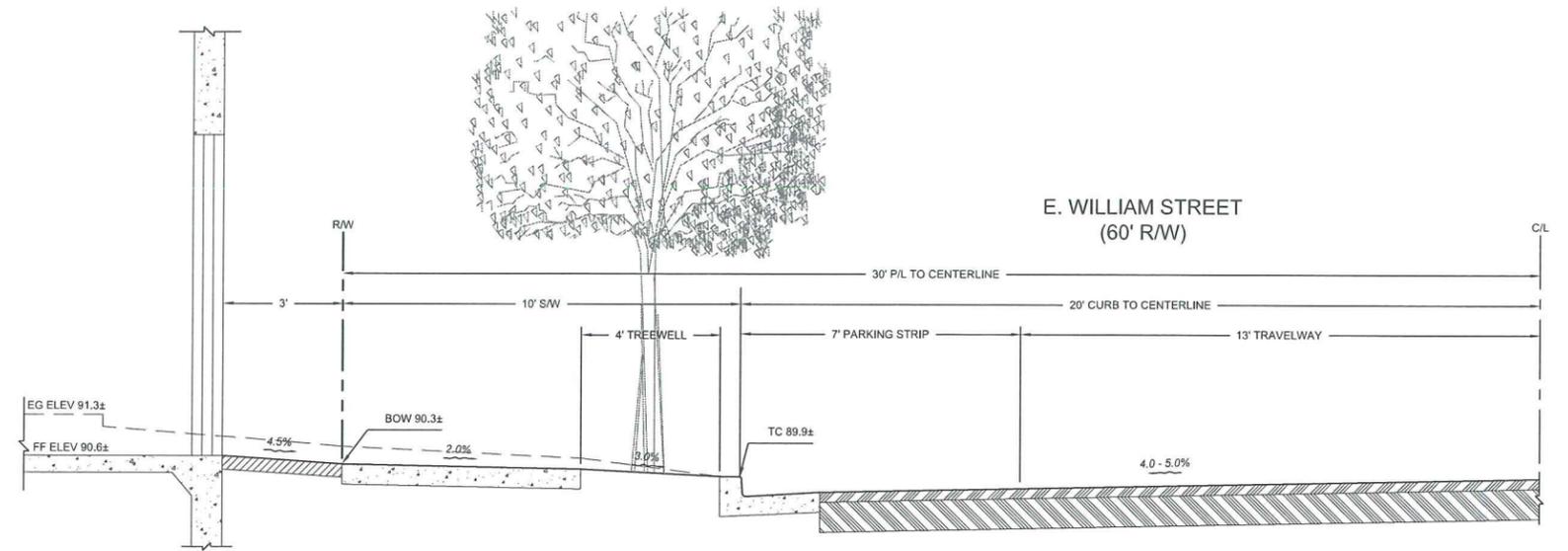
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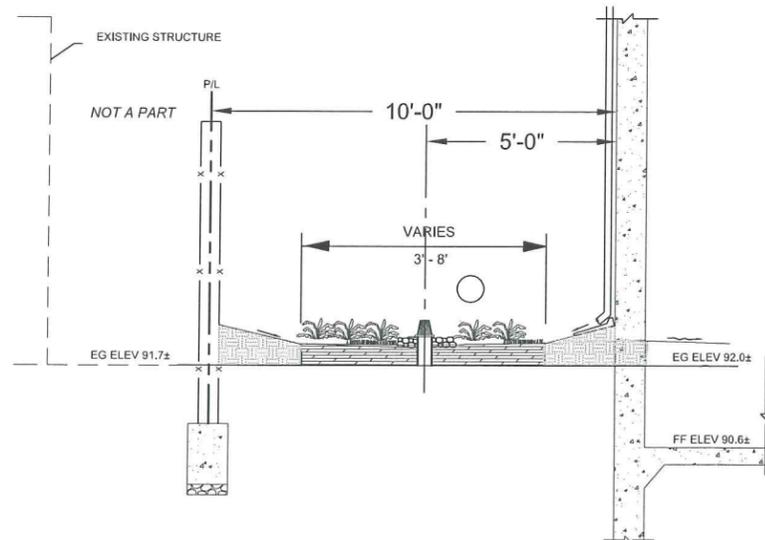
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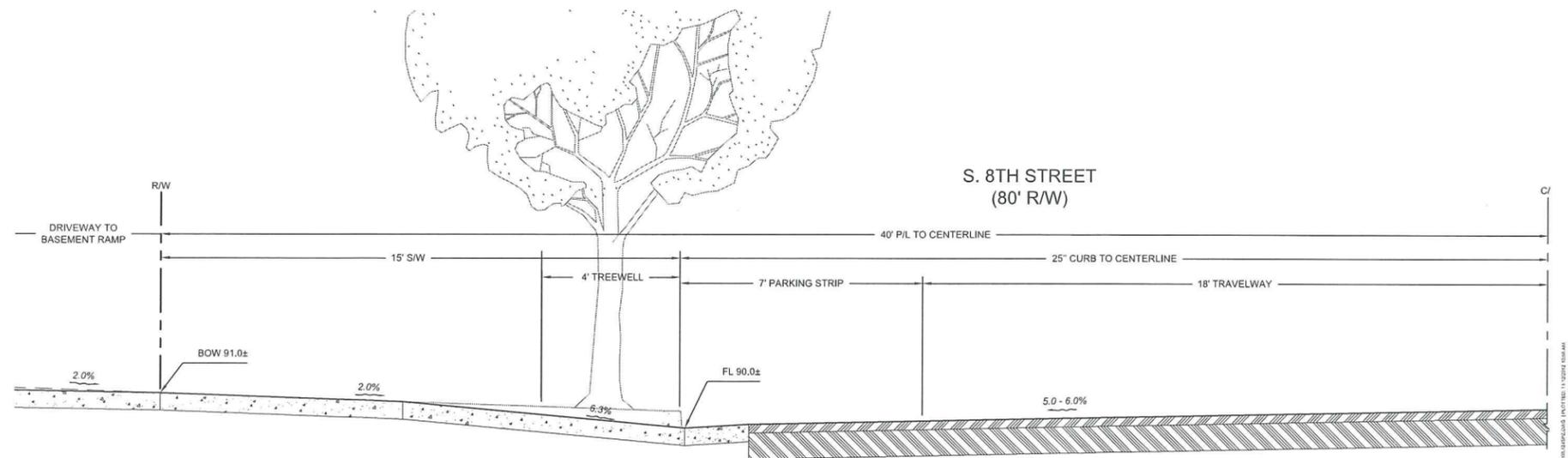
C TYPICAL SECTION (EAST)
NOT TO SCALE



