

**STAFF REPORT**  
**PLANNING COMMISSION**

**FILE NOS.:** PD12-041 & ABC12-011

**Submitted:** September 25, 2012

**PROJECT DESCRIPTION:**

A Planned Development Permit and Determination of Public Convenience or Necessity request to allow the demolition of an existing 6,662 square foot restaurant (Chevy's); and construction of a new 7,453 square foot restaurant (BJ's) with a 920 square foot outdoor patio; and on-sale (full range of alcoholic beverages) and off-sale of alcohol (beer only) with late night use until 1:00 a.m., on a 0.95 gross acre site.

|                   |                           |
|-------------------|---------------------------|
| Zoning            | A(PD) Planned Development |
| General Plan      | Transit Employment Center |
| Council District  | 3                         |
| Annexation Date   | March 27, 1950            |
| Historic Resource | NA                        |
| Specific Plan     | NA                        |

**LOCATION:**

Southwest corner of Coleman Avenue and Autumn Street (511 Coleman Avenue)

**Aerial Map**



GENERAL PLAN



ZONING



## **RECOMMENDATION**

Planning staff recommends that the Planning Commission make a report and recommendation to the City Council to approve the proposed Planned Development Permit and Determination of Public Convenience or Necessity, for the on-sale (full range of alcoholic beverages) and off-sale (beer only) for a bonafide eating establishment with late night use, for the following reasons:

1. The project conforms to the Envision San Jose 2040 General Plan Land Use/Transportation Diagram's designation of Transit Employment Center.
2. The proposed use at the location requested will not adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area and will not impair the utility or value of the property of other persons located within the vicinity of the site.
3. The proposed on-sale and off-sale of alcohol is associated with and located within a bonafide eating establishment.
4. The Police Department is neutral to the proposed drinking establishment with late night use between the hours of 12:00 midnight and 6:00 a.m.
5. The proposed project conforms to the requirements of CEQA.

## **BACKGROUND & DESCRIPTION**

On September 25, 2012, Jared Taylor of Golden Property Development, LLC, representing the applicant, BJ's, applied for a Planned Development Permit and Determination of Public Convenience or Necessity (PCN) on the subject site to allow for the on-sale and off-sale of alcohol for a bonafide eating establishment (restaurant) that includes an outdoor dining patio with late night use. The on-sale of alcohol includes a full range of alcoholic beverages and the off-sale is limited only to specialty beer. The hours of operation are between the hours of 8:00 a.m. until midnight from Sunday through Thursday, and 8:00 a.m. until 1:00 a.m. on Friday and Saturday. The off-sale of beer would occur with the take-out and delivery portion of the business and is provided as a convenience to customers in conjunction with their food order, and is typically available as small kegs, half gallon growlers and six-packs. The applicant is proposing to demolish the former Chevy's building and construct a new restaurant.

The subject site is located in the A (PD) Planned Development Zoning District. The Planned Development Zoning (File No. PDC04-018) was adopted by the City Council (Ordinance No. 27294) on November 30, 2004. This zoning allows for the development of commercial retail space which allows up to 385,000 square feet of floor area for permitted, conditional, special, and administrative uses of the CG Commercial General Zoning District including drive-through uses and off-sale of alcoholic beverages. The proposed use conforms to this Planned Development zoning.

A Planned Development Permit is required for a restaurant to include a drinking establishment, the off-sale of alcohol, and late night use. Typically, the initial decision making body for a Planned Development Permit is the Director of Planning. The State Department of Alcoholic Beverage Control (ABC) requires a Determination of Public Convenience or Necessity (PCN) for the off-sale of alcohol and the PCN determination is made by the Planning Commission under the San Jose Municipal Code. As a result, the Planned Development Permit and PCN are considered concurrently by the Planning

Commission. As discussed in this report, not all of the required findings can be made by the Planning Commission for the off-sale of alcohol. Therefore, the Planning Commission is asked to make a recommendation to the City Council.

### **Site and Surrounding Uses**

The proposed use is located on the southwest corner of Coleman Avenue and Autumn Street within the San José Market Center which is developed with commercial retail uses. The subject site is surrounded by Guadalupe Gardens park uses to the north, industrial and commercial uses beyond the Market Center to the west; the commercial uses within Market Center and Union Pacific Railroad tracks to the south; and the Guadalupe River Park to the east.

### **ANALYSIS**

The key issues analyzed for the proposed eating and drinking establishment with late night use and the off-sale of alcohol includes the project's conformance with the following: 1) the Envision San José 2040 General Plan; 2) the Zoning Ordinance; 3) City Council Policy 6-27: Evaluation of 24 Hour Uses; 4) City Council Policy 6-23: Guidelines for Evaluation of Nightclubs and Bars; and 5) the California Environmental Quality Act (CEQA).

#### **Envision San Jose 2040 General Plan Conformance**

The subject site is designated Transit Employment Center on the Envision San José 2040 General Plan Land Use/Transportation Diagram. The project site is fully developed with commercial retail uses. The proposed use is consistent with the General Plan land use designation in that commercial uses including uses associated with a bonafide eating establishment in a developed Market Center will promote commercial activity within the City of San José and is compatible with the surrounding variety of industrial and residential uses.

#### **Conformance with the Zoning Ordinance**

##### Determining Public Convenience or Necessity for the On-Sale of Alcohol

The State Department of Alcoholic Beverage Control (ABC) asked the City to make a Determination of Public Convenience or Necessity for the on-sale of alcohol for this application. The process and findings related specifically to the Determination of Public Convenience or Necessity for the on-sale of alcohol are not listed by the San Jose Municipal Code. Absent of required findings set forth by the Municipal Code, the findings for the on-sale of alcohol can be based upon the required Conditional Use Permit findings identified in Section 20.100.720 of the San Jose Municipal Code, as specified below:

1. The proposed use at the location requested will not:
  - a. Adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; or
  - b. Impair the utility or value of property of other persons located in the vicinity of the site; or
  - c. Be detrimental to public health, safety or general welfare.

*Analysis of Required Finding:* The draft resolution for the Planned Development Permit includes conditions to address potential nuisances, including noise and litter. The proposed bonafide eating establishment will not adversely affect the peace, health, safety, morals or welfare of persons in the surrounding area in that it conforms to City Council Policy 6-23: Guidelines for Evaluation of Nightclubs

and Bars. More specifically, the bonafide eating establishment will not result in an undue presence of on-sale of alcohol uses in the area.

2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding areas.

*Analysis of Required Finding:* The project will be located on a site that was previously occupied by an eating establishment that included on-sale of alcohol, and is now proposed for demolition. The construction of the proposed project will occur at the same location.

3. The proposed site is adequately served:
  - d. By highways or streets of sufficient width and improved as necessary to carry the kind and quality of traffic such use would generate; and
  - e. By other public or private service facilities as are required.

*Analysis of Required Finding:* The project site is sufficiently served by existing transportation systems and other service facilities in that the subject site was intended for commercial uses.

Based on the above analysis, staff believes that the specific findings related to the on-sale of alcohol for approval of a Planned Development Permit could be made for the proposed use.

#### Determination of Public Convenience or Necessity for the Off-Sale of Alcohol

As of January 1995, the State of California Legislature implemented AB2897 by amending the Business and Professions Code (Section 23958) to require the Department of Alcohol Beverage Control (ABC) to deny an application for a liquor license "if issuance of that license would tend to create a law enforcement problem, or if the issuance would result in or add to an undue concentration of liquor licenses," unless the City makes a Determination of Public Convenience or Necessity. Undue concentration is defined as follows:

1. The premises of the proposed license are located in an area that has 20% more reported crimes than the average number of reported crimes for the City as a whole, or
2. The premises of the proposed license are located in a census tract where the ratio of existing retail on-sale/retail off-sale licenses to population in the census tract exceeds the ratio in the County as a whole.

Per the attached Police Department memorandum dated October 23, 2012, the project site is not located within an area over the 20% crime index. The site is considered unduly concentrated with off-sale licenses because the premises of the proposed license are located in a census tract where the ratio of existing retail on-sale/retail off-sale licenses to population in the census tract exceeds the ratio in the County as a whole. For ABC to be able to issue a license for the off-sale of alcohol in an unduly concentrated area, the City must grant a Determination of Public Convenience or Necessity.

Subject to the provisions of Chapter 6.84 of Title 6 of the Municipal Code, the Planning Commission may issue a determination of Public Convenience or Necessity in connection with an application for a license from the California Department of Alcoholic Beverage Control for the off-premises sale of alcoholic beverages only after making all of the following findings:

1. The proposed use is not located within a Strong Neighborhoods Initiative or Neighborhood Revitalization area or other area designated by the City for targeted neighborhood enhancement services or programs, or located within an area in which the Chief of Police has determined based upon quantifiable information that the proposed use: (a) would be detrimental to the public health, safety, or welfare of persons located in the area; or (b) would increase the severity of existing law enforcement or public nuisance problems in the area; and

*Analysis of Required Finding:* The location is not currently in a Strong Neighborhood Initiative area or a Neighborhood Revitalization area. In a memorandum dated October 23, 2012, the San Jose Police Department has stated that it is neutral to the issuance of a proposed Planned Development Permit to allow demolition of an existing building and construction of a new restaurant on the subject site. This finding can be made.

2. The proposed use would not lead to the grouping of more than four off-premises sale of alcoholic beverage uses within a one thousand-foot radius from the exterior of the building containing the proposed use; and

*Analysis of Required Finding:* There are two other establishments, Cost Plus World Market and Target, that provide off-sale of alcohol within a thousand foot radius from the project site. This finding can be made.

3. The proposed use would not be located within five hundred feet of a school, day care center, public park, social services agency, or residential care or service facility, or within one hundred fifty feet of a residence; and

*Analysis of Required Finding:* The proposed use meets the separation requirements for all other uses noted except that it is within 500 feet of the Guadalupe Gardens situated to the north of the project site across Coleman Avenue. The proposed use is located at a distance of approximately 215 feet. This required finding cannot be made by the Planning Commission, and therefore, the Commission should make a recommendation to the City Council regarding this application.

4. Alcoholic beverage sales would not represent a majority of the proposed use; and

*Analysis of Required Finding:* The proposed use is associated with a bonafide eating establishment and off-sale (beer only) is provided as a convenience to customers in conjunction with their food order. No separate retail display for off-sale is proposed.

5. At least one of the following additional findings:

- a. The census tract in which the proposed outlet for the off-premises sale of alcoholic beverages is located is unusually configured and the proposed outlet would act as a convenience to an underserved portion of the community without presenting a significant adverse impact on public health or safety; or
- b. The proposed outlet for the off-premises sale of alcoholic beverages would enhance or facilitate the vitality of an existing commercial area without presenting a significant adverse impact on public health or safety; or
- c. The census tract in which the proposed outlet is located has a low population density in relation to other census tracts in the city, and the proposed outlet would not contribute to an over- concentration in the absolute numbers of outlets for the off-premises sale of alcoholic beverages in the area; or

- d. The proposed off-premises sale of alcoholic beverages is incidental and appurtenant to a larger retail use and provides for a more complete and convenient shopping experience.

*Analysis of Required Finding:* The proposed use is associated with a bonafide eating establishment and is incidental to that establishment, and would contribute to the economic vitality of the existing commercial uses. Finding 5.d. can be made.

As noted above, all required findings required for off-sale of alcohol (beer only), as identified in Title 6 of the San Jose Municipal Code for Determination of Public Convenience and Necessity, cannot be made in this instance and therefore, the Planning Commission is requested to make a recommendation to the City Council.

### **City Council Policy 6-27: Guidelines for Evaluation of 24-Hour Uses**

The City Council Policy, Evaluation of 24-Hour Uses, is intended to provide guidelines for the appropriate development of establishments that operate on a 24-hour basis in the City of San José while avoiding the problems associated with such operations. The Policy states that generally, 24-Hour Uses should not be located within 300 feet of residential properties. Late night use until 1:00 a.m. on Friday and Saturday is proposed for this bonafide eating establishment located within the fully developed San Jose Market Center. The parcel to the north of the project site, across Coleman Avenue, is residentially zoned and presently designated as park use located within 500 feet of the property. No other existing residential property is presently within 500 feet of the subject property.

However, the bonafide eating establishment does include an outdoor dining patio facing other commercial uses within San Jose Market Center development. As for the bar use, the policy states that this use should meet the City Council Policy on the Guidelines for the Evaluation of Nightclubs and Bars, which is further discussed below in the next section of this report.

The policy also addresses police issues and states that, “crime statistics and police safety issues which are directly related to uses operating between 12:00 midnight and 6:00 a.m. will be analyzed and considered in determining the appropriateness of 24-hour uses”. In a memorandum dated October 23, 2012, the San Jose Police Department stated it is neutral to the proposed Planned Development Permit for the eating and drinking establishment proposed on the subject site. Further, the memorandum states that the reported crime statistics as defined by B&P Section 23958.4(c) are not over the 20% crime index.

The Draft Resolution includes conditions to mitigate potential impacts of the proposed late night use and includes addressing litter control, lighting, and exterior maintenance. With these conditions, the proposed late night use should not be detrimental to the nearby park use or any other surrounding use.

### **City Council Policy 6-23: Guidelines for Evaluation of Nightclubs and Bars**

The City Council policy establishing guidelines for the evaluation of nightclubs and bars was written to facilitate the evaluation process for individual permit applications by identifying the needed project characteristics that are necessary for approval. The applicable project characteristics required by the policy are inserted in italics below and followed by a discussion.

1. *New nightclubs and bars should be discouraged from locating adjacent to or near any existing residential uses or any areas planned for residential uses in the adopted General Plan.*

*Analysis:* The proposed use is located at a distance greater than 500 feet from existing residential uses.

- 2. New nightclubs and bars that are not open during daytime hours should not occupy more than 30 percent of the street frontage on any one side of the street.*

*Analysis:* The proposed use is a drinking establishment associated with and located within a public eating and drinking establishment and will operate during daytime hours commencing from 8 a.m.

- 3. New nightclubs and bars are discouraged from locating in areas where there has been above-average police calls for service. It is the responsibility of the Chief of Police to evaluate all bar and nightclub proposals to ensure the safety and security of both patrons and citizens. Conditions may be imposed to monitor bars and nightclubs and to discourage nuisance activities. These conditions may include such requirements as interior or exterior security guards, additional lighting, limited occupancy, and modifications or controls or procedures to increase effective law enforcement.*

*Analysis:* In a memorandum dated October 23, 2012, the Police Department indicates that the project is not located in an area with a crime index greater than 20% of the city average and the Department is neutral to the proposed on- and off-sale of alcohol with late night use. The draft resolution includes a condition that the occupancy of the venue must not exceed the maximum occupancy identified by the Fire Department. With the inclusion of this condition, if the venue is cited by Police or Fire Department for exceeding the occupancy, then it will also be a violation of the Planned Development Permit. The draft resolution also includes a condition that alcohol service shall be further limited to the hours and areas allowed and specified by the licenses issued for the site by the ABC.

- 4. Outdoor areas for entertainment, including areas with roof openings, should not be allowed where noise impacts the surrounding area. Hours of operation and/or amplified sound should be carefully regulated to ensure compatibility with adjacent uses*

*Analysis:* The project does include an outdoor dining patio. Per Title 6 of the Municipal Code, any entertainment use proposed is required to obtain and comply with an Entertainment Permit from the Police Department.

- 5. Nightclub and bar operators should provide daily cleaning of the public right-of-way up to 200 feet from the property lines of the site of the facility. This cleaning should occur before 8 a.m. each day. Mechanical equipment used for outside maintenance, including blowers and street sweepers, etc., should not be used between 10 p.m. and 6 a.m. if the clean up occurs within 500 feet of existing residential uses.*

*Analysis:* The Draft Resolution contains a condition that requires the operator of the proposed use to clean the public right-of-way up to 200 feet from the property lines of the site of the facility between 7:00 a.m. and 8:00 a.m. each day with the restriction for the use of mechanical equipment as stated above.

### **California Environmental Quality Act (CEQA)**

The Final Environmental Impact Report entitled, "San José Market Center Project," for the project was certified on October 27, 2004 (Planning Commission Resolution #72396). The proposed project is covered by this EIR.

**CONCLUSION**

Based on the above analysis, staff concludes that all the required findings for issuance of a Planned Development Permit for the demolition of an existing eating establishment, and construction of a new bonafide eating establishment in the same location, with late night use until 1:00 a.m. can be made with regard to the proposal. The on-sale of alcohol is incidental to a bonafide eating establishment and it meets the required findings under the Zoning Ordinance. However, one of the required findings for the determination of Public Convenience or Necessity for off-sale of alcohol cannot be made in this instance and therefore, the Planning Commission is requested to make a recommendation to the City Council. The location of the proposed off-sale of alcohol is within a public eating establishment in the existing San Jose Market Center and is intended to provide for a more convenient take-out service to its customers. There are two other existing licensed off-sale establishments within 1000 feet of the proposed use.

**PUBLIC OUTREACH/INTEREST**

The property owners and occupants within a 500-foot radius were sent public hearing notices for the Planning Commission hearing. This staff report has been posted on the City's web site. Signage has been posted at the site to inform the public about the proposal and a community meeting would be scheduled if the project generated community interest. Staff has not received any comments to date. Staff has been available to discuss the proposal with interested members of the public.

**Project Manager:** Aparna Ankola **Approved by:** *Fauree Pavetti* **Date:** 12/06/2012

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| <b><u>Owner/Applicant:</u></b><br><b><u>Owner:</u></b><br>CPF San Jose Retail Inc,<br>200 East Randolph Drive<br>Chicago, IL 60601<br><br><b><u>Applicant:</u></b><br>Jared Taylor<br>1288 Palmerston Loop<br>Roseville, CA 95678 | <b><u>Attachments:</u></b><br>Draft Resolution<br>Police Department Memorandum<br>Plan Set |
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## RESOLUTION NO. 12-

A Resolution of the City Council of the City of San José approving a Planned Development Permit and granting a Determination of Public Convenience or Necessity request to allow the demolition of an existing 6,662 square foot restaurant (Chevy's); construction of a new 7,453 square foot restaurant (BJ's) with a 920 square foot outdoor patio; and on-sale (full range of alcoholic beverages) and off-sale (beer only) with late night use on a 0.95 gross acre site located on the southwest corner of Coleman Avenue and Autumn Street (511 Coleman Avenue)

### FILE NOS. PD12-041 & ABC12-011

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SAN JOSÉ:

WHEREAS, pursuant to the provisions of Chapter 20.100 of Title 20 of the San José Municipal Code, on September 25, 2012 applications (File Nos. PD12-041 & ABC12-011) were filed for a Planned Development Permit and Determination of Public Convenience or Necessity to allow for the on-sale and off-sale (beer and wine only) of alcohol for a drinking establishment associated with a public eating establishment (restaurant) that includes an outdoor dining patio and late night use until 1:00 a.m. in a new 7,453 square foot building and 920 square foot patio in a retail commercial development on that certain real property (hereinafter referred to as "subject property"), situate in the A(PD) Planned Development Zoning District (PDC04-018), located on the southwest corner of Coleman Avenue and Autumn Street (511 Coleman Avenue); and

WHEREAS, the subject property is all that real property described in Exhibit "A." which is attached hereto and made a part hereof by this reference as if fully set forth herein; and

WHEREAS, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code, the Planning Commission conducted a hearing on said application on December 12, 2012, notice of which was duly given; and

WHEREAS, at said hearing, the Planning Commission gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

WHEREAS, at said hearing, the Planning Commission made a recommendation to the City Council respecting said matter based on the evidence and testimony; and

WHEREAS, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code, this City Council conducted a hearing on said application, notice of which was duly given; and

WHEREAS, at said hearing, this City Council gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

WHEREAS, at said hearing this City Council received and considered the reports and recommendation of the Planning Commission and the Director of Planning, Building and Code Enforcement; and development plan for the subject property entitled, "BJ's Restaurant and Brewhouse, 'Market Center', 511 Coleman Avenue, San Jose, CA, 95110" dated September 25, 2012, and said plan is on file in the Department of Planning, Building and Code Enforcement and is available for inspection by anyone interested herein, and said development plan is incorporated herein by this reference, the same as if it were fully set forth herein; and

WHEREAS, said hearing was conducted in all respects as required by the San Jose Municipal Code and the rules of the City Council;

NOW, THEREFORE:

After considering evidence presented at the Public Hearing, the City Council finds that the following are the relevant facts regarding this proposed project:

1. The project site is located at the southwest corner of Coleman Avenue and Autumn Street.
2. This site has a designation of Transit Employment Center on the Envision San José 2040 General Plan Land Use/Transportation Diagram.
3. The project site is located in the A(PD) Planned Development Zoning District (File No. PDC04-018).
4. The subject site is surrounded by Guadalupe Garden uses to the north, industrial and commercial uses beyond the Market Center to the west; the commercial uses within Market Center and Union Pacific Railroad tracks to the south; and the Guadalupe River Park to the east.
5. The subject site is located on within the San Jose Market Center commercial development previously approved in 2004 (File Number PD04-077).
6. The project includes demolition of an existing 6,622 square foot eating and drinking establishment with a 534 square foot dining patio (Chevy's) which was previously approved in 2007 (File Number PD07-070).
7. The project includes construction of a new 7,453 square foot eating and drinking establishment with a 920 square foot dining patio at the same location (BJ's).
8. The project proposes the off-sale of alcohol (beer only) in association with the public eating and drinking establishment and is incidental to the use.
9. Alcohol sales would not have a display area and therefore would not represent a majority of the proposed eating and drinking establishment.
10. The off-sale of alcohol (beer only) is occasionally provided as a convenience to customers in conjunction with their food order.

11. The project proposes hours of operation between 8:00 a.m. until midnight from Sunday through Thursday; and late night use from 8.00 a.m. until 1 a.m. on Friday and Saturday.
12. No additional increase in parking demand results from the proposed project.
13. Under the provisions of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), The Final Environmental Impact Report entitled, "San José Market Center Project," for the project was certified on October 27, 2004 (Planning Commission Resolution #72396).
14. The project site is not located within an area of high crime.
15. The project site is located in a census tract in which the ratio of on-sale and off-sale retail licenses to population exceeds the ratio of on-sale and off-sale retail licenses to population in the county in which the subject site is located.
16. In the memo dated Oct 23, 2012, the Police Department has indicated that they are neutral to the issue of on-sale and off-sale of alcohol with late night use for a public eating and drinking establishment at this location.
17. The proposed use would not lead to the grouping of more than four off-sale uses within a one-thousand-foot radius from the proposed use per data from the State Department of Alcoholic Beverage Control. There are two other off-sale uses within that radius, Cost Plus World Market and Target.
18. The proposed use is not within a Strong Neighborhood Initiative area or other area designated by the city for targeted neighborhood enhancement services or programs.
19. The project site is not located within 500 feet of a school, day care center, social services agency, or residential care or service facility.
20. The project building is not located adjacent to and within 150 feet of residentially zoned property to the south.
21. The project site is located within 500 feet of a public park, Guadalupe Gardens. The proposed use is located at a distance of approximately 215 feet.
22. The proposed project is consistent with City Council Policy 6-23: Guidelines for Evaluation of Nightclubs and Bars.
23. The proposed project is consistent with City Council Policy 6-27: Guidelines for Evaluation of 24-Hour Uses.
24. Without the granting of a Determination of Public Convenience or Necessity, the Planned Development Permit cannot be effectuated.

The City Council concludes and finds, based on the analysis of the above facts in regards to the off-sale of alcohol, that:

1. The proposed use is not located within a Strong Neighborhoods Initiative or Neighborhood Revitalization area or other area designated by the City for targeted neighborhood enhancement services or programs, or located within an area in which the Chief of Police has determined based upon quantifiable information that the proposed use: (a) would be detrimental to the public health, safety, or welfare of persons located in the area; or (b) would increase the severity of existing law enforcement or public nuisance problems in the a

2. The proposed use would not lead to the grouping of more than four off-premises sale of alcoholic beverage uses within a one thousand-foot radius from the exterior of the building containing the proposed use; and
3. For such use at a location closer than five hundred feet from any child care center, public park, social service agency, residential care facility, residential service facility, elementary school, secondary school, college or university, or one hundred fifty feet from any residentially zoned property, that the building in which the proposed use is to be located is situated and oriented in such a manner that would not adversely affect such residential, child care center, public park, social service agency, residential care facility, residential service facility and/or school use.
4. Alcoholic beverage sales would not represent a majority of the proposed use; and
5. The proposed off-premises sale of alcoholic beverages is incidental and appurtenant to a larger retail/restaurant use and provide for a more complete and convenient shopping experience.

Further, the City Council concludes and finds, based on the analysis of the above facts, that:

1. The proposed use at the location requested will not:
  - a. Adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; or
  - b. Impair the utility or value of property of other persons located in the vicinity of the site; or
  - c. Be detrimental to public health, safety or general welfare.
2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding area.
3. The proposed site is adequately served:
  - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quantity of traffic such use would generate; or by other forms of transit adequate to carry the kind and quantity of individuals such use would generate; and
  - b. By other public or private service facilities as are required.

Further, the City Council concludes and finds, based on the analysis of the above facts in regards to the Planned Development Permit, that:

1. The Planned Development Permit, as issued, furthers the policies of the General Plan;
2. The Planned Development Permit, as issued, conforms in all respects to the Planned Development Zoning of the property;

3. The interrelationship between the orientation, location, mass and scale of building volumes, and elevations of proposed buildings, structures and other uses on-site are appropriate, compatible and aesthetically harmonious;
4. The environmental impacts of the project, including, but not limited to noise, vibration, dust, drainage, erosion, storm water runoff, and odor which, even if insignificant for purposes of the California Environmental Quality Act (CEQA), will not have an unacceptable negative effect on adjacent property or properties.
  - a. Under the provisions of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), the Director of Planning has determined pursuant to the provisions of CEQA as well as the provisions of Title 21 of the San José Municipal Code the Final EIR “San José Market Center Project”, thereto adequately addresses the environmental effects of the proposed project.

Finally, in accordance with the findings set forth above, a Planned Development Permit and a Determination of Public Convenience and Necessity to use the subject property for said purpose specified above and subject to each and all of the conditions hereinafter set forth are hereby granted. This City Council expressly declares that it would not have granted this permit and determination except upon and subject to each and all of said conditions, each and all of which conditions shall run with the land and be binding upon the owner and all subsequent owners of the subject property, and all persons who use the subject property for the use conditionally permitted hereby.

## CONDITIONS

This Planned Development Permit shall have no force or effect and the subject property shall not be used for the hereby permitted uses unless and until all things required by the below-enumerated precedent conditions and all of the requirements set forth in San José Municipal Code Section 20.100.290.D shall have been fully performed or caused to be fully performed.

1. **Acceptance of Permit.** Per Section 20.100.290(B), should the permittee fail to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the permittee shall be deemed to constitute all of the following on behalf of the applicant:
  - a. Acceptance of the Permit by the permittee; and
  - b. Agreement by the permittee to be bound by, to comply with, and to do all things required of or by the permittee pursuant to all of the terms, provisions, and conditions of this permit or other approval and the provisions of Title 20 applicable to such Permit.
2. **Permit Expiration.** This Planned Development Permit shall automatically expire four years from and after the date of adoption of the Resolution by the City Council, granting this Permit, if within such four-year period, the proposed use of this site has not commenced, pursuant to and in accordance with the provisions of this Planned Development Permit. The date of adoption is the date the Resolution granting this Planned Development Permit is approved by the City Council. However, the Director of Planning may approve a Permit Adjustment to extend the validity of this Permit pursuant to Title 20 of the San José Municipal Code.

3. **Conformance with Plans.** The use of this property shall conform to approved plans entitled, "BJ's restaurant and brewhouse, 'Market Center' San Jose, CA" dated September 25, 2012 on file with the Department of Planning, Building and Code Enforcement.
4. **Use Authorization.** This Planned Development Permit authorizes the on-sale (full range of alcohol) and off-sale of alcoholic beverages (beer only) with late night use until 1:00 a.m. on Friday and Saturday, to be implemented only in conjunction with a bonafide eating establishment.
5. **Alcoholic Beverage Control.** The on-sale and off-sale of alcoholic beverages is allowed in conformance with the requirements of the Department of Alcohol Beverage Control (ABC). The applicant shall maintain full compliance and in good standing with the Department of Alcoholic Beverage Control.
6. **Permit Adjustment Required.** Prior to the issuance of a Building Permit, the permittee shall secure and agree to implement a Permit Adjustment to the satisfaction of the Director of Planning that addresses the following items:
  - a. Provide new rear and right side elevation drawings and details.
  - b. New trash enclosure floor plan and details indicated on site plan.
7. **Building Permit/Certificate of Occupancy.** Procurement of a Building Permit and/or Certificate of Occupancy from the Building Official for the uses described or contemplated under this permit shall be deemed acceptance of all conditions specified in this permit and the applicant's agreement to fully comply with all of said conditions. No change in the character of occupancy or change to a different group of occupancies as described by the "Building Code" shall be made without first obtaining a Certificate of Occupancy from the Building Official, as required under San José Municipal Code Section 24.02.610, and any such change in occupancy must comply with all other applicable local and state laws. Prior to the issuance of a Building or Occupancy Permit as needed, the following requirements must be met to the satisfaction of the Chief Building Official:
  - a. *Construction Plans.* This Permit File Number, PD12-041, shall be printed on all construction plans submitted to the Building Division.
8. **Fire Department Requirements.** The permittee shall meet all requirements of the Fire Department, including Fire alarm and Fire sprinkler systems, at the Building or Occupancy Permit stage as appropriate.
9. **Public Works Requirements.** Prior to the issuance of Building permits, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.
  - a. **Grading/Geology:**
    - i. A grading permit is required prior to the issuance of a Public Works Clearance. The construction operation shall control the discharge of pollutants (sediments) to the storm drain system from the site. An erosion control plan may be required with the grading application.

- ii. The Project site is within the State of California Seismic Hazard Zone. A geotechnical investigation report addressing the potential hazard of liquefaction must be submitted to, reviewed and approved by the City Geologist prior to issuance of a grading permit or Public Works Clearance. The investigation should be consistent with the guidelines published by the State of California (CGS Special Publication 117A) and the Southern California Earthquake Center (SCEC, 1999). A recommended depth of 50 feet should be explored and evaluated in the investigation.
    - iii. All on-site storm drainage conveyance facilities shall be reviewed and approved under Public Works Grading and Drainage permit prior to the issuance of Public Works Clearance. The drainage plan should include all underground pipes, building drains, area drains and inlets. The project shall provide storm drainage calculations that adhere to the 2010 California Plumbing Code or submit a stamped and signed alternate engineered design for Public Works discretionary approval.
  - b. **Stormwater Peak Flow Control Measures:** The project is located in a non-Hydromodification Management area and is not required to comply with City's Post-Construction Hydromodification Management Policy (Council Policy 8-14)
  - c. **Stormwater Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of Best Management Practices (BMPs) that include site design measures, source controls, and stormwater treatment controls to minimize stormwater pollutant discharges. Post-construction treatment control measures, shown on the project's Stormwater Control Plan, shall meet the numeric sizing design criteria specified in City Policy 6-29.
    1. The project's Stormwater Control Plan and numeric sizing calculations must be submitted prior to issuance of a Public Works Clearance.
    2. Final inspection and maintenance information on the post-construction treatment control measures must be submitted prior to issuance of a Public Works Clearance.
  - d. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
10. **Sewage Treatment Demand.** Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the applicant for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José-Santa Clara Water Pollution Control Plant represented by approved land uses in the area served by said Plant will cause the total sewage treatment demand to meet or exceed the capacity of San José-Santa Clara Water Pollution Control Plant to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Quality Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval, may be imposed by the approval authority.
11. **Conformance with Municipal Code.** No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code.

12. **Compliance with Other Permits.** The developer shall comply with all terms and conditions of the previously approved permits on the site.
13. **Compliance with Local and State Laws.** The subject use shall be conducted in full compliance with all local and state laws. No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code. The Permit shall be subject to revocation if the subject use is conducted in such a manner as to cause a nuisance, as defined below.
14. **Nuisance.** This use shall be operated in a manner that does not create a public or private nuisance. Nor shall the use adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area or be detrimental to public health, safety or general welfare. Any such nuisance must be abated immediately upon notice by the City.
15. **Patio Use.** No activities that can be heard at a distance of 50 feet or more from the property line with normal human hearing are allowed on the outdoor patio between the hours of 10:00 p.m. and midnight Sunday through Thursday and between the hours of 10:00 p.m. and 1:00 a.m. Friday and Saturday.
16. **Neighborhood Complaints.** Neighborhood complaints related to noise, litter, graffiti, and other disturbances should be relayed to the Code Enforcement Division at (408) 535-7770. The list of complaints on record is to be made available to the Planning Commission at any subsequent hearings.
17. **Discretionary Review.** The Director of Planning maintains the right of discretionary review of requests to alter or amend structures, conditions or restrictions of this Planned Development Permit incorporated by reference in this Permit in accordance with the San José Municipal Code.
18. **Permittee Responsibility.** The permittee shall ensure that the use authorized by this Permit is implemented in conformance with all of the provisions of this Permit.
19. **Restroom Facilities.** Restroom facilities shall remain open and available to patrons during business hours.
20. **Exterior Clean Up.** The applicant shall be responsible for removing any litter (which emanates from the subject use) at the subject site and on all adjacent properties within 200 feet of the subject property between 7:00 and 8:00 a.m. on a daily basis. Garbage pick up shall not occur later than 10:00 p.m. or prior to 7:00 a.m. No cleaning and maintenance for outdoor areas that utilizes mechanical blowers, vacuums, or other noise generating equipment is permitted between the hours of 10:00 p.m. and 7:00 a.m.
21. **Anti-Litter.** The site and surrounding area shall be maintained free of litter, refuse, and debris.
22. **Anti-Graffiti.** The applicant shall remove all graffiti from buildings and wall surfaces within 48 hours of defacement.
23. **Refuse.** All trash areas shall be effectively screened from view and covered and maintained in an orderly state to prevent water from entering into the garbage container. No outdoor storage is allowed / permitted unless designated on the approved plan set. Trash areas shall be maintained in a manner to discourage illegal dumping.
24. **Lighting.** This permit allows no new exterior lighting.

- 25. **Sign Approval.** No signs are approved at this time. All proposed signs shall be subject to approval by the Director of Planning.
- 26. **Revocation, Suspension, Modification.** This Planned Development Permit may be revoked, suspended or modified by the Planning Commission, or by the City Council on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing in accordance with Chapter 20.100, Title 20 of the San José Municipal Code it finds:
  - a. A violation of any conditions of the Planned Development Permit was not abated, corrected or rectified within the time specified on the notice of violation; or
  - b. A violation of any City ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation; or
  - c. The use as presently conducted creates a nuisance.

**ADOPTED** and issued this \_\_\_ day of **December 2012**, by the following vote:

AYES:  
 NOES:  
 ABSENT:  
 ABSTAIN:

---

CHUCK REED  
 MAYOR

ATTEST:

---

DENNIS D. HAWKINS, CMC  
 CITY CLERK

**NOTICE TO PARTIES**

*The time within which judicial review must be sought to review this decision is governed by the provisions of the California Code of Civil Procedure Section 1094.6.*

BJ's Restaurant  
511 Coleman Ave  
San Jose, CA 95110

## LEGAL DESCRIPTION (LEASE AREA)

PER PRELIMINARY TITLE REPORT ORDER NO. 12-51054961 PREPARED BY FIDELITY NATIONAL TITLE COMPANY, DATED 6/25/12

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN JOSE, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 22, AS SHOWN ON THE FINAL MAP "TRACT 9707SAN JOSE MARKET CENTER- UNIT 2" , FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA STATE OF CALIFORNIA RECORDED JUNE 13, 2001 IN BOOK 788 OF MAPS, PAGES 6 THROUGH 18 INCLUSIVE.