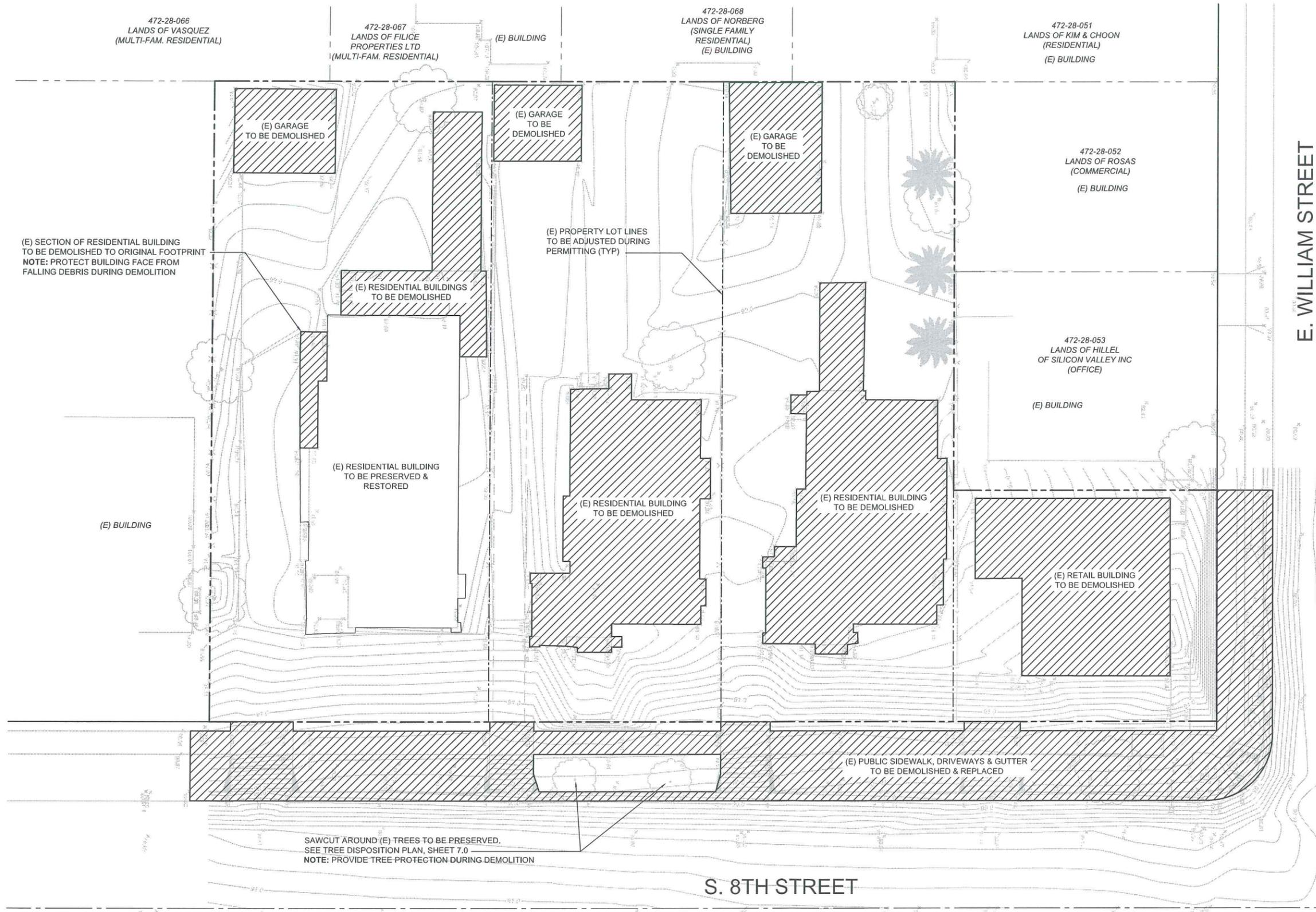
A TYPICAL SECTION (WEST)
NOT TO SCALE



D TYPICAL SECTION (SOUTH)
NOT TO SCALE



B TYPICAL SECTION (NORTH)
NOT TO SCALE



E. WILLIAM STREET

LEGEND

SYMBOL	DESCRIPTION
---	PROJECT BOUNDARY
- - -	LOT LINE
- · - · -	EASEMENT
—	PUBLIC RIGHT-OF-WAY
—	FACE OF CURB
///	TO BE DEMOLISHED
—	BUILDING TO BE PRESERVED

- GENERAL DEMOLITION NOTES:**
1. THIS PLAN IS NOT FOR CONSTRUCTION.
 2. ALL WORK SHALL COMPLY WITH THE CITY OF SAN JOSE STANDARD AND SPECIFICATIONS.
 3. DUST CONTROL MEASURES SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL AIR QUALITY MANAGEMENT DISTRICT & THE CITY OF SAN JOSE BUILDING DEPARTMENT.
 4. TREE PROTECTION FENCING SHOULD BE INSTALLED PRIOR TO CONSTRUCTION AND/OR DEMOLITION.
 5. CONTRACTOR TO COORDINATE WITH PG&E REGARDING REMOVAL OF EXISTING FACILITIES.
 6. ANY EXPORTED DEMOLITION DEBRIS SHALL BE DISPOSED OF AT LEGAL DUMP SITE.
 7. CONTRACTOR TO NOTIFY CITY OF SAN JOSE BUILDING DEPARTMENT A MIN. OF 48-HOURS PRIOR TO COMMENCING DEMOLITION WORK.
 8. EXISTING UTILITIES SHOWN ARE BASED ON BEST AVAILABLE RECORD INFORMATION AND MAY BE INCOMPLETE. CONTRACTOR SHALL RESEARCH AND VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR DEMOLITION.
 9. UPON DISCOVERY OF ANY UNKNOWN (E) ONSITE UNDERGROUND UTILITIES, CONTRACTOR SHALL COORDINATE WITH CORRESPONDING UTILITY AGENCY AND IMMEDIATELY NOTIFY THE ENGINEER.
 10. THIS PLAN DOES NOT AUTHORIZE CONSTRUCTION WITHIN THE PUBLIC RIGH-OF-WAY.
 11. ALL DEMOLITION ACTIVITIES ARE SUBJECT TO REQUIREMENTS CONTAINED IN THE DEMOLITION PERMIT, AND ARE SUBJECT TO BAY AREA QUALITY MANAGEMENT DISTRICT REQUIREMENT, AND CITY OF SAN JOSE CONDITIONS AND RESPONSIBILITIES FOR DEMOLITION.

SAWCUT AROUND (E) TREES TO BE PRESERVED.
SEE TREE DISPOSITION PLAN, SHEET 7.0
NOTE: PROVIDE TREE PROTECTION DURING DEMOLITION

(E) PUBLIC SIDEWALK, DRIVEWAYS & GUTTER
TO BE DEMOLISHED & REPLACED

S. 8TH STREET

NOTE: CONTOURS ARE SHOWN FOR REFERENCE PURPOSES ONLY

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▲	SCALE: 1" = 10'
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CONCEPTUAL DEMOLITION PLAN

8TH & WILLIAM STREET MIXED USE DEVELOPMENT

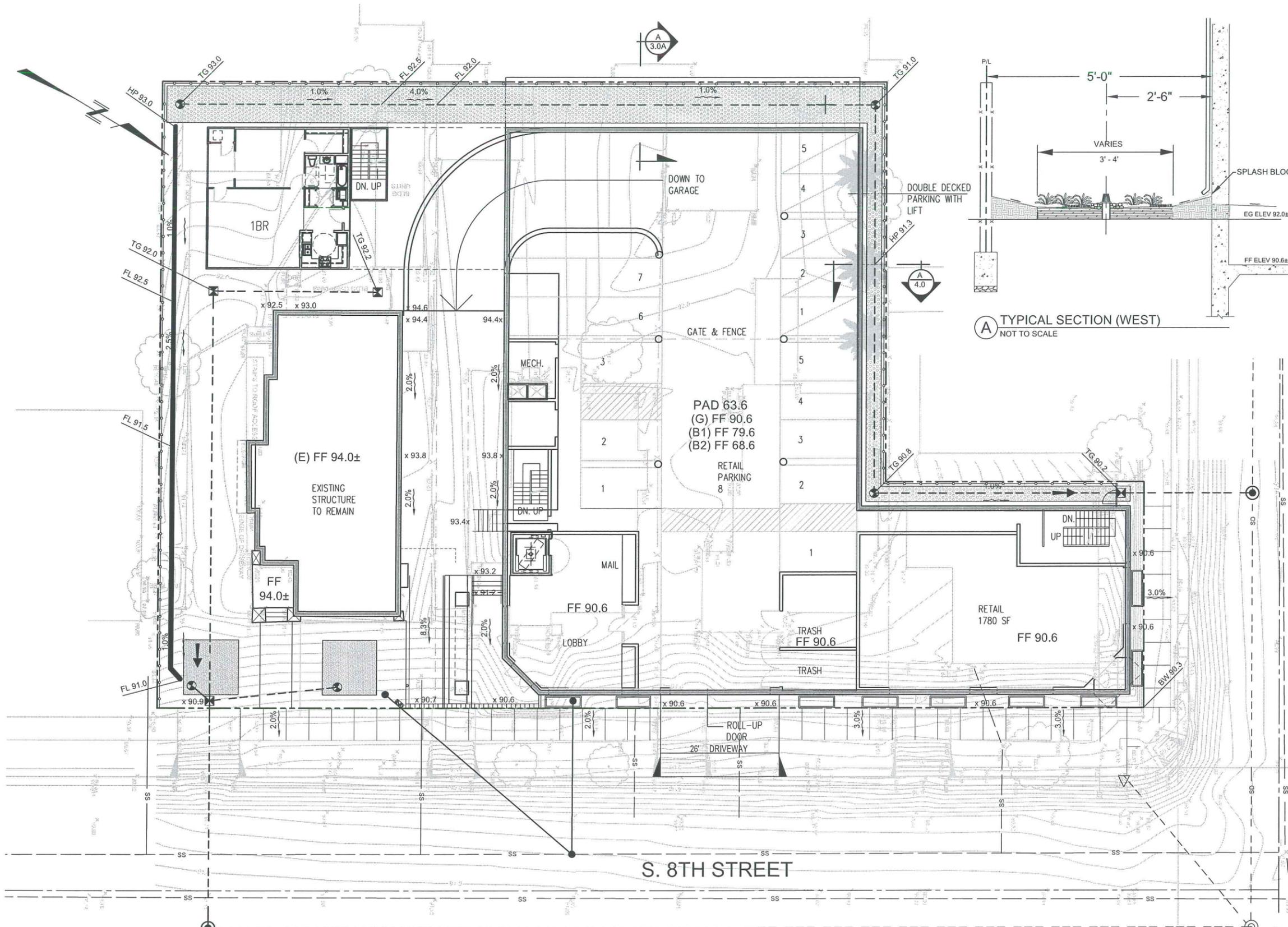
GENERAL DEVELOPMENT PLAN - EXHIBIT C | PLANNED DEVELOPMENT ZONING - PDC09-019

GRAPHIC SCALE

3.0B
SHEET NUMBER

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LEGEND	
SYMBOL	DESCRIPTION
---	PROJECT BOUNDARY
---	LOT LINE
---	EASEMENT
---	EXISTING STORM DRAIN
---	PROPOSED STORM DRAIN
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	PROPOSED GRADE BREAK

▨	PROPOSED BIO-TREATMENT CELL
→	OVERLAND RELEASE PATH
⊠	PROPOSED AREA DRAIN INLET
⊕	PROPOSED ATRIUM AREA DRAIN
▽	EXISTING CURB INLET
▼	PROPOSED CURB INLET
⊙	EXISTING STORM MANHOLE
⊙	PROPOSED STORM MANHOLE
▬▬▬▬	TRENCH DRAIN
PAD 100.0	PAD ELEVATION
FF 100.0	FINISH FLOOR ELEVATION
x 90.6	SPOT ELEVATION
2.0%	GRADE SLOPE
A 3.0A	SECTION LETTER SHEET NUMBER

GENERAL NOTES

1. GRADING CONCEPTS, PAD ELEVATIONS AND RETAINING WALL CONFIGURATIONS SHOWN ARE APPROXIMATE. ADJUSTMENTS MAY BE NECESSARY DURING FINAL DESIGN TO ACCOMMODATE CODE REQUIREMENTS.
2. PAD ELEVATIONS, TOP OF CURB (TC) ELEVATIONS, RETAINING WALLS AND HEIGHTS DEPICTED HEREIN ARE APPROXIMATE, AND MAY BE ADJUSTED DURING FINAL DESIGN OF GRADING IMPROVEMENT PLANS.
3. BUILDING PADS AS DEPICTED ON THIS PLAN ARE APPROXIMATE AND CONSIST OF COMPACTED SOIL AND GRAVEL RATED TO STRESS LEVELS PER GEOTECHNICAL REQUIREMENTS.
4. TOP OF WALL (TW) ELEVATIONS = TOP OF ROUGH FINISH. BOTTOM OF WALL (BW) ELEVATIONS = FINISH SURFACE @ WALL FACE.

EARTHWORK: APPROXIMATE CUT/FILL = 15,000 CY / 5,000 CY

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REVISIONS

PROJECT DATA

CONCEPTUAL GRADING & DRAINAGE PLAN

8TH & WILLIAM STREET MIXED USE DEVELOPMENT

GENERAL DEVELOPMENT PLAN - EXHIBIT C | PLANNED DEVELOPMENT ZONING - PDC09-019

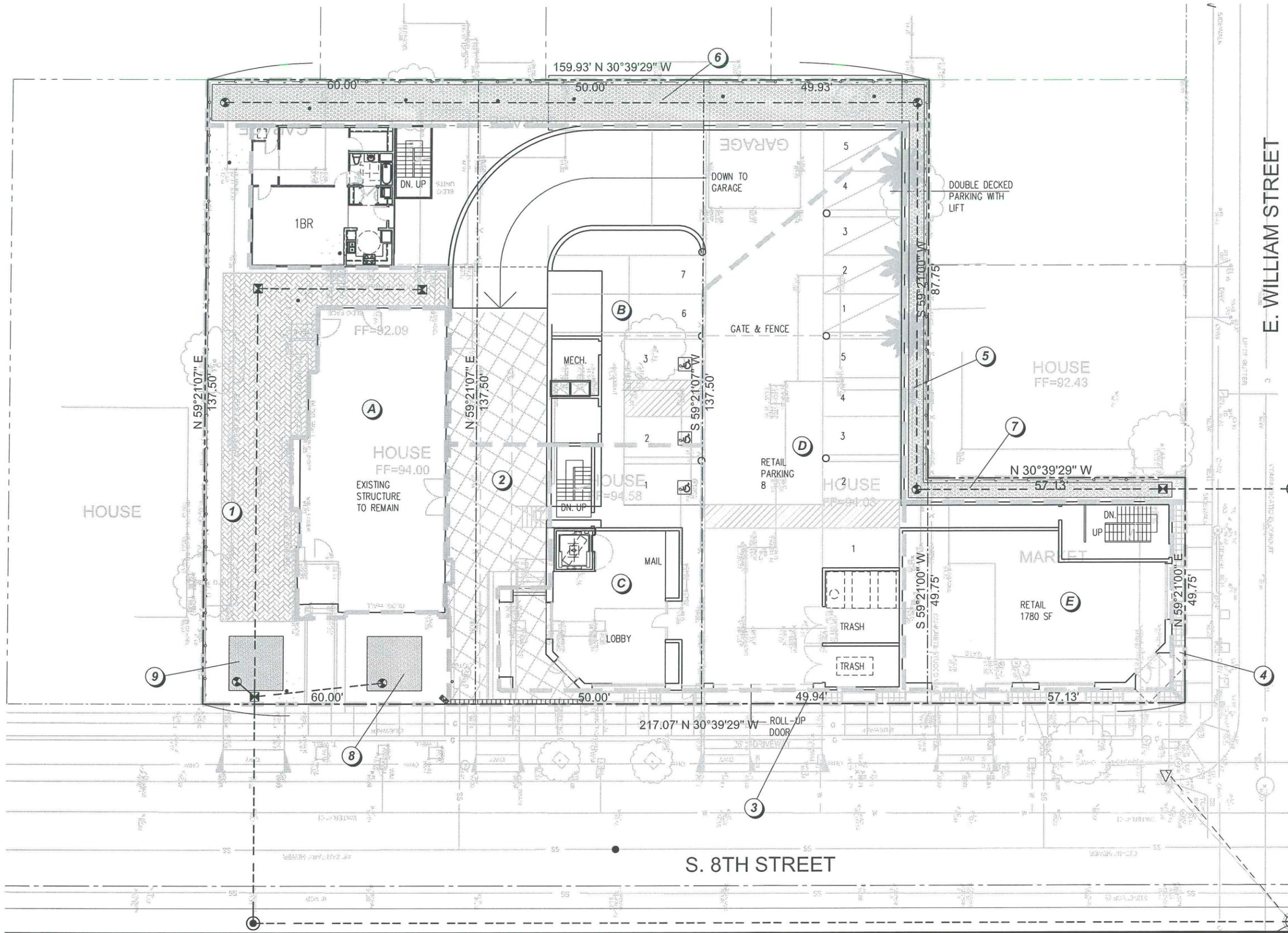
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LEGEND

SYMBOL	DESCRIPTION
---	PROJECT BOUNDARY
- - - -	LOT LINE
- · - · -	EASEMENT
---	EXISTING STORM DRAIN
---	PROPOSED STORM DRAIN
→	OVERLAND RELEASE PATH
⊠	PROPOSED AREA DRAIN INLET
⊕	PROPOSED ATRIUM AREA DRAIN
⊙	EXISTING STORM MANHOLE
⊙	PROPOSED STORM MANHOLE
---	STORM WATER DRAINAGE BOUNDARY
▨	PROPOSED BIO-TREATMENT CELL
Ⓐ	ROOF DRAINAGE AREA
①	SURFACE DRAINAGE AREA
🌳	EVERGREEN TREE ELIGIBLE FOR 200 SF IMPERVIOUS SURFACE AREA CREDIT PER CITY POLICY
🌳	DECIDUOUS TREE ELIGIBLE FOR 100 SF IMPERVIOUS SURFACE AREA CREDIT PER CITY POLICY

GENERAL NOTES

1. ROOF RAINWATER LEADERS & DOWNSPOUTS TO BE DISCONNECTED FROM UNDERGROUND DRAINAGE SYSTEM. SEE DETAIL B ON SHEET 4.0B.
2. ALL RAINWATER LEADERS FROM THE FRONT OF THE NEW PODIUM ROOF WILL BE DIRECTED TO THE BIOTENTION CELLS AROUND THE BUILDING.

STORM WATER DRAINAGE AREA

ID	DESCRIPTION	AREA (SF)
1	FRONT & SIDE LANDSCAPING	4,228
2	PLAZA HARDSCAPE	1,060
3	SIDEWALK	400
4	SIDEWALK	140
5	BIO-TREATMENT CELL LANDSCAPING	364
6	BIO-TREATMENT CELL LANDSCAPING	1,240
7	BIO-TREATMENT CELL LANDSCAPING	165
8	BIO-TREATMENT CELL LANDSCAPING	144
9	BIO-TREATMENT CELL LANDSCAPING	144
A	COMMUNITY CENTER ROOF	2,143
B	PODIUM ROOF	6005
C	PODIUM ROOF	2,078
D	PODIUM ROOF	3,955
E	PODIUM ROOF	2,770
TOTAL GROSS SITE AREA		24,836

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PROJECT: 2008.124	
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DESIGN: DRR	
SCALE: 1" = 10'	
DATE: OCTOBER 12, 2012	
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CONCEPTUAL STORMWATER CONTROL PLAN

8TH & WILLIAM STREET MIXED USE DEVELOPMENT

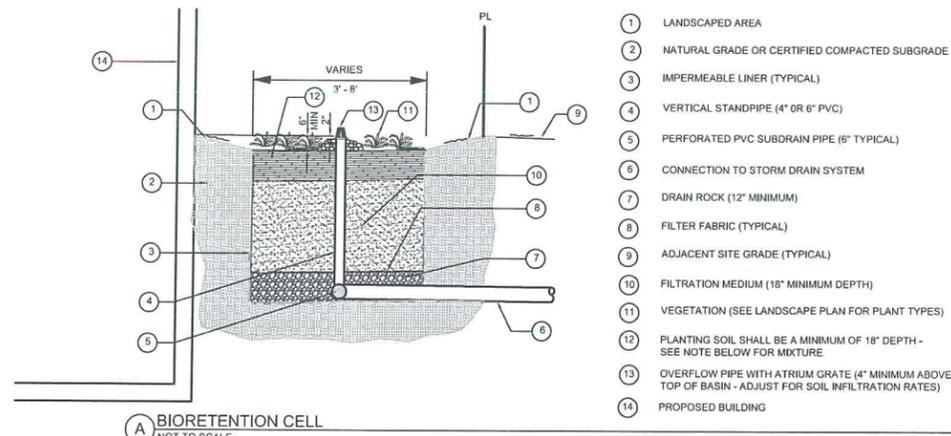
GENERAL DEVELOPMENT PLAN - EXHIBIT C | PLANNED DEVELOPMENT ZONING - PDC09-019

4.0A
SHEET NUMBER

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NOTES:

1. PLANTING SOIL SHALL CONSIST OF A MIXTURE OF SAND (40%), COMPOST (20-30%) AND TOPSOIL (30-40%) WITH A MINIMUM INFILTRATION RATE OF 5" PER HOUR AND ADEQUATE NUTRIENT CONTENT TO MEET PLANT GROWTH REQUIREMENTS.
2. SANDY LOAM SHALL CONSIST OF NATIVE SOILS AMENDED SO THAT 20% OR LESS PASSES THROUGH A #200 SIEVE.