EXCEPTING THEREFROM THE MINERAL RIGHTS RESERVED IN THE DEED RECORDED APRIL 4, 2005 AS INSTRUMENT NO. 18302223, OF OFFICIAL RECORDS, SANTA CLARA COUNTY RECORDS.



# Memorandum

**TO:** Aparna Ankola  
Planning Department

**FROM:** Ofc. C. Zarate #3165  
San Jose Police Vice Unit

**SUBJECT:** PD12-041 & ABC12-011  
BJ's Restaurant

**DATE:** October 23, 2012

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Approved

Date

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I have received your request for input regarding BJ's Restaurant, located at 511 Coleman Ave., San Jose, Ca.95110. BJ's is seeking a Planned Development Permit to allow demolition of an existing building and construction of a new building for a new restaurant. BJ's is also seeking a Determination of Public Convenience or Necessity to allow the on-sale and off-sale of alcohol.

Per Business and Professions (B&P) Code Section 23958, the State of California Department of Alcohol Beverage Control shall deny an ABC Application for an ABC License if the issuance of that license would tend to create a law enforcement problem or if it would result in or add to an undue concentration of ABC Licenses, as described in B&P Sections 23958.4 (a)(1) and 23958.4(a)(2). A location can be unduly concentrated because of its criminal statistics and/or its proximity to other ABC Licenses. ABC can issue the license per B&P Sections 23958.4 (b)(1), and 23958.4 (b)(2) if the local governing body determines that the public convenience or necessity would be served. The City of San Jose Planning Department or the Planning Commission are the delegated authorities to grant these exceptions.

The location is not currently in a Strong Neighborhood Initiative area or a Neighborhood Revitalization area.

BJ's is proposed to be located in San Jose Police Beat E1. The reported crime statistics as defined by B&P Section 23958.4(c) **are not** over the 20% crime index thus the location **is not** considered unduly concentrated per B&P Section 23958.4 (a)(1).

### Police Beat Crime Statistics

| Beat         | Index Crimes | Arrests | Total | 20% Above Average |
|--------------|--------------|---------|-------|-------------------|
| E1 (2011)    | 116          | 181     | 297   | No                |
| City Average | 207          | 373     | 580   |                   |

Department of Alcohol Beverage Control (ABC) records indicate that 511 Coleman Ave. is in census tract 5003.00.. Pursuant to B&P Section 23958.4 (a)(2), the ratio of on-sale and off- sale retail licenses to population in census tract 5010 **does** exceed the ratio of on-sale and off- sale retail licenses to population in the county in which the applicant premises are located.

**Authorized and Current ABC Licenses in Census Tract 5003.00**

| Census Tract | Authorized ABC Licenses as of May 2012 |            | Current ABC Licenses as of October 2012 |            | Unduly Concentrated |            |
|--------------|--|------------|---|------------|---------------------|------------|
|              | On - Sale                              | Off - Sale | On - Sale                               | Off - Sale | On - Sale           | Off - Sale |
| 5003.00      | 4                                      | 1          | 14                                      | 8          | Yes                 | Yes        |

The San Jose Police Department is **neutral** to the issuance of a Planned Development Permit to allow demolition of an existing building and construction of a new restaurant. The San Jose Police Department is **neutral** to the Determination of Public Convenience or Necessity for the off-sale and on-sale of alcohol at a new restaurant.

Please feel free to contact me at 277-4322 if you have any questions.

Lt. Ed Schroder #3045  
Commander, Special Investigations Unit

Ofc. Christine Zarate #3165  
Administrative Officer  
Special Investigations/Vice

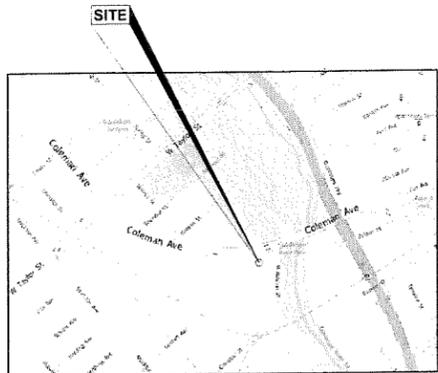
**ABBREVIATIONS**

|         |   |              |                        |
|---------|---|--------------|------------------------|
| ABV     | ABOVE                                       | OC           | ON CENTER (S)          |
| AFF     | ABOVE FINISHED FLOOR                        | OPD          | OPENING                |
| ACC     | ACCESS                                      | MET          | METAL                  |
| AF      | ACCESS PANEL                                | M            | METER (S)              |
| AC      | ACOUSTICAL                                  | MM           | MILLIMETER (S)         |
| ACT     | ACOUSTICAL TILE                             | MIR          | MIRROR                 |
| ADJ     | ADJACENT                                    | MIS          | MISCELLANEOUS          |
| ADUT    | ADJUSTABLE                                  | MISC         | MISCELLANEOUS          |
| AGG     | AGGREGATE                                   | MLD          | NO. GRS. MOLDING       |
| ALT     | ALTERNATE                                   | MT           | MOUNT (ED) (HS)        |
| AL      | ALUMINUM                                    | MOV          | MOVABLE                |
| ANC     | ANCHOR ANCHORAGE                            | MULL         | MULLION                |
| AN      | ANCHOR SCLT                                 | NAT          | NATURAL                |
| ARCH    | ARCHITECT, ARCHITECTURAL                    | NOM          | NOMINAL                |
| ADW     | AREA DRAIN                                  | NIC          | HOT IN CONTACT         |
| ASPH    | ASPHALT                                     | NOT TO SCALE |                        |
| AWM     | AWNING                                      | OPH          | OPPOSITE HAND          |
| BKR     | BACKER                                      | ORH          | ORNAMENTAL             |
| BM      | BEAM  | OD           | OUTSIDE DIAMETER       |
| BRG     | BEARING                                     | OA           | OVERALL                |
| BPL     | BEARING PLATE                               | OH           | OVERHEAD               |
| BEL     | BELOW                                       | PH           | PAINT (ED)             |
| BEI     | BETWEEN                                     | PH           | PANEL (S)              |
| BEY     | BEYOND                                      | PH           | PAPER TOWEL DISPENSER  |
| BLKG    | BLOCKING                                    | PH           | PAPER TOWEL RECEPTOR   |
| BO      | BOARD                                       | PRPT         | PARAPET                |
| BS      | BOTH SIDES                                  | PTH          | PARTITION              |
| BT      | BOTTOM                                      | PVMT         | PAVEMENT               |
| BRKT    | BROCKET                                     | PERF         | PERFORATE (ED)         |
| BRK     | BRICK                                       | PLT          | PLASTER                |
| BLDG    | BUILDING                                    | PLAS         | PLASTER                |
| BO      | BY OWNER                                    | PLA          | PLASTIC                |
|         |   | PLM          | PLASTIC LAMINATE       |
| CAB     | CABINET                                     | PL           | PLATE                  |
| CAH     | CANVAS                                      | FG           | FLATE GLASS            |
| CPT     | CARPET                                      | PMD          | PLYWOOD                |
| CI      | CAST IRON                                   | POUNDS (S)   | POUNDS (S)             |
| CST     | CAST STONE                                  | PCF          | POUNDS PER CUBIC FOOT  |
| CB      | CATCH BASIN                                 | PLF          | POUNDS PER LINEAR FOOT |
| CLG     | CEILING                                     | PFS          | POUNDS PER SQUARE FOOT |
| CM      | CEMENT (S)                                  | PSI          | POUNDS PER SQUARE INCH |
| CT      | CERAMIC TILE                                | PCO          | PRECAST CONCRETE       |
| CHM     | CHAMFER                                     | PT           | PRESSURE TREATED       |
| CNC     | CIRCUMFERENCE                               | PL           | PROPERTY LINE          |
| CLS     | CLEAR, CLEARANCE                            | QT           | QUARRY TILE            |
| CLOSURE | CLOSURE                                     |              |                        |
| COL     | COLUMN                                      |              |                        |
| CONC    | CONCRETE                                    |              |                        |
| CMU     | CONCRETE MASONRY UNIT                       |              |                        |
| CONJ    | CONNECTION                                  |              |                        |
| CONST   | CONSTRUCTION                                |              |                        |
| CONT    | CONTINUE, CONTINUOUS                        |              |                        |
| CONTR   | CONTRACT, CONTRACTOR                        |              |                        |
| CJT     | CONTROL JOINT                               |              |                        |
| CR      | CORRUGATED                                  |              |                        |
| CIR     | COUNTER                                     |              |                        |
| DPR     | DAMPER                                      |              |                        |
| DL      | DEAD LOAD                                   |              |                        |
| DEM     | DEMOLISH, DEMOLITION                        |              |                        |
| DIL     | DETAIL                                      |              |                        |
| DIA     | DIAGONAL                                    |              |                        |
| DM      | DIMENSION                                   |              |                        |
| DOOR    | DOOR  |              |                        |
| DWG     | DRAWING                                     |              |                        |
| DR      | DRINKING FOUNTAIN                           |              |                        |
| EA      | EACH  |              |                        |
| EF      | EACH FACE                                   |              |                        |
| EW      | EACH WAY                                    |              |                        |
| ESMT    | ELEMENT                                     |              |                        |
| ELEC    | ELECTRIC (AL)                               |              |                        |
| EP      | ELECTRICAL PANEL BOARD                      |              |                        |
| ELEV    | ELEVATION                                   |              |                        |
| EQ      | EQUAL                                       |              |                        |
| EST     | ESTIMATE                                    |              |                        |
| EXH     | EXHAUST                                     |              |                        |
| EXT     | EXTENDING                                   |              |                        |
| ED      | EXPANSION BOLT                              |              |                        |
| EJ      | EXPANSION JOINT                             |              |                        |
| EXT     | EXTERIOR                                    |              |                        |
| FOC     | FACE OF CONCRETE                            |              |                        |
| FF      | FACE OF FINISH                              |              |                        |
| FOM     | FACE OF MASONRY                             |              |                        |
| FOS     | FACE OF STUDS                               |              |                        |
| FAS     | FASTEN FASTENER                             |              |                        |
| FCL     | FIBERGLASS                                  |              |                        |
| FN      | FINISH (ED)                                 |              |                        |
| FPE     | FINISHED FLOOR ELEVATION                    |              |                        |
| FE      | FIRE EXTINGUISHER                           |              |                        |
| FEC     | FIRE EXTINGUISHER CABINET                   |              |                        |
| FRT     | FIRE RETARDANT                              |              |                        |
| FKT     | FIXTURE                                     |              |                        |
| FLG     | FLASHING                                    |              |                        |
| FLX     | FLEXIBLE                                    |              |                        |
| FG      | FLOOR GLASS                                 |              |                        |
| FLR     | FLOOR (ING)                                 |              |                        |
| FD      | FLOOR DRAIN                                 |              |                        |
| FL      | FLOOR LINE                                  |              |                        |
| FTG     | FOOTING                                     |              |                        |
| FND     | FOUNDATION                                  |              |                        |
| FR      | FRAME (S) (NG)                              |              |                        |
| FLR     | FURRED (ING)                                |              |                        |
| GA      | GAGE GAUGE                                  |              |                        |
| GV      | GALVANIZED                                  |              |                        |
| GC      | GENERAL CONTRACT, (OR)                      |              |                        |
| GL      | GLASS GLAZING                               |              |                        |
| GLAM    | GLUED LAMINATE                              |              |                        |
| GB      | GRAB BAR                                    |              |                        |
| GR      | GRADE, GRADING                              |              |                        |
| GRT     | GRATE (ING)                                 |              |                        |
| GVL     | GRAVEL                                      |              |                        |
| GT      | GROUT                                       |              |                        |
| GKD     | GUARD                                       |              |                        |
| GUT     | GUTTER                                      |              |                        |
| GPW     | GYPSTUM WALLBOARD                           |              |                        |
| HC      | HANDICAP                                    |              |                        |
| HRL     | HANDRAIL                                    |              |                        |
| HDW     | HARDWARE                                    |              |                        |
| HR      | HEADER                                      |              |                        |
| HYAC    | HEATING/VENTILATING/AIR CONDITIONING HEIGHT |              |                        |
| HT      | HORIZONTAL                                  |              |                        |
| HCAN    | HORIZONTAL CURTAIN                          |              |                        |
| INC     | INCLUDE (ED) (ING)                          |              |                        |
| ID      | INSIDE DIAMETER                             |              |                        |
| IGL     | INSULATING GLASS                            |              |                        |
| INT     | INTERIOR                                    |              |                        |
| INV     | INVERT                                      |              |                        |
| JT      | JOINT                                       |              |                        |
| J       | JOIST                                       |              |                        |
| JDC     | JOIST                                       |              |                        |
| KPL     | KICKPLATE                                   |              |                        |
| KIT     | KITCHEN                                     |              |                        |
| LAD     | LADDER                                      |              |                        |
| LAG     | LAG BOLT                                    |              |                        |
| LAM     | LAMINATE (ED)                               |              |                        |
| LGL     | LAMINATED GLASS                             |              |                        |
| LAV     | LAVATORY                                    |              |                        |
| LH      | LEFT HAND                                   |              |                        |
| L       | LENGTH                                      |              |                        |
| LT      | LIGHT                                       |              |                        |
| LTL     | LIVEL                                       |              |                        |
| LL      | LIVE LOAD                                   |              |                        |
| LOC     | LOCATE                                      |              |                        |
| LVR     | LOUVER                                      |              |                        |
| MH      | MARSHALE                                    |              |                        |
| MFR     | MANUFACTURE (OR)                            |              |                        |
| MAS     | MASONRY                                     |              |                        |
| MTL     | MATERIAL                                    |              |                        |
| MAX     | MAXIMUM                                     |              |                        |
| MECH    | MECHANIC (AL)                               |              |                        |
| MED     | MEDIUM                                      |              |                        |
| MDO     | MEDIUM DENSITY OVERLAY                      |              |                        |
| MER     | MEMBER                                      |              |                        |
| MMS     | MEMBRANE                                    |              |                        |

**SEP. PERMITS & DEFERRED SUBMITTALS**

- ROOF TRUSS DRAWINGS AND CALCULATIONS (DEFERRED SUBMITTAL)
- BUILDING SIGNAGE (SEPARATE PERMIT)
- FIRE ALARM & PULL STATION ADDRESS SYSTEMS (DEFERRED SUBMITTAL)
- FIRE SPRINKLERS & KITCHEN HOOD EXTINGUISHER SYSTEM (DEFERRED SUBMITTAL)

**SITE VICINITY MAP**



**OWNER**



**B.J.'s RESTAURANT AND BREWHOUSE**  
 "Market Center"  
 511 Coleman Ave.  
 San Jose, CA 95110

**DEVELOPMENT CONTACTS**

**OWNER**  
 B.J.'s RESTAURANTS, INC.  
 7755 CENTER AVENUE  
 HUNTINGTON BEACH, CA 92647  
 T: 714 500 2410 MAIN  
 CONTACT: JOAN LEUGAY  
 EMAIL: jleugay@bjrestaurants.com

**LANDLORD**  
 Shelter Bay Retail Group  
 605 Redwood Highway Suite 177  
 Mill Valley, CA 94041  
 T: 415 388 4802 KX  
 F: 415 388 4802  
 CONTACT: Sharlene Hassler (Property Manager)

**ARCHITECT**  
 WD PARTNERS  
 1888 ARMSTRONG AVE. SUITE 100  
 IRVINE, CA 92606  
 PHONE: 949 753 7676  
 FAX: 949 753 7678  
 CONTACT: STEVE TURNER  
 EMAIL: STEVE.TURNER@WDPARTNERS.COM

**CIVILLANDSCAPE**  
 WD PARTNERS  
 1888 ARMSTRONG AVE. SUITE 100  
 IRVINE, CA 92606  
 PHONE: 949 753 7676  
 FAX: 949 753 7678  
 CONTACT: ADRIAN TRONCOSO

**STRUCTURAL ENGINEER**  
 WD PARTNERS  
 1888 ARMSTRONG AVE. SUITE 100  
 IRVINE, CA 92606  
 PHONE: 949 753 7676  
 FAX: 949 753 7678  
 CONTACT: ALAN WOOD  
 EMAIL: ALAN.WOOD@WDPARTNERS.COM

**M.E.P. ENGINEER**  
 WD PARTNERS  
 1888 ARMSTRONG AVE. SUITE 100  
 IRVINE, CA 92606  
 PHONE: 949 753 7676  
 FAX: 949 753 7678  
 CONTACT: BYRON HOGGESS  
 EMAIL: BYRON.HOGGESS@WDPARTNERS.COM

**PLANNING**  
 City of San Jose Planning  
 200 East Santa Clara Street  
 San Jose, CA 95113  
 T: 408 535 7652  
 F: 408 535 6055  
 EMAIL: Lesley.xavier@sanjoseca.gov

**BUILDING DEPARTMENT**  
 City of San Jose Building  
 200 East Santa Clara Street  
 San Jose, CA 95113  
 Contact: Jose Federico (Plan Checker)  
 EMAIL: Jose.federico@sanjoseca.gov

**HEALTH DEPARTMENT**  
 County of Santa Clara  
 Environmental Health  
 1555 Berger Drive Suite 300  
 San Jose, CA 95113  
 Contact: Christine Crosby (Plan Checker)  
 EMAIL: Christine.crosby@schsnet.org

**FIRE DEPARTMENT**  
 City of San Jose Fire Department  
 200 East Santa Clara St. 2nd Floor Tower  
 San Jose, CA 95113  
 Contact: Lance Willis (Sr. Permit Specialist)  
 T: 408 535 7632  
 EMAIL: lance.willis@sanjoseca.gov

**FOOD SERVICE DESIGN**  
 THOMAS RAYGAL  
 2811 BEECH AVE  
 IRVINE, CA 92614  
 CONTACT: JASON DEGRAW  
 T: 949 474 1000 EXT. 8634  
 F: 949 474 1122

**ARCHITECT/ENGINEER**



brand · operations · build

16808 ARMSTRONG AVE  
 SUITE 100  
 IRVINE, CA 92606  
 949.753.7676 T

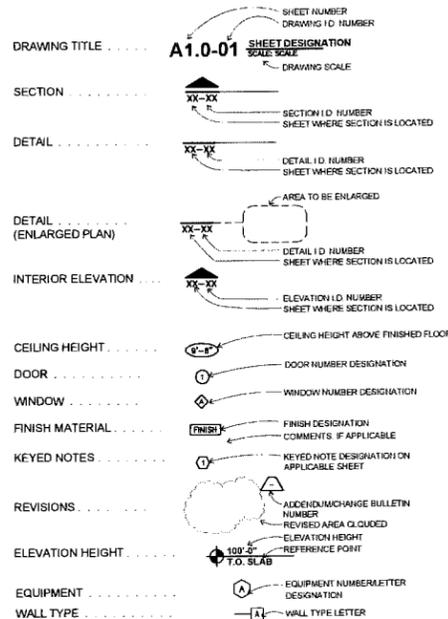
WDPARTNERS.COM

Atlanta Boston Chicago  
 Columbus Los Angeles Miami

**DRAWING INDEX**

| DWG. NO.      | TITLE SHEET                       | REV. / DATE |
|---------------|-----------------------------------|-------------|
| G1.0          | TITLE SHEET                       |             |
| CIVIL         |                                   | REV. / DATE |
|               | SEE CIVIL COVER SHEET             |             |
| ARCHITECTURAL |                                   | REV. / DATE |
| A0.2          | FINISH SCHEDULES                  |             |
| A0.3          | RESPONSIBILITY SCHEDULES          |             |
| A1.1          | NOTE FLOOR PLAN                   |             |
| A2.0          | EXTERIOR ELEVATIONS               |             |
| A2.1          | EXTERIOR ELEVATIONS               |             |
| A6.0          | TRASH ENCLOSURE/SERVICE YARD PLAN |             |
| A7.0          | DINING PATIO PLAN                 |             |

**SYMBOLS LEGEND**



**CODE INFORMATION**

**A. BUILDING CODE CRITERIA**

|                |  |
|----------------|--|
| BUILDING       | 2010 CALIFORNIA BUILDING CODE  |
| ELECTRICAL     | 2010 CALIFORNIA ELECTRICAL CODE  |
| FIRE           | 2010 CALIFORNIA FIRE CODE  |
| PLUMBING       | 2010 CALIFORNIA PLUMBING CODE  |
| MCHANICAL      | 2010 CALIFORNIA MECHANICAL CODE & TITLE 24   |
| HANDICAP       | 2010 CALIFORNIA BUILDING CODE & TITLE 24   |
| GREEN BUILDING | 2010 CALIFORNIA GREEN NON-RESIDENTIAL REQUIREMENTS CITY OF SAN JOSE MUNICIPAL CODE TITLE 17. |

**B. BUILDING DESCRIPTION**

|                                   |                               |
|-----------------------------------|-------------------------------|
| CONSTRUCTION TYPE                 | W/ FULLY FIRE SPRINKLERED WET |
| USE GROUP                         | A2                            |
| ALLOWABLE HEIGHT                  | 49' - 0"                      |
| ACTUAL HEIGHT                     | 29' - 0"                      |
| ALLOWABLE FLOOR AREA              | 6,000 SQ. FT.                 |
| AREA TRIPLES WITH FIRE SPRINKLERS | 18,000 SQ. FT.                |
| EXTERIOR WALL PROTECTION          | 1 HOUR URETHANE FOAM 10 FEET  |

**C. BUILDING AREA TABULATION**

|  |               |
|--|---------------|
| DRIVING AREAS                            | 3,068 SQ. FT. |
| BAH                                      | 364 SQ. FT.   |
| ENTRY / HOSTESS AREA                     | 324 SQ. FT.   |
| RESTROOM VESTIBULE                       | 337 SQ. FT.   |
| RESTROOM                                 | 54 SQ. FT.    |
| MEN'S RESTROOM                           | 195 SQ. FT.   |
| WOMEN'S RESTROOM                         | 185 SQ. FT.   |
| KITCHEN                                  | 1,404 SQ. FT. |
| EMPLOYEE RESTROOM                        | 51 SQ. FT.    |
| LOCKER ROOM                              | 73 SQ. FT.    |
| DRY STORAGE                              | 40 SQ. FT.    |
| OFFICE                                   | 69 SQ. FT.    |
| ELECTRICAL ROOM                          | 73 SQ. FT.    |
| SHOULDER IS                              | 48 SQ. FT.    |
| COOLERS AND FREEZER                      | 508 SQ. FT.   |
| TOTAL OCCUPIED BUILDING AREA             | 7,156 SQ. FT. |
| BUILDING FLOOR AREA (BUILDING FOOTPRINT) | 7,453 SQ. FT. |
| PATIO                                    | 920 SQ. FT.   |
| TRASH ENCLOSURE                          | 335 SQ. FT.   |

**D. EGRESS**

|                |   |
|----------------|---|
| EXITS REQUIRED | 2 |
| EXITS PROVIDED | 5 |

**E. PLUMBING FIXTURE REQUIREMENTS**

|   |                      |
|---|----------------------|
| RESTROOM PLUMBING FIXTURE CALCULATION   |                      |
| FOR 2010 CALIFORNIA PLUMBING CODE TABLE 4.1 OCCUPANT LOAD FACTOR                            |                      |
| EXCLUDE ACCESSORY AREAS WALK-IN COOLER/FREEZER AND REST ROOMS. NOT INCLUDED IN CALCULATIONS |                      |
| BUILDING COOLER/FREEZER MEN RESTROOM WOMEN RESTROOM   |                      |
| 7453 S.F. 542 S.F. (254+288) 191 S.F. 185 S.F. = 6535 S.F.                                  |                      |
| OCCUPANT LOAD 6535 (BUILDING) + 920 (PATIO) + 335 = 7850                                    |                      |
| 7850/6 = 1308 (1034 MALE & 124 FEMALE)  |                      |
| REQUIRED  |                      |
| TELEPHONE   | 2 WC, 1 URINAL 2 LAV |
| TELEVISION  | 3 WC 2 LAV           |
| TEMPERED GLASS  | 1                    |
| TEMPERED INSULATED GLASS  | 0                    |
| THRESHOLD   | 0                    |
| TO BE RELOCATED   | 0                    |
| TO BE REMOVED   | 0                    |
| TOILET PAPER DISPENSER  | 0                    |
| TOILET PARTITION  | 0                    |
| TOP OF CONCRETE SLAB  | 0                    |
| TOP OF CURB   | 0                    |
| TOP OF JOIST  | 0                    |
| TOP OF PLATE  | 0                    |
| TOP OF STEEL  | 0                    |
| TOP OF SUBFLOOR   | 0                    |
| TOP OF WALL   | 0                    |
| TO REMAIN   | 0                    |
| TRANSOM   | 0                    |
| TRUCK   | 0                    |
| TYPICAL   | 0                    |
| UNFINISHED  | 0                    |
| UNLESS NOTED OTHERWISE  | 0                    |
| URINAL  | 0                    |
| UTILITY   | 0                    |
| VERTICAL  | 0                    |
| VERTICAL  | 0                    |
| VINTL   | 0                    |
| VINTL BASE  | 0                    |
| VINTL COMPOSITION TILE  | 0                    |
| VINTL FABRIC  | 0                    |
| VINTL TILE  | 0                    |
| WAINSCOT  | 0                    |
| WALL HUNG   | 0                    |
| WATER CLOSET  | 0                    |
| WATER HEATER  | 0                    |
| WATERPROOFING   | 0                    |
| WEATHERSTRIP (ING)  | 0                    |
| WELDED WIRE FABRIC  | 0                    |
| WHEEL STOP  | 0                    |
| WINDOW  | 0                    |
| WIRED GLASS   | 0                    |
| WITHOUT   | 0                    |
| WOOD  | 0                    |
| WROUGHT IRON  | 0                    |

**OCCUPANT LOAD**

| AREA            | FIXED SEATING @ 1/24" | LOOSE SEATING @ 15 S.F. / OCC | TOTAL |
|-----------------|-----------------------|-------------------------------|-------|
| BAR             | 0                     | 15                            | 15    |
| DINING #1       | 56                    | 358 / 15 = 24                 | 24    |
| DINING #2       | 76                    | 328 / 15 = 21                 | 21    |
| DINING #3       | 37                    | 443 / 15 = 29                 | 29    |
| KITCHEN         | 1568 / 200 = 8        | 8                             | 8     |
| ENTRY           | 290 / 7 = 41          | 41                            | 41    |
| STORAGE         | 47000 = 1             | 1                             | 1     |
| LOCKER ROOM     | 5050 = 1              | 1                             | 1     |
| OFFICE          | 70400 = 1             | 1                             | 1     |
| MECHANICAL      | 40500 = 1             | 1                             | 1     |
| PATIO           | 920/15 = 61           | 61                            | 61    |
| TOTAL OCCUPANCY | 169                   | 253                           | 372   |

**ACTUAL SEATING TABULATION**

| TYPE  | QTY | TOTAL |
|---|-----|-------|
| DUCE TOPS (HIGH)  | 3   | 6     |
| DUCE BOOTHS   | 14  | 28    |
| 2 TOPS x  | 0   | 0     |
| 4 TOPS x  | 6   | 24    |
| 4 TOPS (SD) x   | 12  | 48    |
| 6 TOPS (BOOTH) x  | 1   | 6     |
| 5 TOPS (BOOTH) x  | 8   | 40    |
| 6 TOPS  | 0   | 0     |
| 6 TOPS (BOOTH) x  | 0   | 0     |
| 4 TOPS (BOOTH) x  | 17  | 68    |
| 3 TOPS (HIGH) x   | 0   | 0     |
| 4 TOPS (HIGH) x   | 2   | 8     |
| BARSTOOLS + (2) ACCESSIBLE                                  | 0   | 0     |
| TOTAL   |     | 281   |
| ACCESSIBLE SEATING 18 ACCESSIBLE SEATS REQUIRED 18 PROVIDED |     |       |
| PATIO = 4 TOPS (14)   |     | 54    |
| GRAND TOTAL   |     | 335   |

NOTE: SEATING PROVIDED BY MILLWORK CONTRACTOR

OPEN CEILING

'Market Center' SAN JOSE, CA

PD12-041  
 ABC12-011

B.J.'s RESTAURANT & BREWHOUSE

**ISSUE DATES**

|                  |            |
|------------------|------------|
| ISSUE FOR PERMIT | 09-25-2012 |
| ISSUE FOR HEALTH | 09-14-2012 |
| BID ISSUE        |            |
| CONSTRUCTION SET |            |

PROTOTYPE  
 40  
 WD PROJECT NUMBER  
 BJSB10185

**G1.0**

**SITE DATA**

**ZONING:**  
 LEASEE: BJS RESTAURANT, INC.  
 PROPOSED USE: RESTAURANT  
 SITE AREA: 41,588 SQUARE FEET (0.95 +/- ACRES)  
 ASSESSORS PARCEL NO: 259-54-047  
 EXISTING ZONING: APD (PLANNED DEVELOPMENT) PD04-018  
 ADJACENT ZONING EAST: APD  
 ADJACENT ZONING WEST: APD  
 ADJACENT ZONING NORTH: APD  
 ADJACENT ZONING SOUTH: APD

BUILDING SETBACKS PERMITTED:  
 FRONT: 10 FEET  
 SIDE: 10 FEET  
 REAR: 10 FEET

PARKING SETBACKS PERMITTED:  
 PUBLIC STREETS: 10 FEET MIN

**SITE LAYOUT DATA:**  
 MINIMUM DRIVE AISLE WIDTH: 26  
 STANDARD PARKING STALL: 8.5 x 17

**LOADING SPACE:**  
 REQUIRED: NONE

**PARKING DATA:**  
**EXISTING TOTAL CENTER:** 1,157 PARKING SPACES  
 REQUIRED:  
 CENTER: 175,834 SQUARE FEET OF NET AREA = 880 PARKING SPACES  
 BJS SITE (PER PLANNED DEVELOPMENT FILE NO. PD04-018 DEVELOPMENT STANDARDS 5 SPACES/1,000 FT<sup>2</sup> GFA): 7,453 SQUARE FEET OF GROSS FLOOR AREA = 38 PARKING SPACES  
 TOTAL: 918 PARKING SPACES  
 PROVIDED:  
 CENTER: 1,108 PARKING SPACES  
 BJS SITE: 43 PARKING SPACES + 2 ACCESSIBLE PARKING SPACES PER ADAAG + 4 CARRY OUT SPACES = 49 PARKING SPACES  
**PROPOSED TOTAL CENTER:** 1,157 PARKING SPACES

**BUILDING DATA:**  
 BUILDING AREA:  
 GROSS AREA: 7,453 SQUARE FEET  
 PATIO: 920 SQUARE FEET  
 TRASH ENCLOSURE: 335 SQUARE FEET  
 NUMBER OF STORIES: ONE

**BASIS OF INFORMATION**

A. ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES, EASEMENTS & LEGAL DESCRIPTION ARE AS TAKEN FROM A SURVEY OF LAND SITUATED IN THE CITY OF SAN JOSE, SAN JOSE, CA DATED 08-24-2012  
 AS PREPARED BY: DALE G. MELL & ASSOCIATES  
 2090 NORTH WINERY  
 FRESNO, CA 93703  
 559.292.4046

B. ALL DESIGN INFORMATION BASED ON SOIL CONDITIONS INFORMATION OBTAINED FROM SOILS REPORT RECEIVED ON 06-XX-2012  
 AS PREPARED BY: GILES ENGINEERING ASSOCIATES, INC.  
 1965 N. MAIN STREET  
 ORANGE, CA 92665  
 714.279.0817

**BENCHMARK INFORMATION**

**SOURCE BENCHMARK:**  
 BM #1 FOUND 1 1/2" BRASS CAP MONUMENT, STAMPED "SQWWD BM 292", FLUSH IN CONCRETE, SOUTHEAST CORNER OF COLEMAN & BRIDGE OVER GUADALUPE DRIVER.  
 ELEVATION = 73.55 (NGVD 29 DATUM)

**FLOOD PLAIN DATA**

ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP FOR THE CITY OF SAN JOSE, SANTA CLARA COUNTY, CALIFORNIA, COMMUNITY PANEL NO. 06085C0234H, DATED MAY 18, 2009, THIS PROPERTY LIES WITHIN THE LIMITS OF FLOOD ZONE D AN AREA IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE

**SITE AREAS**

TOTAL SITE AREA: 41,588 SQUARE FEET (0.95 +/- ACRES)  
 DISTURBED AREA: 24,850 SQUARE FEET (0.57 +/- ACRES)

EXISTING CONDITIONS (TOTAL SITE):  
 PERVIOUS: 12,750 SQUARE FEET (30.6%)  
 IMPERVIOUS: 28,838 SQUARE FEET (69.4%)

PROPOSED CONDITIONS (TOTAL SITE):  
 PERVIOUS: 13,013 SQUARE FEET (31.3%)  
 IMPERVIOUS: 28,575 SQUARE FEET (68.7%)

**DEVELOPMENT SCHEDULE**

DATE OF COMMENCEMENT: JANUARY 2013  
 DATE OF COMPLETION: MAY 2013

**PROJECT**



DEVELOPMENT PLAN FOR  
 BJS RESTAURANT AND BREWHOUSE  
 "MARKET CENTER"  
 511 COLEMAN AVE.  
 SAN JOSE, CA 95110

**CIVIL ENGINEER**



16808 ARMSTRONG AVE,  
 SUITE 100  
 IRVINE, CA 92707  
 949.753.7676 T

WDPARTNERS.COM

**DWG. NO.**

**REV. / DATE**

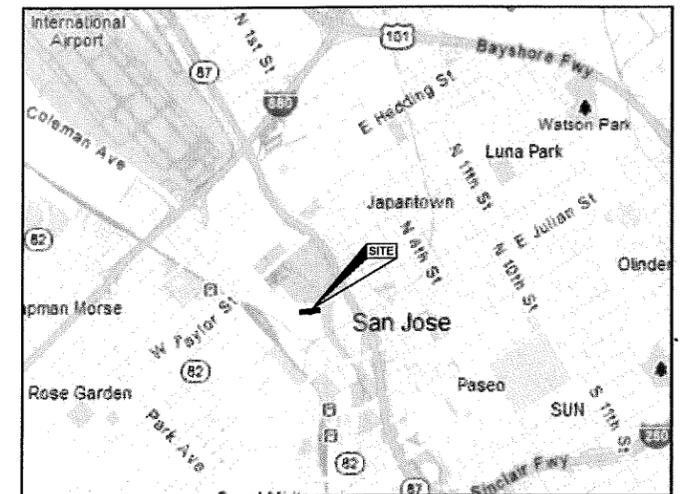
**CIVIL DRAWINGS**

|        |          |   |
|--------|----------|---|
| CS     | 1 of 14  | COVER SHEET AND INDEX                   |
| 1 of 1 |          | ALTA SURVEY                             |
| GN     | 2 of 14  | GENERAL NOTES                           |
| C0     | 3 of 14  | SITE CROSS SECTIONS                     |
| C1     | 4 of 14  | DEMOLITION PLAN                         |
| C2     | 5 of 14  | SITE IMPROVEMENT PLAN                   |
| C3     | 6 of 14  | SITE GRADING                            |
| C4     | 7 of 14  | STORM DRAIN PLAN                        |
| C5     | 8 of 14  | STORM WATER CONTROL PLAN                |
| C6     | 9 of 14  | SITE UTILITY PLAN                       |
| C7     | 10 of 14 | EROSION CONTROL PLAN                    |
| C8     | 11 of 14 | EROSION CONTROL PLAN: BMP SUMMARY TABLE |
| C9     | 12 of 14 | EROSION & SEDIMENT CONTROL DETAILS      |
| C10    | 13 of 14 | SITE DETAILS                            |
| C11    | 14 of 14 | CITY STANDARD DETAILS                   |