BIORETENTION CELL MAINTENANCE

THE FOLLOWING MAINTENANCE ACTIVITIES AND SCHEDULE ARE BASED ON THE RECOMMENDATIONS PROVIDED IN THE CALIFORNIA STORMWATER BMP HANDBOOK, NEW AND REDEVELOPMENT

THE PRIMARY MAINTENANCE REQUIREMENT FOR BIORETENTION AREAS IS THAT OF INSPECTION AND REPAIR OR REPLACEMENT OF THE TREATMENT AREA'S COMPONENTS. GENERALLY, THIS INVOLVES NOTHING MORE THAN THE ROUTINE PERIODIC MAINTENANCE THAT IS REQUIRED OF ANY LANDSCAPED AREA. PLANTS THAT ARE APPROPRIATE FOR THE SITE, CLIMATIC AND WATERING CONDITIONS SHOULD BE SELECTED FOR USE IN THE BIORETENTION CELL. APPROPRIATELY SELECTED PLANTS WILL AID IN REDUCING FERTILIZER, PESTICIDE, WATER AND OVERALL MAINTENANCE REQUIREMENTS. BIORETENTION SYSTEM COMPONENTS SHOULD BLEND OVER TIME THROUGH PLANT AND ROOT GROWTH, ORGANIC DECOMPOSITION AND THE DEVELOPMENT OF A NATURAL SOIL HORIZON. THESE BIOLOGIC AND PHYSICAL PROCESSES OVER TIME WILL LENGTHEN THE FACILITY'S LIFE SPAN AND REDUCE THE NEED FOR EXTENSIVE MAINTENANCE.

ROUTINE MAINTENANCE SHOULD INCLUDE A BIENNIAL HEALTH EVALUATION OF THE TREES AND SHRUBS AND SUBSEQUENT REMOVAL OF ANY DEAD OR DISEASED VEGETATION (EPA 1999). DISEASED VEGETATION SHOULD BE TREATED AS NEEDED USING PREVENTATIVE AND LOW-TOXIC MEASURES TO THE EXTENT POSSIBLE. BMP'S HAVE THE POTENTIAL TO CREATE VERY ATTRACTIVE HABITATS FOR MOSQUITOS AND OTHER VECTORS BECAUSE OF HIGHLY ORGANIC, OFTEN HEAVILY VEGETATED AREAS MIXED WITH SHALLOW WATER. ROUTINE INSPECTIONS FOR AREAS OF STANDING WATER WITHIN THE BMP AND CORRECTIVE MEASURES TO RESTORE PROPER INFILTRATION RATES ARE NECESSARY TO PREVENT CREATING MOSQUITO AND OTHER VECTOR HABITAT. IN ADDITION, BIORETENTION BMP'S ARE SUSCEPTIBLE TO INVASION BY AGGRESSIVE PLANT SPECIES SUCH AS CATTAILS WHICH INCREASE THE CHANCES OF WATER STANDING AND SUBSEQUENT VECTOR PRODUCTION IF NOT PROPERLY MAINTAINED.

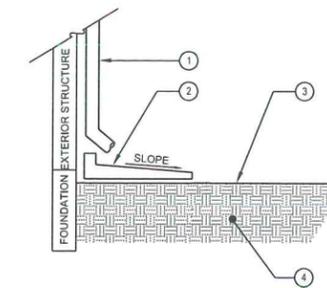
IN ORDER TO MAINTAIN THE TREATMENT AREA'S APPEARANCE IT MAY BE NECESSARY TO PRUNE AND WEED. FURTHERMORE, MULCH REPLACEMENT IS SUGGESTED WHEN EROSION IS EVIDENT OR WHEN THE SITE BEGINS TO LOOK UNATTRACTIVE. SPECIFICALLY, THE ENTIRE AREA MAY REQUIRE MULCH REPLACEMENT EVERY TWO OR THREE YEARS, ALTHOUGH SPOT MULCHING MAY BE SUFFICIENT WHEN THERE ARE RANDOM VOID AREAS. MULCH REPLACEMENT SHOULD BE DONE PRIOR TO THE START OF THE WET SEASON.

ACCUMULATED SEDIMENT AND DEBRIS REMOVAL (ESPECIALLY AT THE INFLOW POINTS) WILL NORMALLY BE THE PRIMARY MAINTENANCE FUNCTION. OTHER POTENTIAL TASKS INCLUDE REPLACEMENT OF DEAD VEGETATION, SOIL pH REGULATION, EROSION REPAIR AT INFLOW POINTS, MULCH REPLENISHMENT, UNBLOCKING THE UNDERDRAIN, AND REPAIRING OVERFLOW STRUCTURES. THERE IS ALSO THE POSSIBILITY THAT THE CATION EXCHANGE CAPACITY OF THE SOILS IN THE CELL WILL BE SIGNIFICANTLY REDUCED OVER TIME, DEPENDING ON THE POLLUTANT LOADS. SOILS MAY NEED TO BE REPLACED WITHIN 5 - 10 YEARS OF CONSTRUCTION (LID, 2000)

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE					
Project Phase Number: (N/A, 1, 2, 3, etc.)					
Total Site (acres):	0.57	Total Area of Site Disturbed (acres):	0.57		
Impervious Surfaces	Existing Condition of Site Area Disturbed (square feet)	Proposed Condition of Site Area Disturbed (square feet)			
		Replaced ¹	New ²		
Roof Area(s)	9,230	6,913	10038		
Parking	3,618	0	0		
Sidewalks, Patios, Paths, etc.	2,450	0	1600		
Streets (public)	0	0	0		
Streets (private)	0	0	0		
Total Impervious Surfaces:	15,298	6,913	11638		
Pervious Surfaces	Existing Condition of Site Area Disturbed (square feet)	Proposed Condition of Site Area Disturbed (square feet)			
		Replaced ¹	New ²		
		Landscaped Areas	9,538	2,907	1799
		Pervious Paving	0	0	1579
Other Pervious Surfaces (green roof, etc.)	0	0	0		
Total Pervious Surfaces:	9,538	2,907	3378		
Total Proposed Replaced + New Impervious Surfaces:		18551			
Total Proposed Replaced + New Pervious Surfaces:		6285			

Regulated Project: Any project that creates new and/or replaces (individually or collectively) 10,000 square feet or more of impervious surface area. Additional data verifying the percent replacement of impervious surface area may be requested for any Regulated Project that appears to be subject to Provisions C.3.b.ii.(1)(c) or C.3.b.ii.(1)(d) (commonly known as "the 50% Rule").

Footnotes:
¹Proposed Replaced Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing impervious surface.
²Proposed New Impervious Surface: All impervious surfaces added to any area of the site that was a previously existing pervious surface.



NOTE:

1. SEE MATERIALS LIST FOR COLOR TYPE AND FINISH.

- 1 STRUCTURE DOWNSPOUT
- 2 SPLASH BLOCK
- 3 FINISH GRADE
- 4 LANDSCAPING

B SPLASH BLOCK
SCALE: 1"=1'-0"

BIORETENTION CELL SIZING			
DRAINAGE AREA	STEP ONE	STEP TWO	STEP THREE
	DETERMINE DRAINAGE AREA FOR THE BMP	SIZE THE BMP	AREA AVAILABLE
A	DRAINAGE AREA = 2,143 SF	REQUIRED SURFACE AREA = 0.04 X 2,143 SF = 86 SF	144 SF
B	DRAINAGE AREA = 6,005 SF	REQUIRED SURFACE AREA = 0.04 X 6,005 SF = 240 SF	1,240 SF
C	DRAINAGE AREA = 2,078 SF	REQUIRED SURFACE AREA = 0.04 X 2,078 SF = 83 SF	144 SF
D	DRAINAGE AREA = 3,955 SF	REQUIRED SURFACE AREA = 0.04 X 3,955 SF = 158 SF	364 SF
E	DRAINAGE AREA = 2,770 SF	REQUIRED SURFACE AREA = 0.04 X 2,770 SF = 111 SF	165 SF

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REVISIONS	PROJECT DATA
	PROJECT: 2008.124
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	DESIGN: DRR
	SCALE: 1" = 10'
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CONCEPTUAL STORMWATER CONTROL DETAILS
8TH & WILLIAM STREET MIXED USE DEVELOPMENT
 GENERAL DEVELOPMENT PLAN - EXHIBIT C | PLANNED DEVELOPMENT ZONING - PDC09-019