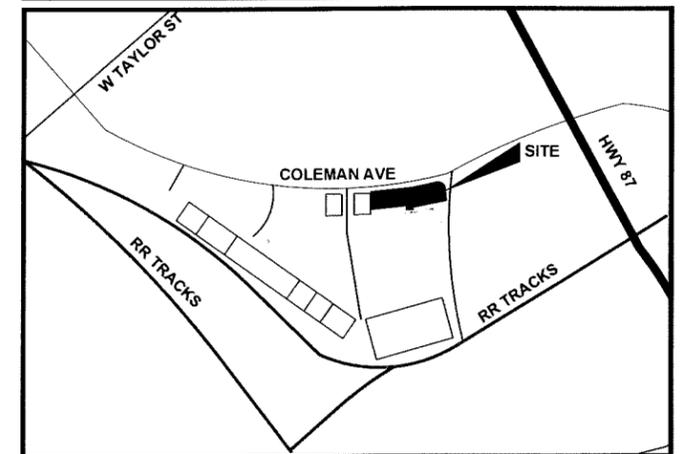
**LANDSCAPE DRAWINGS**

|    |  |                   |
|----|--|-------------------|
| L1 |  | LANDSCAPE PLAN    |
| L2 |  | LANDSCAPE DETAILS |
| L3 |  | IRRIGATION PLAN   |

**SITE VICINITY MAP**



**SITE LOCATION MAP**



**PROJECT CONTACT:**

WD PARTNERS  
 16808 ARMSTRONG AVENUE SUITE 100  
 IRVINE, CA 92606  
 STEVE TURNER  
 614.634.7233

**OWNER:**

BJS RESTAURANTS INC.  
 7755 CENTER AVENUE  
 HUNTINGTON BEACH, CA 92647  
 JOAN LEGUAY  
 714.500.2410

**LANDLORD:**

SHELTER BAY RETAIL GROUP  
 655 REDWOOD HIGHWAY SUITE 177  
 MILL VALLEY, CA 94941  
 SHARLENE HASSLER  
 415.388.4460

**LANDLORD:**

LASALLE INVESTMENT MANAGEMENT  
 200 EAST RANDOLPH DRIVE  
 CHICAGO, IL 60601  
 JEFFREY BOEHNING  
 312.228.2484

**PLANNING & ZONING:**

CITY OF SAN JOSE  
 200 EAST SANTA CLARA STREET  
 SAN JOSE, CA 95113  
 LESLEY XAIVER  
 408.535.7852

**GEOTECHNICAL:**

GILES ENGINEERING ASSOCIATES, INC.  
 1965 N. MAIN STREET  
 ORANGE, CA 92665  
 EDGAR L. GATUIS  
 714.279.0817

**BUILDING DEPARTMENT:**

CITY OF SAN JOSE  
 200 EAST SANTA CLARA STREET  
 SAN JOSE, CA 95113  
 KATHRYN SEDWICK  
 408.494.1700

**SEWER:**

CITY OF SAN JOSE PUBLIC WORKS  
 200 EAST SANTA CLARA STREET  
 SAN JOSE, CA 95113  
 JOSE URIBE  
 408.535.7802

**WATER:**

SAN JOSE WATER COMPANY  
 1265 S. BASCOM AVE.  
 SAN JOSE, CA 95128  
 JIM BARTHEAU  
 408.279.7874

**FIRE DEPARTMENT:**

CITY OF SAN JOSE FIRE DEPARTMENT  
 200 EAST SANTA CLARA ST. 2ND FLOOR TOWER  
 SAN JOSE, CA 95113  
 LANCE WILLIS  
 408.535.7632

**ELECTRICAL SERVICE:**

PACIFIC GAS & ELECTRIC SERVICE PLANNING  
 308 STOCKTON AVE.  
 SAN JOSE, CA 95126  
 RAMIRO CORONEL  
 408.494.1700

**GAS SERVICE:**

PACIFIC GAS & ELECTRIC SERVICE PLANNING  
 308 STOCKTON AVE.  
 SAN JOSE, CA 95126  
 RAMIRO CORONEL  
 408.494.1700

**TELEPHONE SERVICE:**

AT&T  
 3475 N. FIRST ST. SUITE 600B  
 SAN JOSE, CA 95134  
 800.222.0300

**REFUSE:**

CR&R INCORPORATED  
 11292 WESTERN AVENUE PO BOX 125  
 STANTON, CA 90680  
 COUNTY OF ORANGE (NORTH)  
 714.372.8272

**SURVEYOR:**

DALE G. MELL & ASSOCIATES  
 2090 NORTH WINERY  
 FRESNO, CA 93703  
 DALE G. MELL  
 559.292.4046

**LEGAL DESCRIPTION (LEASE AREA)**

PER PRELIMINARY TITLE REPORT ORDER NO. 12-51054961 PREPARED BY FIDELITY NATIONAL TITLE COMPANY, DATED 06/25/12  
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN JOSE, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
 LOT 22, AS SHOWN ON THE FINAL MAP "TRACT 9707 SAN JOSE MARKET CENTER- UNIT 2", FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA RECORDED JUNE 13, 2001 IN BOOK 788 OF MAPS, PAGES 6 THROUGH 18 INCLUSIVE  
 EXCEPTING THEREFROM THE MINERAL RIGHTS RESERVED IN THE DEED RECORDED APRIL 4, 2005 AS INSTRUMENT NO. 18302223, OF OFFICIAL RECORDS, SANTA CLARA COUNTY RECORDS.

**BASIS OF BEARINGS**

THE MONUMENT LINE NEAR CENTER LINE OF ALUTMUN STREET TAKEN TO BE N 09°03'02" W FROM G.P.S. OBSERVATIONS

**EARTHWORK QUANTITIES**

CUT = 30 CY  
 SUBSIDENCE & SHRINKAGE LOSS = 29 CY  
 FILL = 190 CY  
 (NET FILL = 189 CY AFTER ADJUSTMENTS)

GRADED AREA = 0.57 AC

THE ABOVE QUANTITIES REFLECT SHRINKAGE, OVER EXCAVATION, AND SUBSIDENCE AS SPECIFIED IN THE GEOTECHNICAL REPORT BUT ARE FOR REFERENCE AND FEE PURPOSE ONLY. SINCE THE ENGINEER CANNOT CONTROL THE EXACT METHOD OR MEANS USED BY THE CONTRACTOR DURING THE GRADING THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL EARTHWORK QUANTITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING HIS OWN EARTHWORK QUANTITIES FOR BIDDING, CONTRACT AND CONSTRUCTION PURPOSES. IF IT APPEARS THERE WILL BE AN EXCESS OR SHORTAGE OF MATERIAL, THE CONTRACTOR MAY NOTIFY THE ENGINEER TO DETERMINE IF POSSIBLE GRADE ADJUSTMENTS CAN BE MADE TO ALLEVIATE SAID MATERIAL EXCESS OR SHORTAGE.

**GEOTECHNICAL ENGINEER OF RECORD**  
 THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL REPORT

GILES ENGINEERING ASSOCIATES, INC.  
 PREPARED BY:

RCE# \_\_\_\_\_ DATE \_\_\_\_\_

**APPROVED FOR GRADING ONLY**  
 DEPARTMENT OF PUBLIC WORKS  
 CITY OF SAN JOSE, CALIFORNIA

PROJECT ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

PERMIT NUMBER \_\_\_\_\_ EXPIRATION DATE \_\_\_\_\_

NOTE: THIS PLAN REVIEWED AND APPROVED FOR EXCAVATION, PLACEMENT, AND COMPACTION OF CUT/FILL MATERIALS, AND GRADES ASSOCIATED WITH THE ON-SITE DRAINAGE ONLY.

**CALL BEFORE YOU DIG!**  
 CALIFORNIA LAW REQUIRES EXCAVATORS TO NOTIFY THE REGIONAL NOTIFICATION CENTER NOT LESS THAN TWO (2) WORKING DAYS NOR MORE THAN FOURTEEN (14) CALENDAR DAYS PRIOR TO EXCAVATION

Dig Alert  
 www.digalert.org  
 1-800-227-2600

DEV. PLAN CASE NO. XXXXX

| SUBMITTAL             | ISSUE DATES |
|-----------------------|-------------|
| PLANNING DEPARTMENT   | 09/14/12    |
| BUILDING DEPARTMENT   | 09/21/12    |
| GRADING SUBMITTAL-PC1 | 11/21/12    |
| -                     | -           |
| -                     | -           |
| -                     | -           |
| -                     | -           |



STORE NUMBER  
 4D  
 WD PROJECT NUMBER  
 BJSBJ0185

**CS**  
 1 OF 14

"MARKET CENTER" BJS RESTAURANT 511 COLEMAN AVE. SAN JOSE, CA 95110



## LEGEND

| EXISTING                           | PROPOSED                      | EXISTING   | PROPOSED   | EXISTING   | PROPOSED   |
|------------------------------------|-------------------------------|--|--|--|--|
| AERIAL TARGET / HORIZONTAL CONTROL | FLOOR/YARD DRAIN              | TELECOMMUNICATION/ LIGHT/POWER POLE              | TELECOMMUNICATION/ POWER POLE                    | TELEPHONE (PAY)                                  | TELEPHONE BOOTHS                                 |
| AERIAL TARGET / VERTICAL CONTROL   | GAS LINE VENT                 | TELEPHONE PEDESTAL                               | TELEPHONE PEDESTAL                               | TOWER  | TRAFFIC SIGNAL                                   |
| BENCHMARK FOUND                    | GAS MANHOLE                   | TOWER  | TRAFFIC SIGNAL STRAINS/SUPPORT POLE              | TRANSFORMER/ TRANSFORMER PAD                     | TREE, DECIDUOUS                                  |
| BENCHMARK SET                      | GAS METER                     | TRANSFORMER/ TRANSFORMER PAD                     | TRANSFORMER PAD                                  | TREE, EVERGREEN                                  | TREE, STUMP                                      |
| CONCRETE MONUMENT FOUND            | GAS VALVE                     | TREE, DECIDUOUS                                  | TREE, EVERGREEN                                  | UNKNOWN MANHOLE                                  | UNKNOWN OBJECT                                   |
| DRILL HOLE FOUND                   | GAS WELL                      | TREE, STUMP                                      | UNKNOWN MANHOLE                                  | UNKNOWN POLE                                     | UNKNOWN VALVE                                    |
| DRILL HOLE SET                     | GASOLINE PUMP                 | UNKNOWN MANHOLE                                  | UNKNOWN VALVE                                    | UNKNOWN WELL                                     | WATER GATE VALVE                                 |
| GOVERNMENT DISK FOUND              | GREASE INTERCEPTOR            | UNKNOWN WELL                                     | UNKNOWN WELL                                     | WATER LINE VENT                                  | WATER MANHOLE                                    |
| IRON PIN FOUND (NO I.D. CAP)       | GUYWIRE ANCHOR                | WATER GATE VALVE                                 | WATER LINE VENT                                  | WATER METER                                      | WATER SERVICE STOP                               |
| IRON PIN FOUND W/ I.D. CAP         | HANDICAP PARKING              | WATER MANHOLE                                    | WATER METER                                      | WATER WELL                                       | YARD/LANDSCAPE LIGHT                             |
| IRON PIN SET W/ I.D. CAP           | LANDSCAPE ROCK                | WATER METER                                      | WATER WELL                                       | YARD/LANDSCAPE LIGHT (DOUBLE)                    | 2.1% DETECTABLE WARNING                          |
| IRON PIPE FOUND                    | SITE LIGHT POLE               | WATER WELL                                       | YARD/LANDSCAPE LIGHT (DOUBLE)                    | COLORED CONCRETE                                 | CONCRETE PAVING/SIDEWALK INLET/OUTLET PROTECTION |
| IRON PIPE SET                      | ROADWAY LIGHT POLE            | YARD/LANDSCAPE LIGHT (DOUBLE)                    | COLORED CONCRETE                                 | CONCRETE PAVING/SIDEWALK INLET/OUTLET PROTECTION | ADA ACCESSIBLE ROUTE (3' MIN WIDTH)              |
| MAGNETIC NAIL FOUND                | MAIL BOX                      | COLORED CONCRETE                                 | CONCRETE PAVING/SIDEWALK INLET/OUTLET PROTECTION | ADA ACCESSIBLE ROUTE (3' MIN WIDTH)              | CABLE LINE                                       |
| MAGNETIC NAIL SET                  | MONITORING WELL               | CONCRETE PAVING/SIDEWALK INLET/OUTLET PROTECTION | ADA ACCESSIBLE ROUTE (3' MIN WIDTH)              | CABLE LINE                                       | CONTOUR  |
| MINE SPIKE FOUND                   | NEWSPAPER BOX                 | ADA ACCESSIBLE ROUTE (3' MIN WIDTH)              | CABLE LINE                                       | CONTOUR  | CROWN LINE                                       |
| MINE SPIKE SET                     | OIL TANK                      | CABLE LINE                                       | CONTOUR  | CROWN LINE                                       | DRAINAGE SWALE                                   |
| MONUMENT BOX FOUND                 | OIL WELL                      | CROWN LINE                                       | DRAINAGE SWALE                                   | ELECTRIC LINE                                    | FIRE LINE  |
| P. K. NAIL FOUND                   | PARKING METER                 | DRAINAGE SWALE                                   | ELECTRIC LINE                                    | FIRE LINE  | GAS LINE   |
| RAILROAD SPIKE FOUND               | POST/BOLLARD                  | ELECTRIC LINE                                    | FIRE LINE  | GAS LINE   | IRRIGATION LINE                                  |
| RAILROAD SPIKE SET                 | POWER LINE MARKER             | FIRE LINE  | GAS LINE   | IRRIGATION LINE                                  | IRRIGATION SLEEVE                                |
| SECTION CORNER                     | POWER POLE                    | GAS LINE   | IRRIGATION LINE                                  | IRRIGATION SLEEVE                                | LIMITS OF CONSTRUCTION                           |
| SECTION HALF                       | POWER/LIGHT POLE              | IRRIGATION LINE                                  | IRRIGATION SLEEVE                                | LIMITS OF CONSTRUCTION                           | SANITARY SEWER LINE                              |
| STONE FOUND                        | RAILROAD CROSSING             | LIMITS OF CONSTRUCTION                           | SANITARY SEWER LINE                              | SANITARY SEWER LINE                              | STORM SEWER LINE                                 |
| TACKED HUB FOUND                   | RAILROAD GATE                 | SANITARY SEWER LINE                              | STORM SEWER LINE                                 | STORM SEWER LINE                                 | TELEPHONE LINE                                   |
| TACKED HUB SET                     | RAILROAD SIGNAL               | STORM SEWER LINE                                 | TELEPHONE LINE                                   | TELEPHONE LINE                                   | WATER LINE                                       |
| 1 POST SIGN                        | DOWN RAMP ARROW               | TELEPHONE LINE                                   | WATER LINE                                       | WATER LINE                                       |  |
| 1 POST SIGN (BACK TO BACK)         | SANITARY LINE MARKER          | WATER LINE                                       |  |  |  |
| 2 POST SIGN                        | SANITARY LINE VENT            |  |  |  |  |
| 2 POST SIGN (BACK TO BACK)         | SANITARY MANHOLE              |  |  |  |  |
| BARBEQUE GRILL                     | SANITARY VALVE/ CLEANOUT      |  |  |  |  |
| BUSH/SHRUB                         | SATELLITE DISH                |  |  |  |  |
| CATCH BASIN, ROUND                 | SEPTIC TANK                   |  |  |  |  |
| CATCH BASIN, SQUARE                | SIGN LUMINAIRE                |  |  |  |  |
| CURB INLET                         | SOIL BORING                   |  |  |  |  |
| CURB BREAK                         | SPOT ELEVATION                |  |  |  |  |
| ELECTRIC BOX                       | STORM CLEANOUT                |  |  |  |  |
| ELECTRIC CONDUIT                   | STORM MANHOLE                 |  |  |  |  |
| ELECTRIC MANHOLE                   | TELECOMMUNICATION LINE MARKER |  |  |  |  |
| ELECTRIC METER                     | TELECOMMUNICATION MANHOLE     |  |  |  |  |
| ELECTRIC VAULT                     | TELECOMMUNICATION POLE        |  |  |  |  |
| EMERGENCY OVERFLOW ROUTING         | TELECOMMUNICATION VAULT       |  |  |  |  |
| FDC CONNECTION                     | TELECOMMUNICATION LIGHT POLE  |  |  |  |  |
| FIRE HYDRANT                       |                               |  |  |  |  |

## ABBREVIATIONS

|             |                                     |        |                           |      |                          |        |                            |
|-------------|-------------------------------------|--------|---------------------------|------|--------------------------|--------|----------------------------|
| AC          | ASPHALT CONCRETE                    | F/C    | FACE OF CURB              | MJ   | MECHANICAL JOINT         | SDMK   | SIDEWALK                   |
| APPR. LOC   | APPROXIMATE LOCATION                | FG     | FINISH GRADE              | NIC  | NOT IN CONTRACT          | SF     | SILT FENCE                 |
| ASSY        | ASSEMBLY                            | FF     | FINISHED FLOOR            | OHP  | OVERHEAD POWER           | STA.   | STATION                    |
| B/C         | BACK OF CURB                        | FH     | FIRE HYDRANT              | OHT  | OVERHEAD TELEPHONE       | STD.   | STANDARD                   |
| BW          | BOTTOM OF WALL                      | FL-L   | FLOW LINE                 | PC   | POINT OF CURVATURE       | STM    | STORM                      |
| C&G         | CURB AND GUTTER                     | F.L.   | FIRE LANE                 | PE   | POLYETHYLENE             | STMH   | STORM SEWER MANHOLE        |
| CL          | CENTERLINE                          | G      | GAS                       | PD   | PEDESTAL                 | T, TEL | TELEPHONE                  |
| CMP         | CORRUGATED METAL PIPE               | GND    | GROUND                    | PI   | POINT OF INTERSECTION    | TCM    | TELECOMMUNICATIONS MANHOLE |
| CO          | CLEAN OUT                           | GV     | GAS VALVE                 | P/L  | PROPERTY LINE            | TE     | TRASH ENCLOSURE            |
| CONC.       | CONCRETE                            | HDPE   | HIGH DENSITY POLYETHYLENE | PT   | POINT OF TANGENT         | TAW    | TOP OF WALL                |
| CONN.       | CONNECTION                          | HORIZ. | HORIZONTAL                | PP   | POWER POLE               | TYP    | TYPICAL                    |
| C.Y.        | CUBIC YARD                          | HP     | HIGH POINT                | PVC  | POLYVINYL CHLORIDE       | UGE    | UNDERGROUND ELECTRIC       |
| DI          | DUCTILE IRON PIPE                   | HYD    | HYDRANT                   | PVMT | PAVEMENT                 | UNK    | UNKNOWN                    |
| DR          | DRIVE                               | INV.   | INVERT                    | PWR  | POWER                    | UP     | UTILITY POLE               |
| D.S.        | DOWNSPOUT                           | L.F.   | LINEAR FEET               | R.D. | ROOF DRAIN               | VAR    | VARIABLE                   |
| E. ELEC.    | ELECTRIC                            | LP     | LOW POINT                 | R.J. | RESTRAINED JOINT         | VERT.  | VERTICAL                   |
| EA          | EACH                                | LS     | LANDSCAPE                 | R/W  | RIGHT-OF-WAY             | W      | WITH                       |
| E BOX       | ELECTRIC BOX                        | ME     | MATCH EXISTING            | REQD | REQUIRED                 | WL     | WATER LINE                 |
| ERCP        | ELLIPTICAL REINFORCED CONCRETE PIPE | MECH   | MECHANICAL                | RCP  | REINFORCED CONCRETE PIPE | W      | WATER                      |
| EP          | EDGE OF PAVEMENT                    | MH     | MANHOLE                   | SAN  | SANITARY SEWER           | X-ING  | CROSSING                   |
| EX., EXIST. | EXISTING                            | MIN.   | MINIMUM                   | SO   | SILT DIKE                | Ø, DIA | DIAMETER                   |

## GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AND LOCAL REQUIREMENTS. CONTRACTORS MUST COMPLY WITH CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES. ALL REQUIRED CITY/COUNTY/STATE PERMITS SHALL BE ACQUIRED AND PAID FOR BY THE RESTAURANT/INC. ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR BY THE GENERAL CONTRACTOR.
- DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS, DRAWINGS, AND SPECIFICATIONS ARE NOT INTENDED. STATED DIMENSIONS TAKE PRECEDENCE OVER GRAPHICS. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS. THE CONTRACTOR IS TO CLARIFY ANY SUCH DISCREPANCIES WITH THE ENGINEER PRIOR TO COMMENCING WORK.
- IF REQUESTED BY THE PROJECT OWNER, THE PARTNERS MAY PROVIDE THE CONTRACTOR WITH ELECTRIC OR INFORMATIONAL PURPOSES. THE ENGINEER OF RECORD ASSUMES NO RESPONSIBILITY FOR THE USE OF SUCH FILES FOR CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE INFORMATION CONTAINED IN SUCH FILES AS THEY MAY COMPARE TO THE INFORMATION ON THE SIGNED AND SEALED HARD COPY DOCUMENTS.
- APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ALL ADDENDA AND CHANGE ORDERS.
- GENERAL CONTRACTOR TO REFER TO THESE DOCUMENTS AS WELL AS ANY APPLICABLE SPECIFICATIONS FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. ALL ITEMS NOT MARKED AS OWNER SUPPLIED ARE TO BE SUPPLIED BY THE GENERAL CONTRACTOR. UNLESS NOTED OTHERWISE, ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL WHILE WORKING IN THE PUBLIC RIGHT OF WAY OR ADJOINING PROPERTIES. ALL SIGNAGE AND TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF SAN JOSE, COUNTY OF SANTA CLARA, CALIFORNIA. IF A MAINTENANCE OF TRAFFIC PLAN IS NECESSARY, THE PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED WITH THE LOCALITY OF THE PROJECT. MAINTENANCE OF TRAFFIC PLANS WHICH ARE NOT INCLUDED IN THIS SET OF DRAWINGS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- UTILITIES SHOWN ARE TAKEN FROM THE SURVEY AND RECORDS OF RESPECTIVE UTILITY COMPANIES AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR ON THE SITE SHOWN ON PLAN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- ALL SITE WORK AND PAVING SHALL BE IN ACCORDANCE WITH OR SURPASS RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. IF THE GEOTECHNICAL REPORT CONFLICTS WITH DRAWINGS AND SPECIFICATIONS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE AND BE CONSIDERED THE INTENT OF THE BID DOCUMENTS. THE OWNER AND/OR GEOTECHNICAL ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE SOILS REPORT RECOMMENDATIONS REGARDING GRADING, TRENCHING, ETC. CONTACT THE GEOTECHNICAL ENGINEER FOR INSTRUCTIONS PRIOR TO THE CONTINUATION OF WORK SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING GRADING OR FOUNDATION CONSTRUCTION.
- 4' MINIMUM WIDTH ACCESSIBLE ROUTE FROM BUILDING TO PUBLIC RIGHT-OF-WAY. THE ACCESSIBLE ROUTE IDENTIFIED ON THE PLAN SHALL BE IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE TRAIL ACCESSIBLE ROUTE IS CONSISTENT WITH THE DESIGN SHOWN AND CONSTRUCTED IN SUCH A WAY AS TO MEET ALL APPLICABLE REQUIREMENTS. CODE REFERENCES LISTED IN THE PLANS IDENTIFY THE APPLICABLE SECTION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN IN THE CALIFORNIA BUILDING CODE. THE CONTRACTOR SHALL BE RESPONSIBLE TO BE KNOWLEDGEABLE OF ANY ADDENDA OR UPDATE TO THE FEDERAL, STATE AND LOCAL ACCESSIBILITY LAWS AND CODES.
- FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURERS APPROVED SHOP DRAWINGS/DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND LOCAL REGULATIONS.
- ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN CONFORMANCE WITH THE CALIFORNIA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

## DEMOLITION NOTES

- BUILDING AND APPURTENANCES DESIGNATED FOR DEMOLITION SHALL NOT BE DISTURBED BY THE CONTRACTOR UNTIL FURNISHED WITH NOTICE OF POSSESSION AND APPROVAL TO PROCEED FROM OWNER. THE CONTRACTOR SHALL COORDINATE THE SCHEDULE WITH EXISTING TENANTS AND ADJACENT PROPERTY OWNERS.
- FOUNDATIONS, SLABS, ALL UNDERGROUND STRUCTURES, AND UTILITIES DESIGNATED FOR REMOVAL SHALL BE REMOVED ENTIRELY. AREAS TO BE BACK FILLED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
- ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC UTILITY COMPANY OR AS IDENTIFIED BY THE OWNER SHALL BE PROPERTY OF THE CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER OF WATER, ELECTRIC OR GAS METERS WHEN METERS ARE READY FOR REMOVAL. CONTRACTOR IS RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH LOCAL REQUIREMENTS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO PROVIDE SERVICE WHETHER SHOWN ON PLANS OR NOT.
- ALL EXISTING UTILITIES WITHIN THE BUILDING PAD AREA ARE TO BE COMPLETELY REMOVED, UNLESS NOTED OTHERWISE ON THE PLANS.
- CONTRACTOR TO VERIFY THAT ALL UTILITIES HAVE BEEN ABANDONED OR PROPERLY SHUTOFF PRIOR TO EXCAVATION.
- EXISTING UTILITIES AND TOPO LOCATIONS ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATION WHETHER SHOWN ON PLANS OR NOT.
- ALL DEBRIS FROM DEMOLITION, NOT BEING REUSED, SHALL BE HAULED OFF SITE AND DISPOSED OF BY LEGAL MEANS.
- CONTRACTOR SHALL ERECT AND MAINTAIN TEMPORARY FENCE, 8 FOOT MINIMUM HEIGHT, FOR THE DURATION OF ALL DEMOLITION PHASES. UPON COMPLETION OF DEMOLITION PHASES, FENCE MAINTENANCE SHALL BE RESPONSIBILITY OF THE SITE CONTRACTOR.
- CONTRACTOR SHALL NOT RESTRICT ACCESS TO ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. ACCESS SHALL BE MAINTAINED SO AS NOT TO INTERRUPT NORMAL OPERATIONS OF ADJACENT FACILITIES.
- CONTRACTOR SHALL NOT ALLOW ANY UTILITY OR SERVICES TO THE NEIGHBORING PROPERTIES TO BE INTERRUPTED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE RESPECTIVE OWNERS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL UTILITY SERVICES TO THE NEIGHBORING BUSINESS. IF IT IS NECESSARY FOR CONNECTIONS TO BE INTERRUPTED, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SERVICES (I.E., GENERATORS, PORTABLE GAS TANKS, ETC.). THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY ABANDONMENT AND REMOVAL WITH THE RESPECTIVE UTILITY COMPANIES.
- ANY EXISTING UTILITIES COMPLETELY EXCAVATED AND REMOVED SHALL BE BACKFILLED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- WORK CANNOT OCCUR OUTSIDE OF THE DEMOLITION LIMITS WITHOUT PRIOR CONSENT OF OWNER, ADJACENT OWNER, AND LOCAL JURISDICTION. ANY TEMPORARY EASEMENTS REQUIRED WHICH ARE NOT DEPICTED IN THE DRAWINGS SHALL BE THE CONTRACTORS RESPONSIBILITY.
- EROSION CONTROL PRACTICES MUST BE IN PLACE AND MAINTAINED DURING DEMOLITION.
- GENERAL CONTRACTOR IS TO PRESENT LICENSING INFORMATION TO THE STATE ENVIRONMENTAL PROTECTION AGENCY THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION.

## UTILITY NOTES

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING INVERTS IN THE FIELD. IF ANY DISCREPANCIES ARE FOUND THE CONTRACTOR SHALL CONTACT ENGINEER AND/OR OWNERS REPRESENTATIVE PRIOR TO COMMENCEMENT.
- IT SHALL BE THE GENERAL CONTRACTOR AND SITE UTILITY PROVIDER'S RESPONSIBILITY TO VERIFY THE EXACT ROUTING, SIZES, ORIGINS OF SERVICE, ALL STANDARDS FOR THE BUILDING SHALL BE INCLUDED IN THE BID, WHETHER SHOWN OR NOTED ON THE PLANS OR NOT.
- ROUTING OF DRY UTILITIES (GAS, ELECTRIC, TELEPHONE, AND/OR CABLE) ON THE PLAN ARE SCHEMATIC. THE EXACT ROUTING, SIZES, ORIGINS OF SERVICE, ALL STANDARDS AND CODES SHALL BE VERIFIED WITH THE REQUISITE UTILITY PROVIDER AND COORDINATED WITH OTHER ON-SITE IMPROVEMENTS.
- EXACT ROUTING, DEPTHS, SLOPES, INVERTS, ETC. SHOWN FOR GRAVITY UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING BIDS AND COMMENCING WORK. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND THE OWNERS REPRESENTATIVE IMMEDIATELY. FAILURE TO NOTIFY THE ENGINEER AND OWNER OF A DISCREPANCY PRIOR TO BID AND COMMENCEMENT SHALL RESULT IN COSTS BURDENED SOLELY BY THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS FOR THE PROJECT. THE ONLY ITEMS REIMBURSED AS A FIELD CHANGE SHALL BE UNFORESEEABLE CONDITIONS.
- NATURAL GAS SERVICE: ALL MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND N.E.P.A. STANDARDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE SIZING PROVIDED BY THE UTILITY MEETS BUILDING LOAD REQUIREMENTS NOTED IN MECHANICAL ENGINEERING AND PLUMBING DRAWINGS.
- PRIMARY AND SECONDARY ELECTRICAL SERVICE WORK SHALL BE PROVIDED PER ALL STATE AND LOCAL CODES, POWER COMPANY N.E.P.A. AND N.E.C. STANDARDS AND COORDINATE WITH THE POWER COMPANY TO VERIFY THE FINAL TRANSFORMER LOCATION, SIZE, ORIGIN OF SERVICE, AND ALL STANDARDS FOR WORK. SEE ARCHITECTURAL AND ELECTRICAL ENGINEERING SHEETS FOR SECONDARY WIRING DESIGN.
- VERIFY EXACT TELEPHONE ROUTING AND TERMINATION REQUIREMENTS WITH TELEPHONE COMPANY BEFORE COMMENCING WORK. GENERAL CONTRACTOR TO COORDINATE THE UTILITY COMPANY ON POINT OF CONNECTION.

## GRADING NOTES

- THE INFORMATION DEPICTED ON THESE CONSTRUCTION DOCUMENTS IS AS ACCURATE AS POSSIBLE WITH REGARD TO THE INFORMATION PROVIDED BY THE SURVEYOR. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING GRADES PRIOR TO CONSTRUCTION. NOTIFY THE OWNERS REPRESENTATIVE AND THE ENGINEER OF RECORD IMMEDIATELY IF ANY DISCREPANCY FOUND BETWEEN THE FIELD CONDITIONS AND THESE PLANS.
- ALL PROPOSED SPOT ELEVATIONS AND CONTOURS SHOWN ON THE PLAN ARE PROPOSED FINISHED GRADES. FINISHED GRADE ADJACENT TO THE BUILDING SHALL BE 4" MINIMUM BELOW THE FINISH SWEEP SCREED OF THE BUILDING INCLUDING ANY TOPSOIL, MULCH, AND/OR SOIL. THE GENERAL CONTRACTOR SHALL ADJUST SUBGRADE ELEVATIONS ACCORDINGLY TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING. SEE THE BUILDING PLANS FOR FURTHER DETAILS. GENERAL CONTRACTOR SHALL ALSO ADJUST SUBGRADE ELEVATION IN ALL LANDSCAPED ISLANDS TO ACCOUNT FOR TOPSOIL AND MULCH. SEE LANDSCAPE PLANS FOR FURTHER DETAIL.
- WALKS AND SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ASHTRAY CHANGES IN LEVEL EXCEEDING 1/4" AND SHALL BE A MINIMUM OF 48" IN WIDTH.
- WALKING SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4" PER FOOT.
- WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATING WHENEVER POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN THE GRATINGS SHALL BE LIMITED TO 1/2" IN THE DIRECTION OF TRAFFIC FLOW.
- ON ACCESSIBLE ROUTES, WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1V:24H, IT SHALL COMPLY WITH THE PROVISIONS OF A PEDESTRIAN RAMP.
- PER CALIFORNIA BUILDING CODE: ON ACCESSIBLE ROUTES, CHANGES IN ELEVATION UP TO 1/4" ARE ALLOWED. CHANGES GREATER THAN 1/4" MUST BE BEVELED NO GREATER THAN 1V:24H AND CHANGES GREATER THAN 1/2" SHALL COMPLY WITH REQUIREMENTS FOR CURB RAMPS.
- NO SLOPE SHALL BE GREATER THAN 1V:24H. SLOPES GREATER THAN 1V:24H MUST BE AN ENGINEERED SLOPE OR CONTOURED UTILIZING A RETAINING WALL OR OTHER APPROVED STRUCTURAL MEANS. THE GENERAL CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD IF A DISCREPANCY IS FOUND IN THE FIELD WHICH CREATES A SCOPE CONDITION THAT EXCEEDS 1V:24H. FAILURE TO CONTACT THE ENGINEER PRIOR TO COMMENCING WORK WILL RESULT IN CORRECTIVE MEASURES AT THE CONTRACTORS EXPENSE.
- ALL WALKS WITH CONTINUOUS SLOPE SHALL HAVE LEVEL AREAS AT LEAST 5 FEET IN LENGTH AT INTERVALS OF AT LEAST EVERY 400 FEET.
- ASPHALT ELEVATION ADJACENT TO CATCH BASINS TO BE 1/2" ABOVE RIM ELEVATION SHOWN FOR CATCH BASIN (TYPICAL).
- INSTALL ALL NECESSARY EROSION CONTROL MEASURES PRIOR TO THE START OF ANY GRADING ACTIVITIES. REFER TO THE EROSION CONTROL PLAN FOR DETAILS AND PROCEDURES.
- NO GRADING ACTIVITIES SHALL BE PERFORMED OFF-SITE WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER AND LOCAL JURISDICTION.
- EXISTING GRADES SHALL BE MATCHED WITHIN THE LEGAL BOUNDARY UNLESS OTHER PROVISIONS HAVE BEEN MADE.
- SOILS IMPORTED INTO THE SITE FOR STRUCTURAL FILL SHALL BE CLEAN AND FREE OF ORGANIC MATERIALS.
- CONTRACTOR TO ADJUST AND/OR RECONSTRUCT TO PROPOSED GRADE ALL MANHOLES, CLEANOUTS, VALVES, VAULTS, GREASE TRAPS, AND ALL OTHER UTILITY APPURTENANCES AS NEEDED. SEE THE GRADING PLAN FOR PROPOSED GRADING INFORMATION.