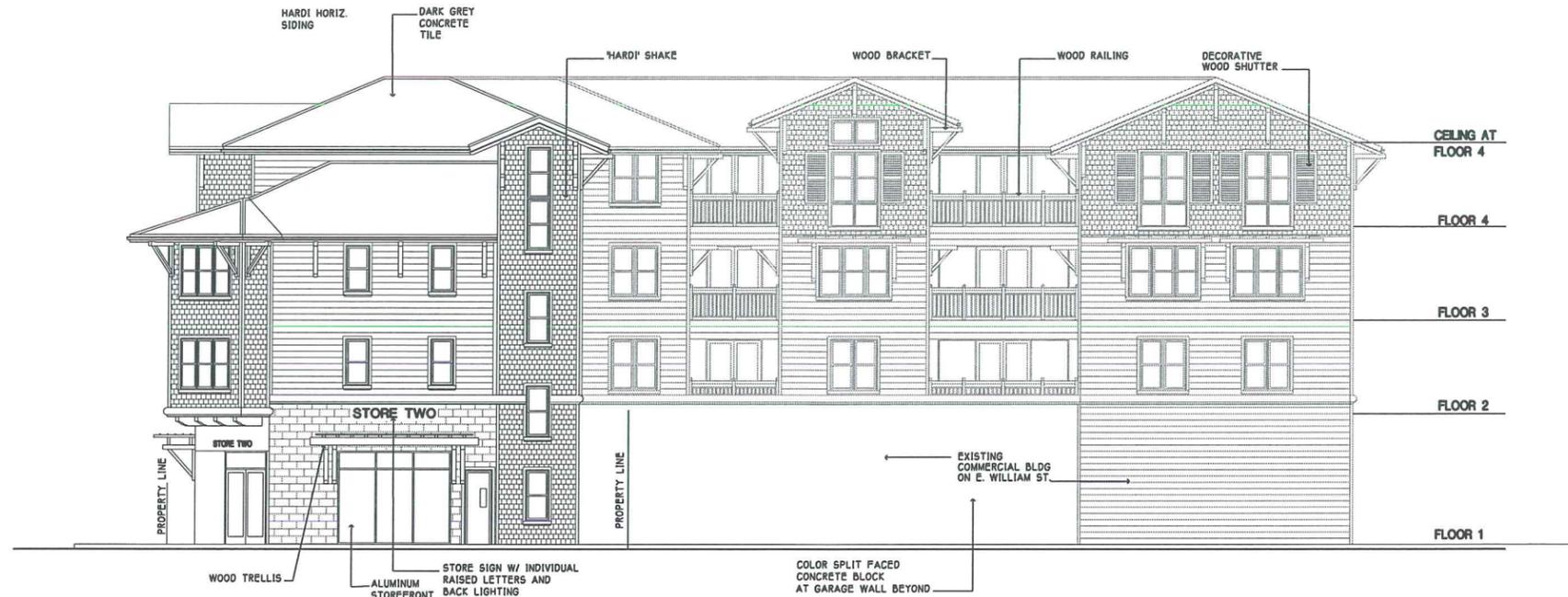


4.0B
SHEET NUMBER

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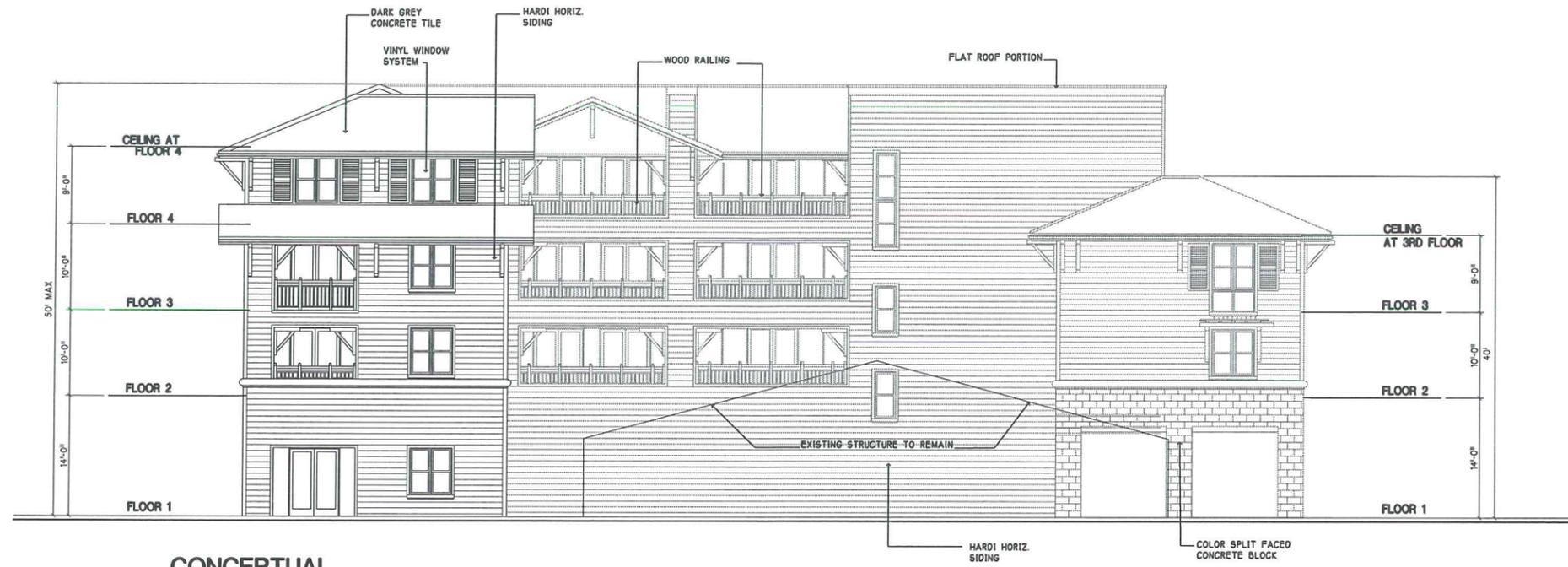
PROJECT: 2008.124 - 09/15/2012 - 11/15/2012 - 11/15/2012



**CONCEPTUAL
WILLIAM STREET ELEVATION**
SCALE : 1/8" = 1'-0"



**CONCEPTUAL
8TH STREET ELEVATION**
SCALE : 1/8" = 1'-0"



CONCEPTUAL SOUTH ELEVATION
SCALE : 1/8" = 1'-0"



CONCEPTUAL WEST ELEVATION
SCALE : 1/8" = 1'-0"

SHERWIN SOUTH CAMPUS, LLC

GENERAL DEVELOPMENT PLAN "EXHIBIT C"

8TH & WILLIAM STREET
SAN JOSE - CALIFORNIA

Date:	
Scale:	1/8" = 1'-0"
Revisions:	
2011-2-22	PLANNING
2012-3-1	
2012-11-21	PLANNING

Drawing Title:
CONCEPTUAL ELEVATIONS
Sheet No:
5B

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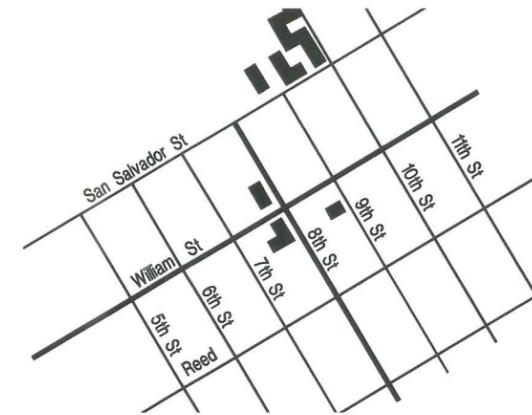
CONCEPTUAL STREETSCAPES

WILLIAM STREET AND 8TH STREET ELEVATIONS



CONCEPTUAL WILLIAM STREET STREETSCAPE

SCALE : 1" = 20'