## SITE NOTES

- TAPER LAST 10" OF CURB FROM TYPICAL CURB DETAIL TO MEET AND MATCH CONFIGURATION AND ELEVATION OF EXISTING ADJOINING CURB, PAVEMENT, OR SIDEWALK; OR TAPER CURB AT EXISTING SIDEWALK.
- ACCESSIBLE PARKING TO MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS.
- PROVIDE A 4' MINIMUM WIDTH ACCESSIBLE ROUTE FROM BUILDING TO PUBLIC RIGHT-OF-WAY PER PLAN. CROSS SLOPE IS NOT TO EXCEED 2.00%; RUNNING SLOPE NOT TO EXCEED 5.00%.
- ALL RADIUS ARE 5.0' OR HALF THE ISLAND WIDTH UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB AND BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
- PAVEMENT STRIPING SHALL BE ALKYD-READY MIX PER DOT SPECIFICATIONS.
- ALL SIGNAGE SHALL COMPLY WITH LOCAL REQUIREMENTS. VERIFY STYLE WITH OWNERS REPRESENTATIVE.
- TRASH ENCLOSURE APPROX TO BE INSTALLED PER CONCRETE TURN DOWN EDGE DETAIL.

## PAVING NOTES

- THE COMPACTED SUBGRADE BENEATH PAVEMENTS SHALL BE COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR (ASTM D1557-00) MAXIMUM DENSITY.
- ASPHALT PAVEMENT AND AGGREGATE BASE ROCK MATERIALS SHALL BE PROVIDED AND INSTALLED PER THE MOST CURRENT CALTRANS STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- ASPHALT CONCRETE - CROSS SECTION SHALL BE AS FOLLOWS:  
ASPHALT CONCRETE SURFACE COURSE = 3-INCHES PER CALTRANS SECTION 39. (a)  
BASE = 7-INCHES FOR PARKING SPACES AND 10-INCHES FOR DRIVE ASLES PER CALTRANS SECTION 26, CLASS 2 (R-VALUE AT LEAST 78)  
STABILIZED SUBGRADE = 12-INCHES STABILIZED SUBGRADE, COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR PROCEDURE (ASTM D-698) (PER GEOTECHNICAL REPORT)
- PORTLAND CEMENT CONCRETE - CROSS SECTION SHALL BE AS FOLLOWS:  
PORTLAND CEMENT CONCRETE SURFACE COURSE = 6.0 INCHES, LBR=40 (CALTRANS STANDARD SPECIFICATIONS SECTION 40-1.01D)  
STABILIZED SUBGRADE = 12-INCHES STABILIZED SUBGRADE (LBR=40), COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR PROCEDURE (ASTM D1557) (SECTIONS 169 & 814) (PER GEOTECHNICAL REPORT)
- CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR SPECIFICATIONS ON PAVEMENT CONSTRUCTION.

## MITIGATION MEASURES

- THE CONTRACTOR SHALL ENSURE THAT THE FOLLOWING CONSTRUCTION IMPACT MITIGATION MEASURES ARE FULLY IMPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT. FAILURE TO COMPLY WITH THESE CONDITIONS BY THE APPLICANT, PROJECT CONTRACTORS OR SUBCONTRACTORS SHALL BE CAUSE FOR SHUTDOWN OF THE PROJECT SITE UNTIL COMPLIANCE WITH THE FOLLOWING CONDITIONS CAN BE ENSURED BY THE CITY.
- MITIGATION MEASURE: THESE CONSTRUCTION IMPACT MITIGATION MEASURES SHALL BE INCLUDED IN ALL CONTRACT DOCUMENTS FOR THE PROJECT TO ENSURE FULL DISCLOSURE TO CONTRACTORS AND SUBCONTRACTORS.
  - EQUIPMENT: MITIGATION OF CONSTRUCTION PHASE NOISE AT THE SITE SHALL INCLUDE THE USE OF QUIET OR "NEW TECHNOLOGY" EQUIPMENT, PARTICULARLY WITH IMPROVED EXHAUST AND INTERIOR COMBUSTION ENGINES USED AT THE PROJECT SITE SHALL BE EQUIPPED WITH THE TYPE OF MUFFLER RECOMMENDED BY THE EQUIPMENT MANUFACTURER. IN ADDITION, ALL EQUIPMENT SHALL BE MAINTAINED IN GOOD MECHANICAL CONDITION SO AS TO MINIMIZE NOISE CREATED BY FAULTY OR POORLY MAINTAINED ENGINE, DRIVE-TRAIN AND OTHER COMPONENTS.
  - CONSTRUCTION HOURS: CONSTRUCTION SHALL BE LIMITED TO THE HOURS OF 7:00 A.M. TO 7:00 P.M. MONDAY THROUGH FRIDAY FOR ANY ON-SITE OR OFF-SITE WORK WITHIN 500 FEET OF ANY RESIDENTIAL UNIT SO AS TO AVOID THE MORE SENSITIVE EVENING, NIGHTTIME AND WEEKEND HOURS.
  - CONSTRUCTION DELIVERIES: DELIVERIES SHALL NOT OCCUR OUTSIDE THE ABOVE CONSTRUCTION HOURS. ALL DELIVERIES SHALL BE COORDINATED TO ENSURE THAT NO DELIVERY VEHICLES ARRIVE PRIOR TO THE OPENING OF THE GATES TO PREVENT THE DISRUPTION OF NEARBY RESIDENTS.
  - PLANS: THE CONSTRUCTION HOURS SHALL BE PRINTED ON ALL PLANS FOR THE PROJECT USED TO CONSTRUCT THE PROJECT.
  - FENCING: THE SITE SHALL BE WHOLLY ENCLOSED BY SECURITY FENCING. THE GATES TO THE PROJECT SITE SHALL REMAIN LOCKED DURING ALL OTHER TIMES, EXCEPT FOR A FIFTEEN-MINUTE PERIOD IMMEDIATELY PRECEDING AND FOLLOWING THE ABOVE HOURS OF CONSTRUCTION.
  - CONSTRUCTION EMPLOYEES: CONSTRUCTION WORKERS SHALL NOT ARRIVE TO THE SITE UNTIL THE OPENING OF THE PROJECT GATES. THE APPLICANT SHALL DESIGNATE A LOCATION WITHOUT ADJACENT RESIDENTIAL UNITS FOR WORKERS TO WAIT PRIOR TO THE OPENING OF THE PROJECT GATES.
  - CONSTRUCTION ACTIVITIES: CONSTRUCTION EQUIPMENT, MATERIALS, AND WORKERS SHALL NOT BE STAGED ON ANY AREA OF THE SITE WITHIN 50 FEET OF AN ADJOINING PROPERTY USED FOR RESIDENTIAL PURPOSES UNLESS THE DIRECTOR OF PLANNING APPROVES A PERMIT ADJUSTMENT AUTHORIZING SUCH ACTIVITY. THE CONSTRUCTION STAGING AREA SHALL NOT CREATE A PUBLIC OR PRIVATE NUISANCE.
  - DISTURBANCE COORDINATOR: A DISTURBANCE COORDINATOR SHALL BE IDENTIFIED BY THE DEVELOPER FOR THIS PROJECT. THE DISTURBANCE COORDINATOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH THE HOURS OF CONSTRUCTION, SITE HOUSEKEEPING, AND OTHER CONSTRUCTION-RELATED CONDITIONS IN THIS PERMIT.
  - DAILY LOG: THE DISTURBANCE COORDINATOR SHALL MAINTAIN A LOG OF DAILY ACTIVITIES ON THE PROJECT, INCLUDING BUT NOT LIMITED TO, VERIFICATION OF SITE CLOSURE ACTIVITIES, PROJECT CLEANLINESS, COMPLAINTS ON SITE ACTIVITIES AND CONDITIONS AND DATES AND TIMES OF THE COORDINATORS VISITS TO THE PROJECT IF THE COORDINATOR IS NOT SOLELY RESPONSIBLE FOR THIS PROJECT SITE. THIS LOG SHALL BE AVAILABLE FOR INSPECTION BY CITY STAFF UPON REQUEST.
  - TELEPHONE CONTACT: A PHONE WITH ANSWERING MACHINE FOR COMPLAINTS OR OTHER COMMUNICATION DURING NON-WORK HOURS SHALL BE MAINTAINED DURING THE DURATION OF PROJECT CONSTRUCTION. THE PHONE NUMBER SHOULD BE A LOCAL CALL FOR SURROUNDING RESIDENTS.
  - SIGNAGE: THE NAME AND PHONE NUMBER OF THE DISTURBANCE COORDINATOR, THE HOURS OF CONSTRUCTION LIMITATIONS, THE PROJECT CONTACT TELEPHONE NUMBER, CITY FILE NUMBER H07-045, CITY CONTACT AND PHONE NUMBER (DEPARTMENT AND PHONE NUMBER) SHALL BE DISPLAYED ON A WEATHERPROOF SIGN POSTED AT EACH ENTRANCE TO THE PROJECT SITE.

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4D PROTOTYPE

**BJ'S RESTAURANT & BREWHOUSE**  
**'Market Center'**  
511 Coleman Ave.  
San Jose, CA 95110



REVISIONS

**GENERAL NOTES**



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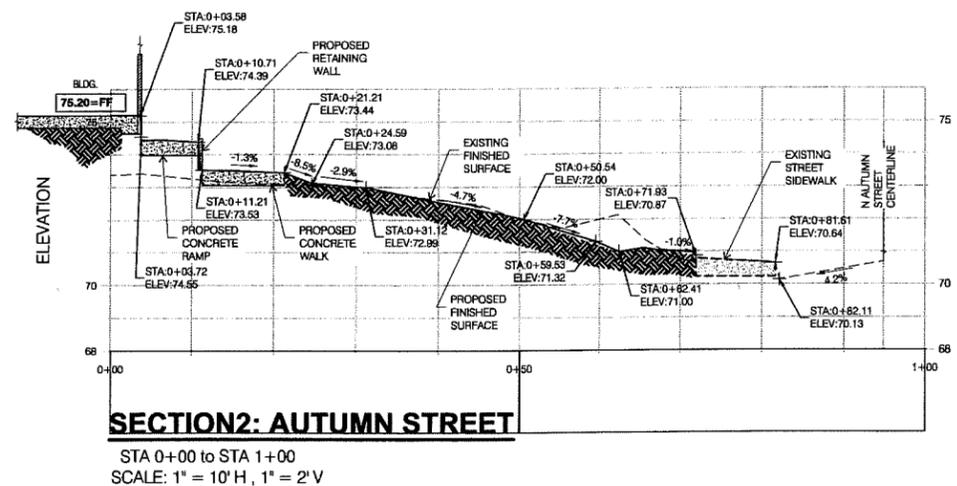
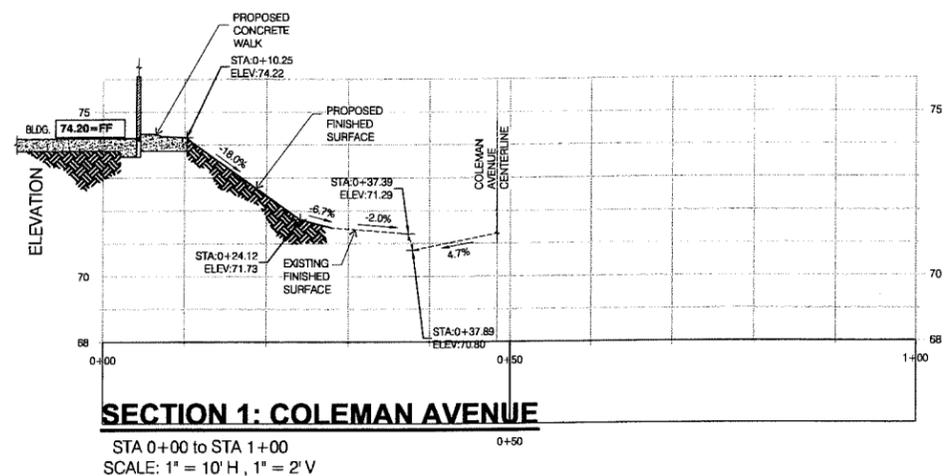
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SITE CROSS SECTIONS

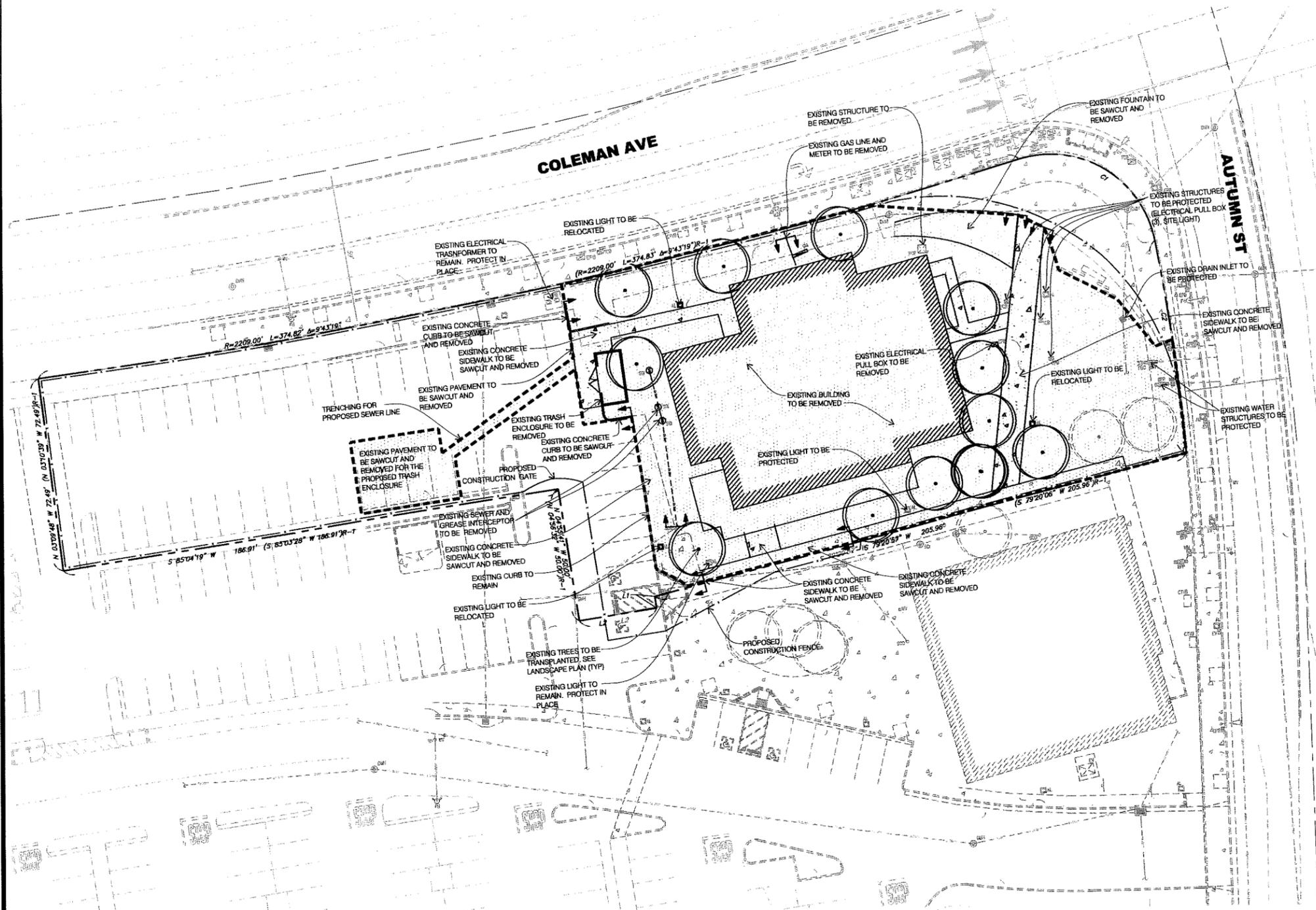
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**LEGEND**

- DEMOLITION LIMITS
- EXISTING UTILITY TO BE REMOVED
- EXISTING UTILITY TO REMAIN
- LIMITS OF REMOVAL
- DEMOLITION AREA

**PLAN NOTES**

1. CONTRACTOR SHALL PROVIDE TREE PROTECTION AROUND EXISTING TREES TO REMAIN PRIOR TO BEGINNING DEMOLITION/CONSTRUCTION ACTIVITY
2. EXISTING UTILITIES AND ASSOCIATED STRUCTURES ON-SITE ARE TO REMAIN UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PROTECT IN PLACE
3. CONTRACTOR SHALL SAWCUT AND REMOVE ALL EXISTING PAVEMENT AND CURB WITHIN BUILDING PAD UNLESS OTHERWISE NOTED. REFER TO PROPOSED SITE IMPROVEMENTS ON SHEET S OF 14, FOR LOCATION OF PROPOSED IMPROVEMENTS.
4. CONTRACTOR SHALL PROVIDE CONSTRUCTION FENCE AROUND THE PERIMETER OF THE SITE PRIOR TO BEGINNING DEMOLITION. APPROXIMATE LIMITS SHALL MATCH THAT OF THE DEMOLITION LIMITS INSIDE THE PROPERTY BOUNDARY
5. CONTRACTOR SHALL DISCONNECT ALL EXISTING UTILITIES SERVING THE EXISTING BUILDING PRIOR TO DEMOLITION OF THE BUILDING. COORDINATE REQUIREMENTS WITH LOCAL UTILITY COMPANIES
6. CONTRACTOR SHALL RESTORE TO ORIGINAL OR BETTER CONDITION ALL AREAS DISTURBED BY CONSTRUCTION. UPON COMPLETION, POWER WASH ALL PAVING TO OWNERS SATISFACTION.