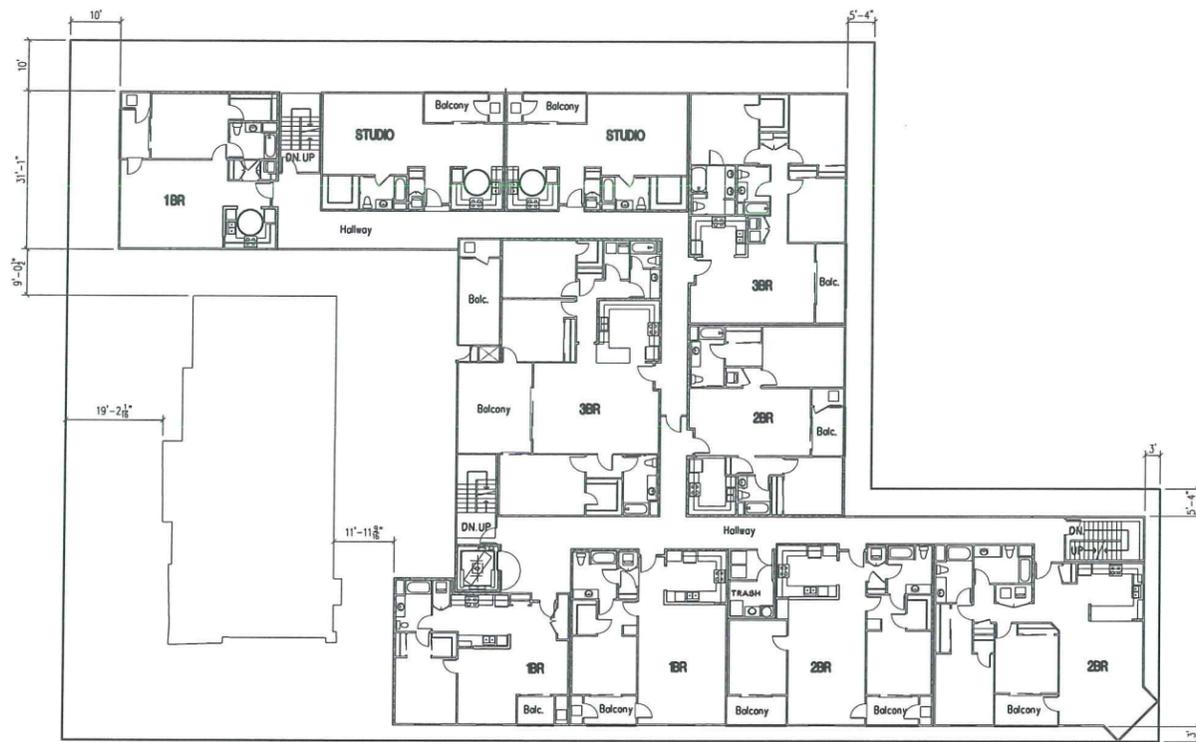
VICINITY MAP

NO SCALE

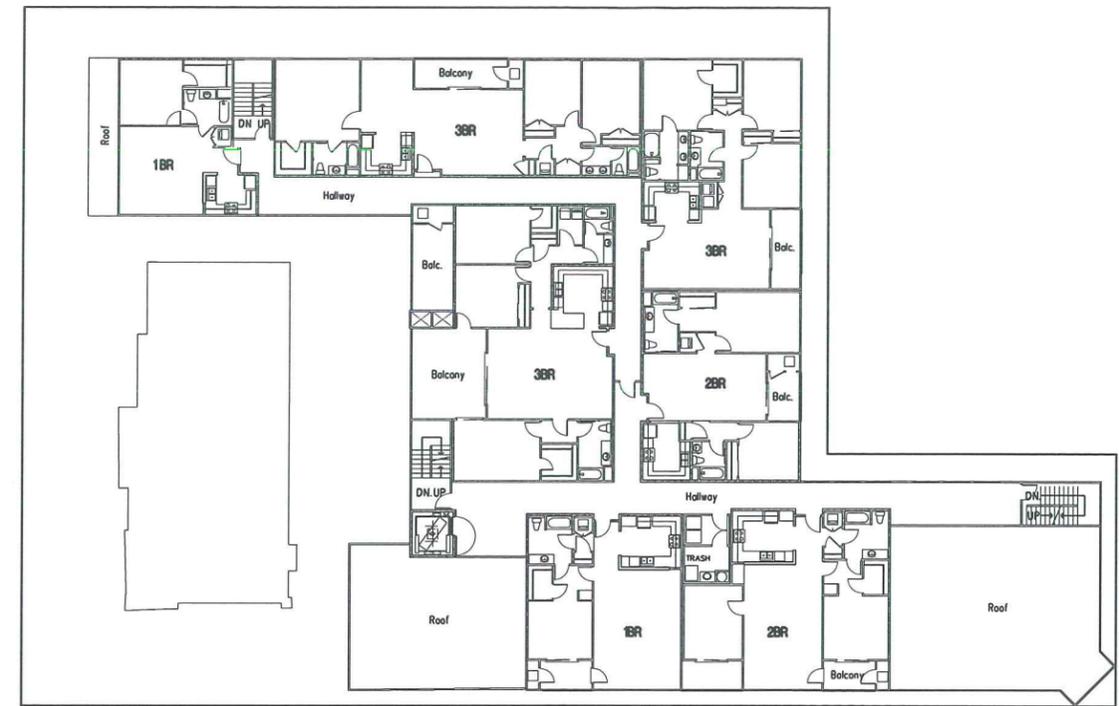


CONCEPTUAL 8TH STREET STREETSCAPE

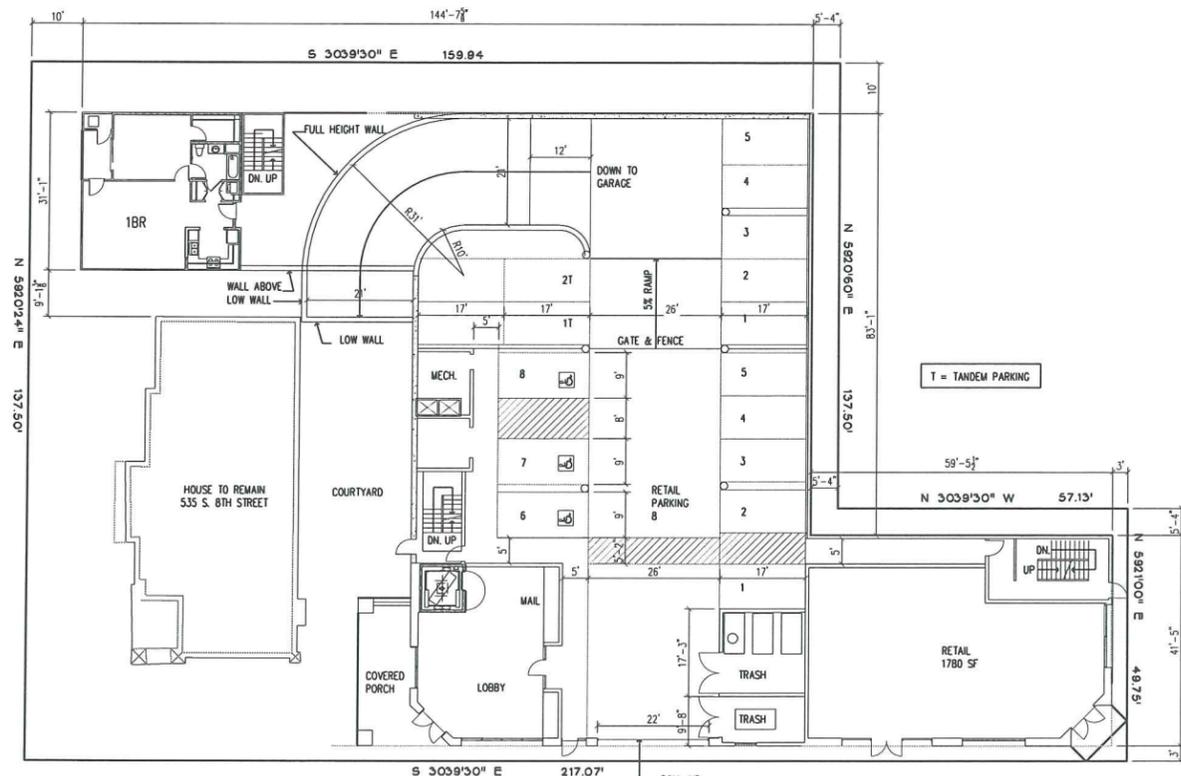
SCALE : 1" = 20'



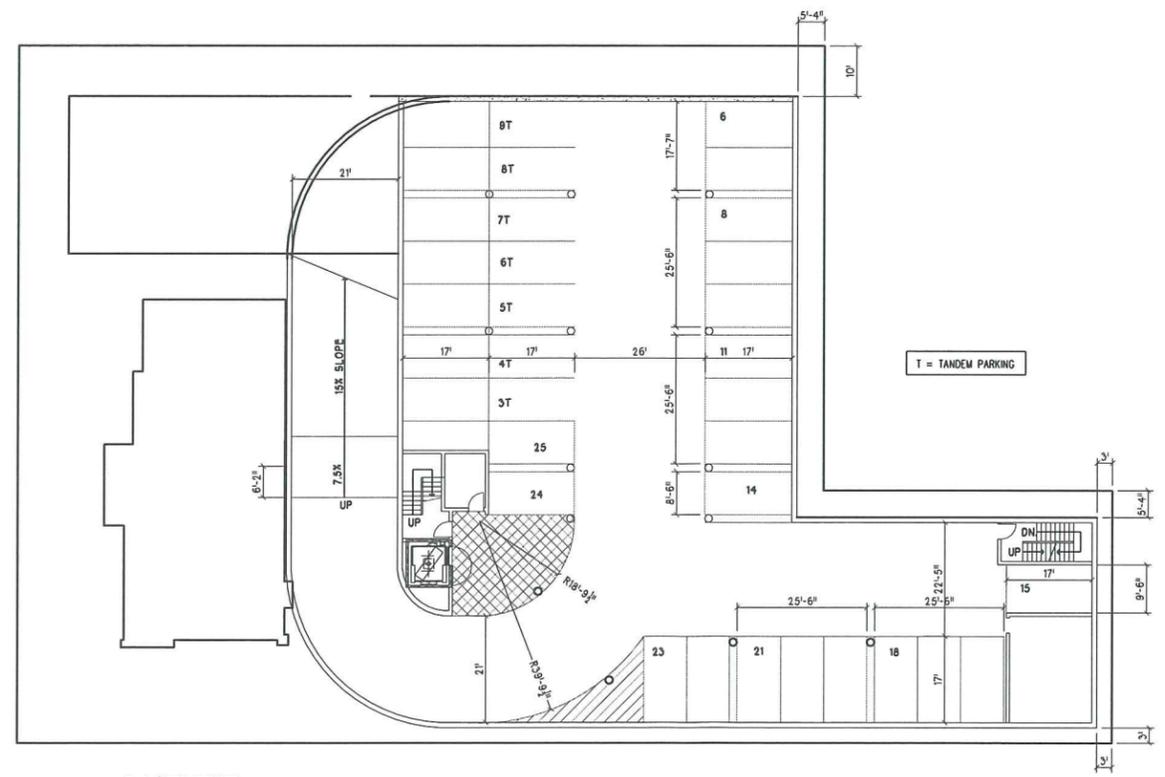
FLOORS 2 -3
SCALE : 1/16" = 1'-0"



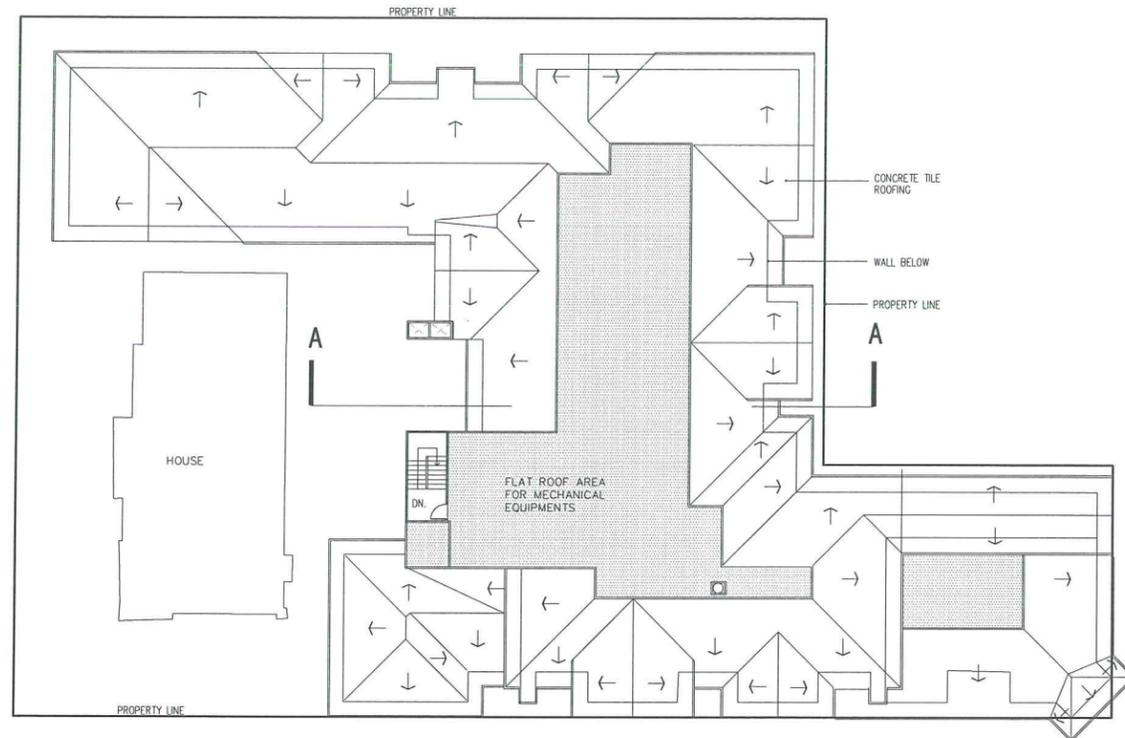
FLOOR 4
SCALE : 1/16" = 1'-0"



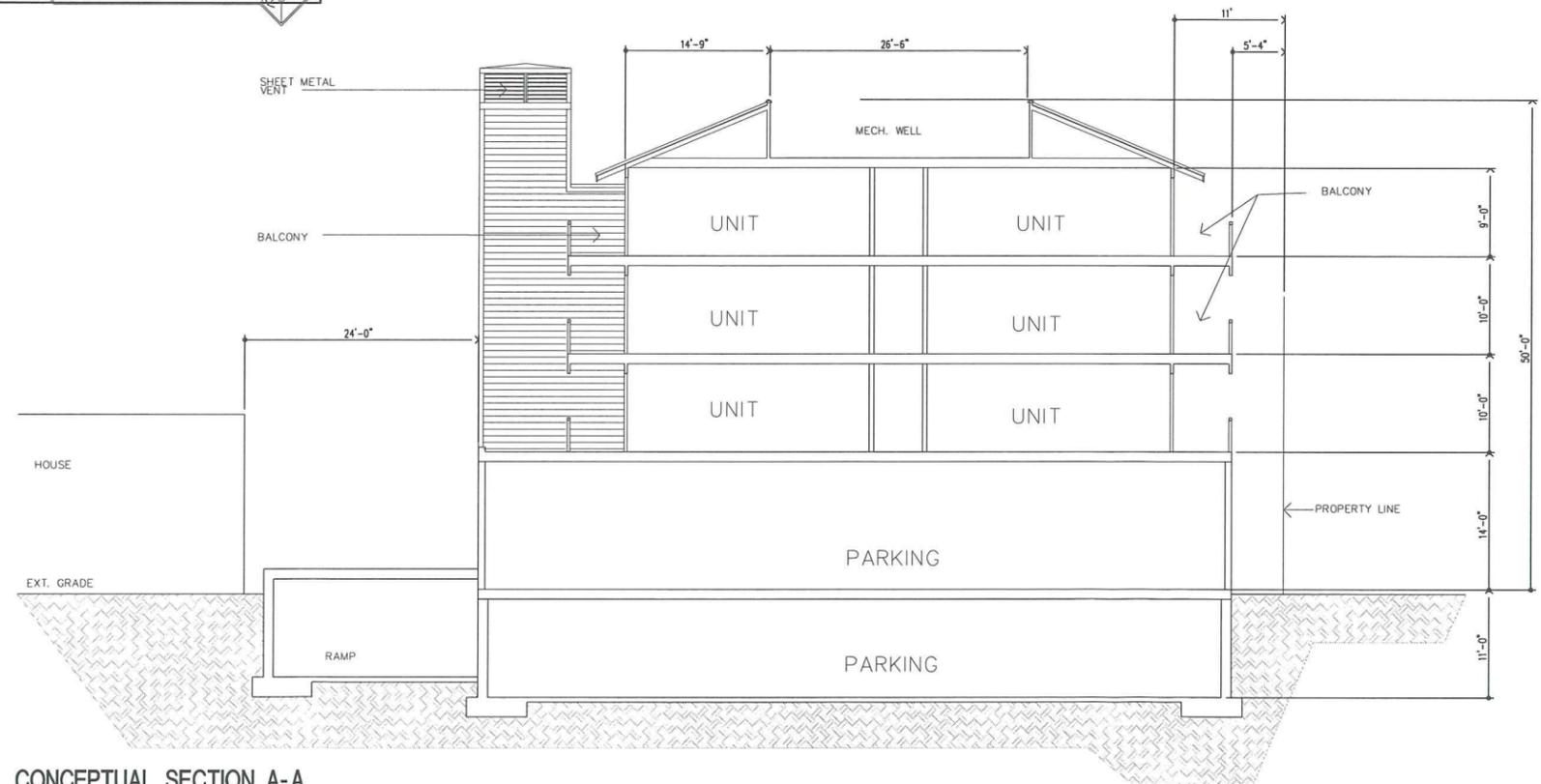
FLOOR 1
SCALE : 1/16" = 1'-0"



BASEMENT
SCALE : 1/16" = 1'-0"



CONCEPTUAL ROOF PLAN
SCALE : 1/16" = 1'-0"



CONCEPTUAL SECTION A-A
SCALE : 1/8" = 1'-0"



STUDIO FLOOR PLAN
 1/8"=1'-0" LIVING 650 SF
 DECK 86 SF



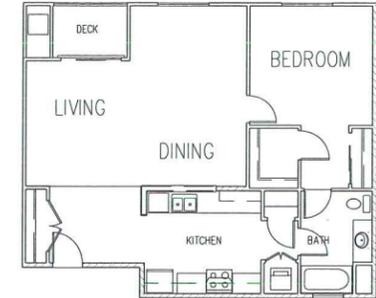
UNIT 1 FLOOR PLAN
 1/8"=1'-0" LIVING 910 SF
 DECK 78 SF



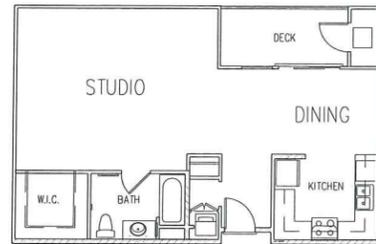
UNIT 1A FLOOR PLAN
 1/8"=1'-0" LIVING 1000 SF
 DECK 78 SF



UNIT 1B FLOOR PLAN
 1/8"=1'-0" LIVING 1175 SF
 DECK 148 SF



UNIT 1C FLOOR PLAN
 1/8"=1'-0" LIVING 925 SF
 DECK 56 SF



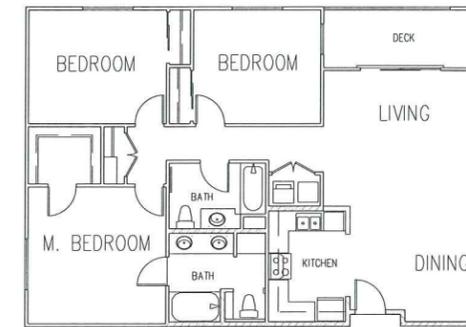
STUDIO A FLOOR PLAN
 1/8"=1'-0" LIVING 754 SF
 DECK 86 SF



UNIT 2 FLOOR PLAN
 1/8"=1'-0" LIVING 1097 SF
 DECK 88 SF



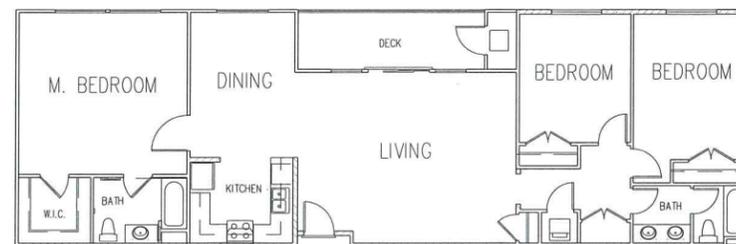
UNIT 2A FLOOR PLAN
 1/8"=1'-0" LIVING 1368 SF
 DECK 78 SF



UNIT 3 FLOOR PLAN
 1/8"=1'-0" LIVING 1334 SF
 DECK 95 SF



UNIT 3B FLOOR PLAN
 1/8"=1'-0" LIVING 1760 SF
 DECK 439 SF



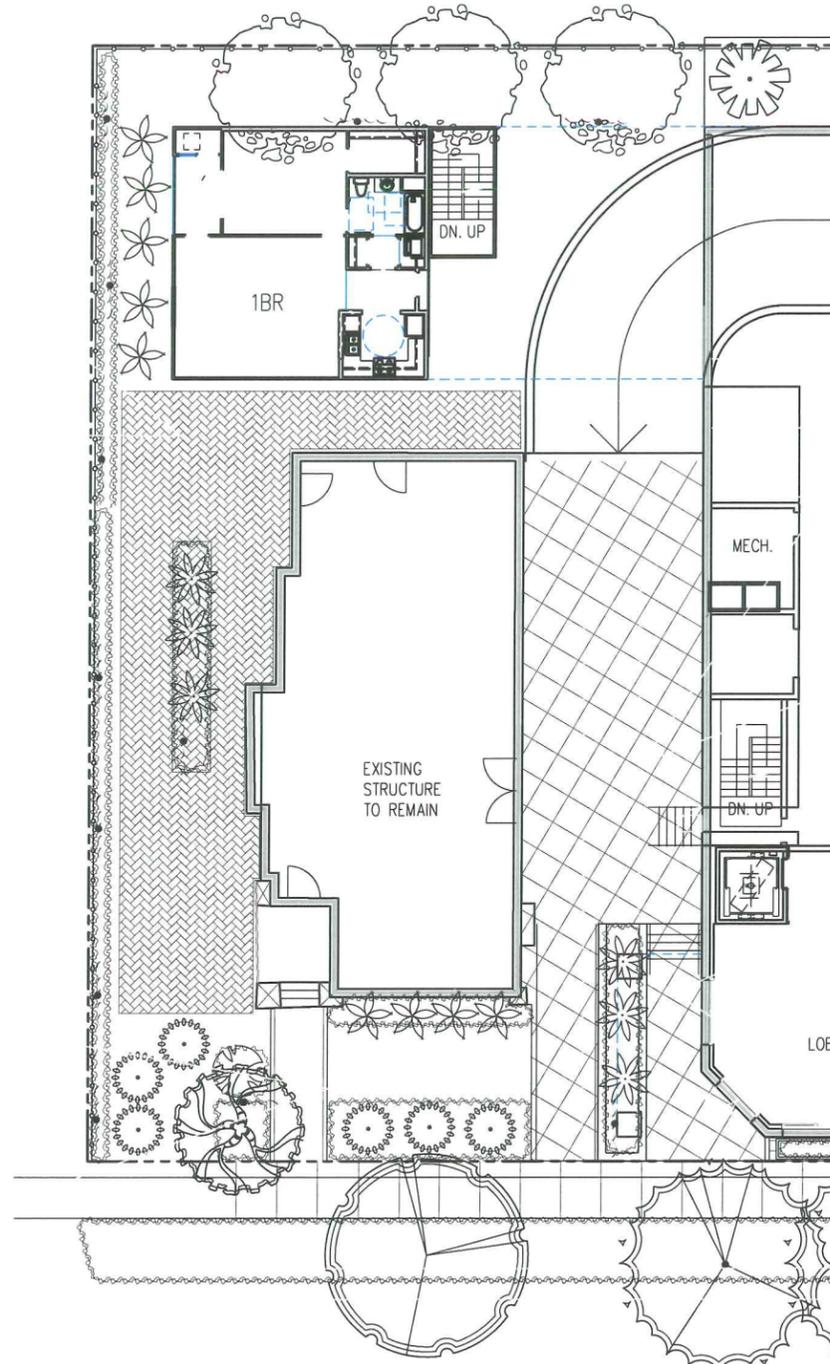
UNIT 3C FLOOR PLAN
 1/8"=1'-0" LIVING 1578 SF
 DECK 127 SF



A BACKYARD GARDEN WITH PATIO, SHADE ARBOR, AND SITE AMENITIES CREATE USABLE SPACE FOR THE COMMUNITY TO ENJOY.



INVITING STREET FRONTAGE COMBINES COLORFUL PLANTING WITH ENHANCED PAVING AND DECORATIVE IRON FENCING FOR A RESIDENTIAL FRONTAGE. THE FENCE ENCLOSES A PATIO, YET ALLOWS THE ARCHITECTURE TO SHINE THROUGH.

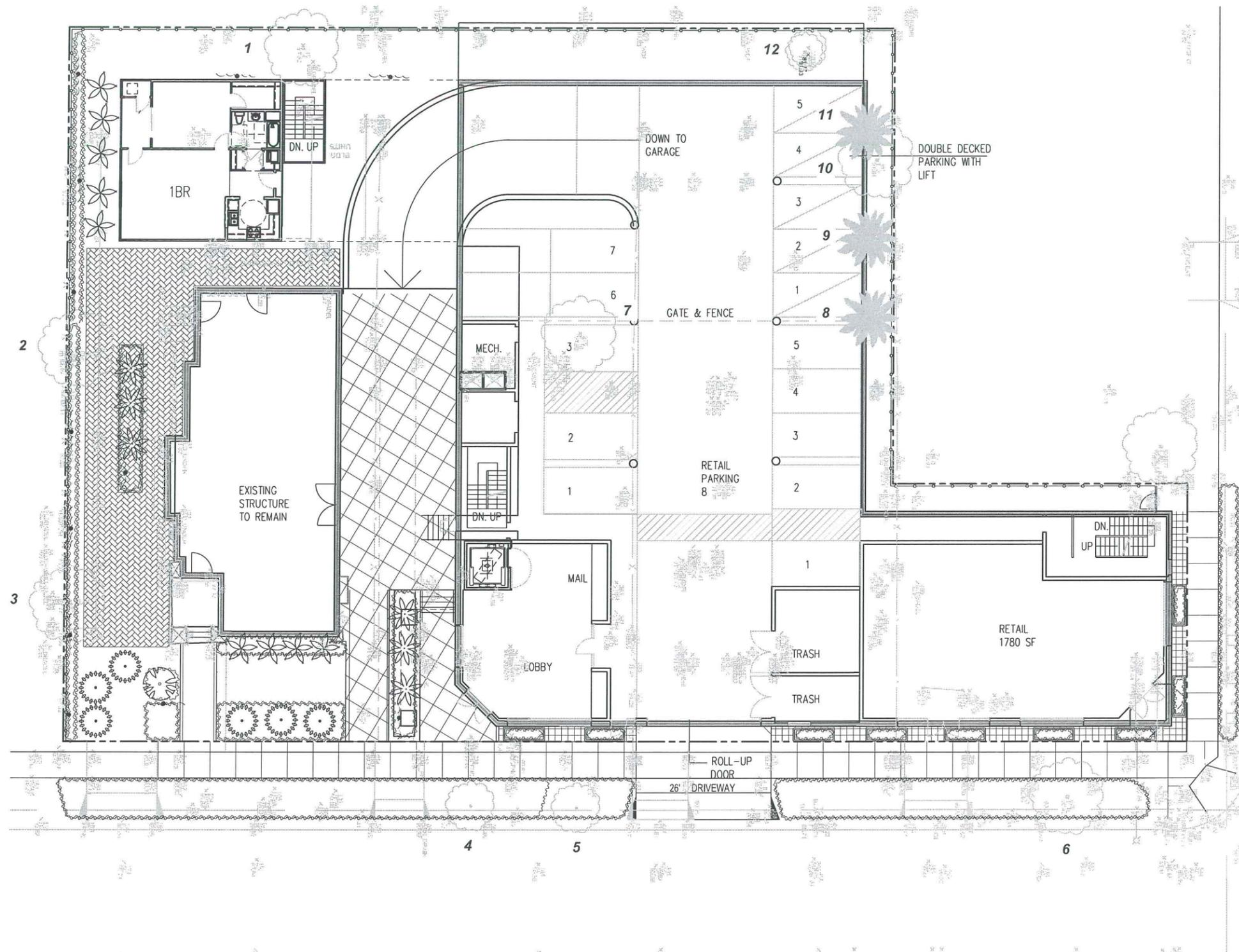


THE PLAZA FORMED BY THE BUILDINGS CONTAINS A WALL FOUNTAIN, PLANTERS, AND BUILT IN SEATING. AMPLE ROOM IS AVAILABLE FOR MOVABLE CHAIRS. THE PLAZA AND THE PATIO CAN BE ENJOYED AS ONE ROOM OR USED SEPARATELY.



THE ENTRY TO THE PLAZA IS ESTABLISHED BY A PLANTER THAT FORMS THE CHEEKWALL FOR THE RAMP AND STAIRS TO THE MAIN ENTRY. PLANTING, ENHANCED PAVING, TILE, THE SOUND OF DISTANT WATER, AND NIGHT LIGHTING DRAW PEOPLE INTO THE SPACE.





EXISTING TREES		
NUMBER	CONDITION	DISPOSITION
1	FAIR	REMOVE
2	POOR	REMOVE
3	POOR	REMOVE
4	GOOD	RETAIN
5	GOOD	RETAIN
6	GOOD	REMOVE
7	GOOD	REMOVE
8	GOOD	RELOCATE ON SITE
9	GOOD	RELOCATE ON SITE
10	GOOD	RELOCATE ON SITE
11	GOOD	RELOCATE ON SITE
12	FAIR	REMOVE