**--- LIMIT OF DEMOLITION AREA. COMPLETELY REMOVE THE EXISTING ITEMS LISTED BELOW IF BOLD ON THE PLAN AND LOCATED WITHIN THE LIMIT OF DEMOLITION (UNLESS OTHERWISE NOTED).**

- FULL DEPTH CURB, CONCRETE & ASPHALT PAVEMENT (SAWCUT TO MEET PROPOSED LOCATION PER SITE PLAN)
- BUILDINGS, FOUNDATIONS, AND RELATED STRUCTURES
- UTILITIES SERVING THE EXISTING BUILDING
- BOLLARDS
- SIGNS
- TREES & LANDSCAPING
- OTHER ITEMS NECESSARY TO ACCOMMODATE PROPOSED DESIGN. VERIFY ITEMS TO BE REMOVED THAT ARE NOT LISTED WITH OWNERS REPRESENTATIVE PRIOR TO REMOVAL.

**wd**

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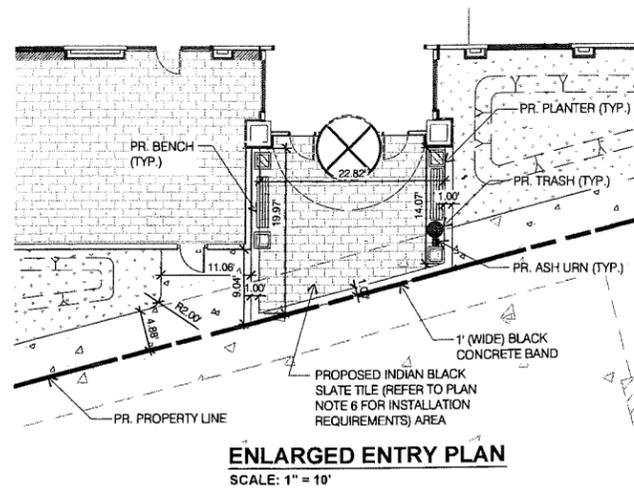
REVISIONS

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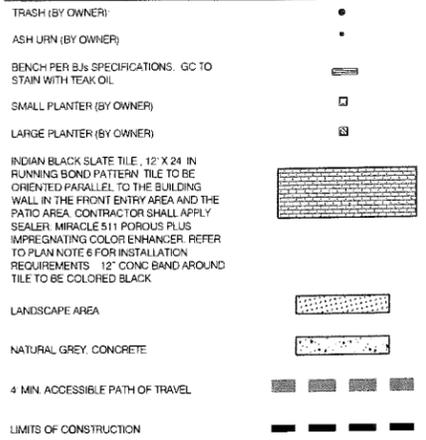
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NORTH

SCALE: 1" = 20.00'



**LEGEND**



**CURVE TABLE:**

| CURVE   | RADIUS  | LENGTH | DELTA     |
|---------|---------|--------|-----------|
| C1      | 40.00'  | 66.63' | 95°26'19" |
| (C1)R-1 | 40.00'  | 66.63' | 95°26'15" |
| C2      | 755.00' | 79.91' | 6°03'52"  |
| (C2)R-1 | 755.00' | 79.91' | 6°03'52"  |

**LINE TABLE:**

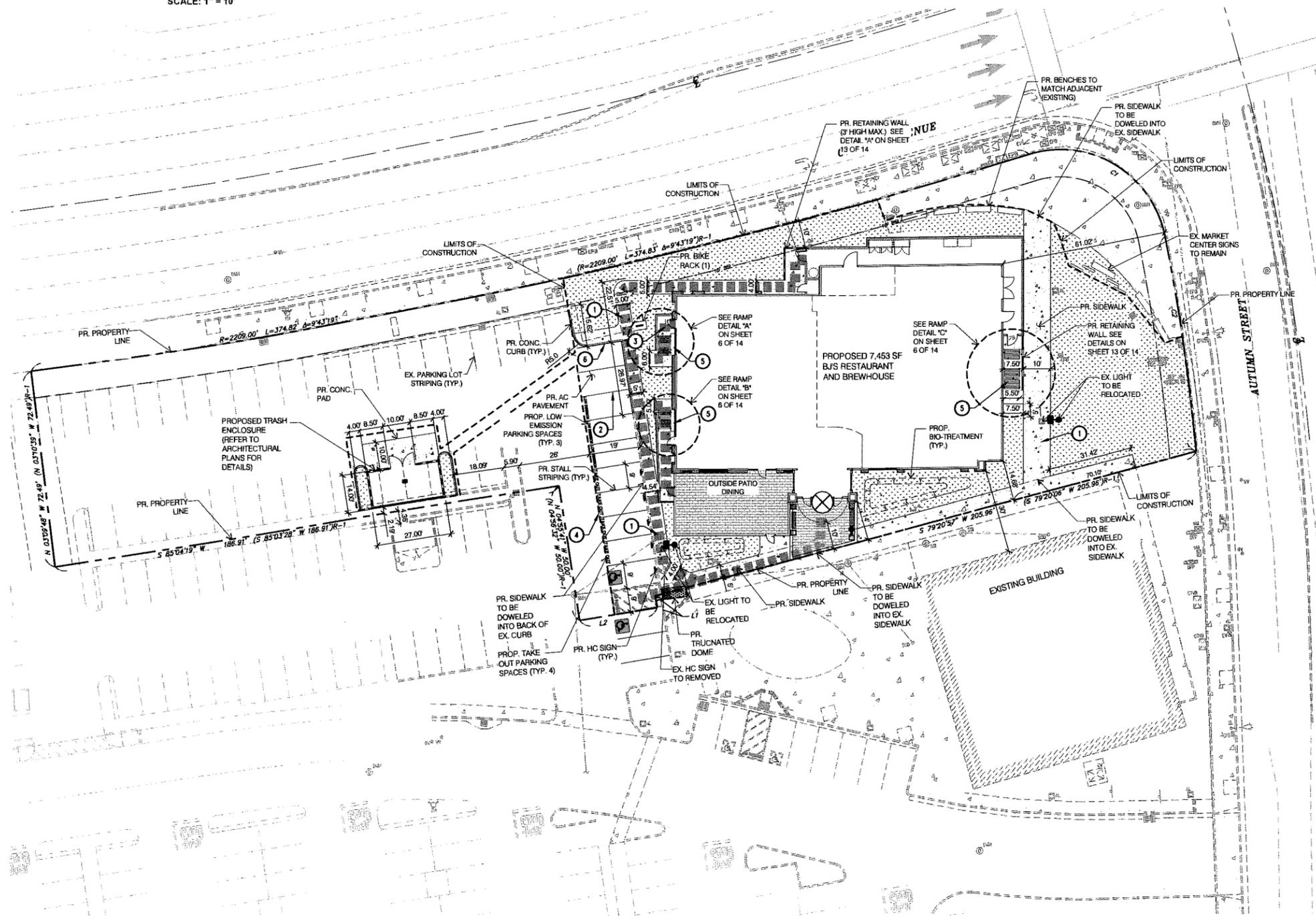
| LINE    | BEARING     | LENGTH |
|---------|-------------|--------|
| L1      | S04°55'41"E | 4.41'  |
| (L1)R-1 | S04°55'41"E | 4.41'  |
| L2      | S85°04'19"W | 29.00' |
| (L2)R-1 | S85°04'19"W | 29.00' |

**PLAN NOTES**

- 1 DEMO ALL PAVEMENT AND UTILITIES WITHIN LIMITS OF CONSTRUCTION AS NEEDED TO INSTALL PROPOSED UTILITIES, PAVEMENT GRADES, CURBING PER APPROVED PLANS. REFER TO SITE DETAILS FOR PROPOSED PAVEMENT SECTION.
- 2 PROPOSED CURB TO BE CONSTRUCTED PER SITE DETAILS.
- 3 ALL CONCRETE STEPS AND RAMPS WITH HANDRAIL SHALL BE CONSTRUCTED PER SITE DETAILS.
- 4 TAKE OUT PARKING SPACES TO BE INSTALLED PER SITE DETAILS. CONTRACTOR TO PROVIDE CONCRETE BOLLARD AND SIGN POST PER ACCESSIBLE PARKING DETAIL. TAKE OUT PARKING SIGN TO BE PROVIDED BY OWNER.
- 5 CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS ON CONSTRUCTION OF TRASH ENCLOSURE.
- 6 INDIAN BLACK SLATE TILE TO BE INSTALLED USING ALL OF THE MANUFACTURER'S BEST PRACTICES. INSTALLATION RECOMMENDATIONS, AND GUIDELINES INCLUDING, BUT NOT LIMITED TO, SURFACE PREPARATION AND CARE TO AVOID ANY OILS IN SUB-STRATE DURING CONSTRUCTION. MORTAR AND GROUT SELECTION AND ADHESIVE.
- 7 GENERAL CONTRACTOR TO REPAIR AND REPLACE ASPHALT DAMAGED DURING CONSTRUCTION. ASPHALT SECTION TO MATCH EXISTING. OWNER TO REVIEW REPAIRED ASPHALT TO DETERMINE IF FIX IS ADEQUATE. SILURRY SEAL AND RESTRIPING TO BE PROVIDED ON REMAINDER OF PARKING LOT AT OWNERS DISCRETION.

**PLAN NOTES**

- 1 NEW CONCRETE WALK - NON SUP. SURFACE
- 2 NEW PARKING STRIPING PER STRIPING DETAIL ON SHEET 13 OF 14
- 3 NEW 5x5 MIN LEVEL CONCRETE LANDING.
- 4 A.C. PAVEMENT TO MATCH EXISTING PER ASPHALT TRANSITION DETAIL ON SHEET 13 OF 14
- 5 PROPOSED HANDRAILS PER RAMP AND HANDRAIL DETAIL ON SHEET 13 OF 14
- 6 PROPOSED CONCRETE CURB PER CONCRETE CURB DETAIL ON SHEET 13 OF 14.



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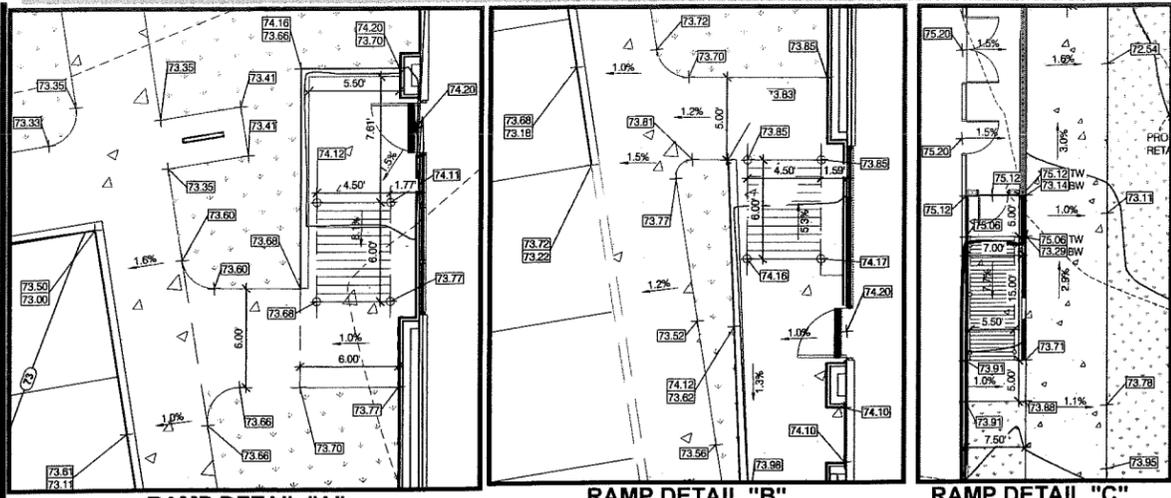
**SITE IMPROVEMENT PLAN**  
**5 OF 14**

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SCALE: 1" = 20.00'



**RAMP DETAIL "A"**  
SCALE: 1" = 5'

**RAMP DETAIL "B"**  
SCALE: 1" = 5'

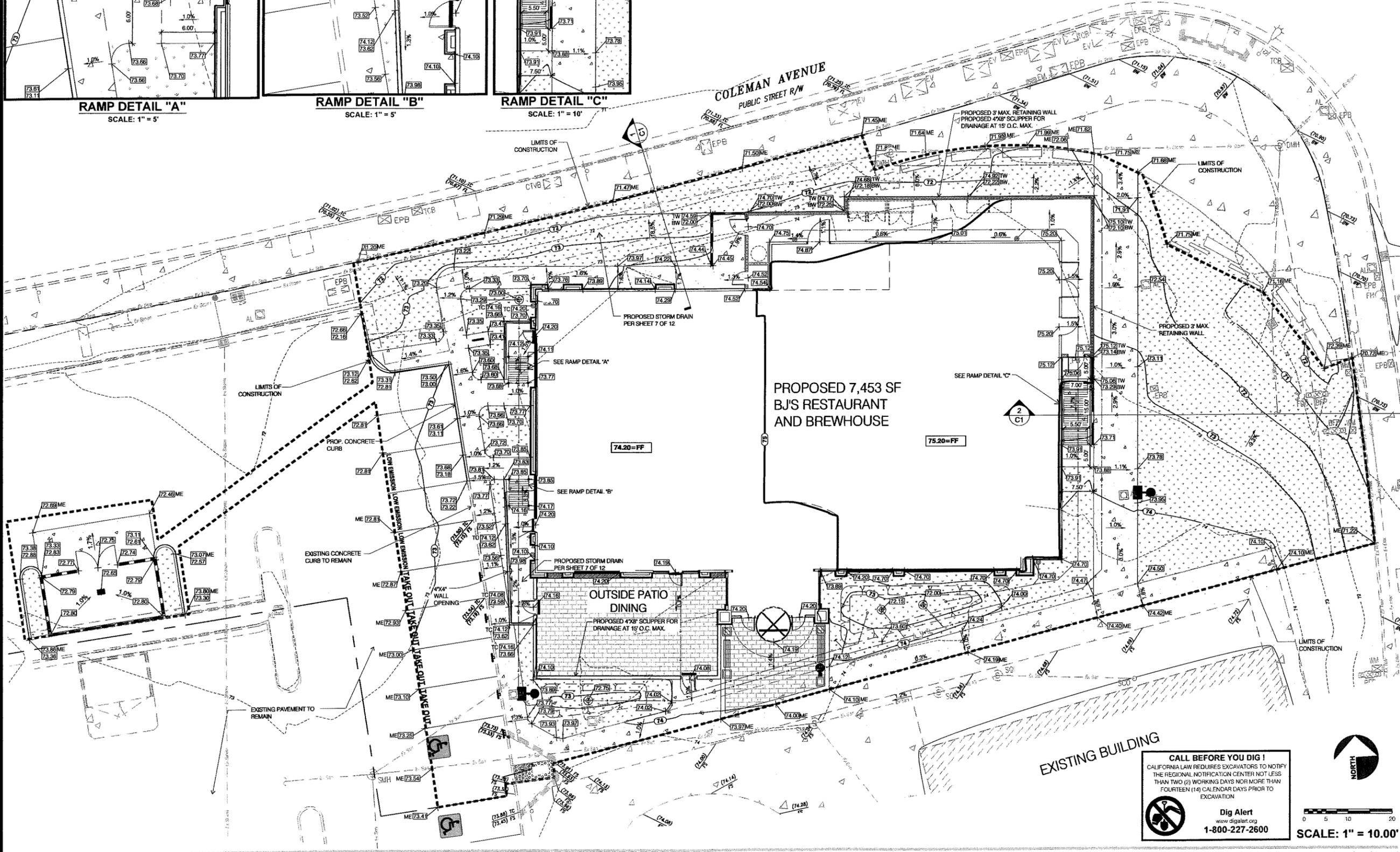
**RAMP DETAIL "C"**  
SCALE: 1" = 10'

**GRADING LEGEND**

- PROPOSED SPOT ELEVATION (AT VERTICAL ELEVATION CHANGE) (20.00) FG - FINISH GRADE
- PROPOSED SPOT ELEVATION (AT RETAINING WALL) (00.50) TC - TOP OF CURB PAVEMENT/FLOWLINE
- PROPOSED CONTOUR (22.50) TW - TOP OF WALL
- EXISTING CONTOUR (22.00) BW - BOTTOM OF WALL
- EXISTING SPOT ELEVATION (10) ME
- MATCH EXISTING ELEVATION (TYP.) (10) ME
- LIMITS OF CONSTRUCTION ---

**PLAN NOTES**

1. PAVEMENT SHALL BE FLUSH WITH WALK IN ACCESSIBLE PARKING AREA. SEE DETAIL ON SHEET 13 OF 14.
2. RAISE LOWER ALL EXISTING UTILITIES EXPECTED TO BE AT GRADE TO PROPOSED GRADE ELEVATIONS.
3. CUT-FILL QUANTITIES SHOWN ON SHEET 1 OF 14.



PROPOSED 7,453 SF  
BJ'S RESTAURANT  
AND BREWHOUSE

OUTSIDE PATIO  
DINING

EXISTING BUILDING

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REVISIONS

**C3**  
**6 OF 14**  
**SITE GRADING PLAN**

**STORM STRUCTURE SCHEDULE**

- ① PR 10 NYOPLAST AREA DRAIN (W/ DOMED GRATE)  
RIM ELEV = 73.00  
6" INV. OUT = 71.90
- ② PR 10 NYOPLAST AREA DRAIN (W/ DOMED GRATE)  
RIM ELEV = 72.75  
6" INV. OUT = 70.92
- ③ PR 10 NYOPLAST AREA DRAIN (W/ DOMED GRATE)  
RIM ELEV = 72.15  
6" INV. OUT = 70.15
- ④ PR 10 NYOPLAST AREA DRAIN (W/ DOMED GRATE)  
RIM ELEV = 72.00  
6" INV. OUT = 70.05

**UTILITY CROSSING SCHEDULE**

- ▽ 6" GREASE TOP OF PIPE = 70.86  
6" GREASE INVERT = 70.36
- ▽ 6" SANITARY TOP OF PIPE = 70.66  
6" SANITARY INVERT = 70.36
- ▽ 6" STORM TOP OF PIPE = 71.97  
6" STORM INVERT = 71.47

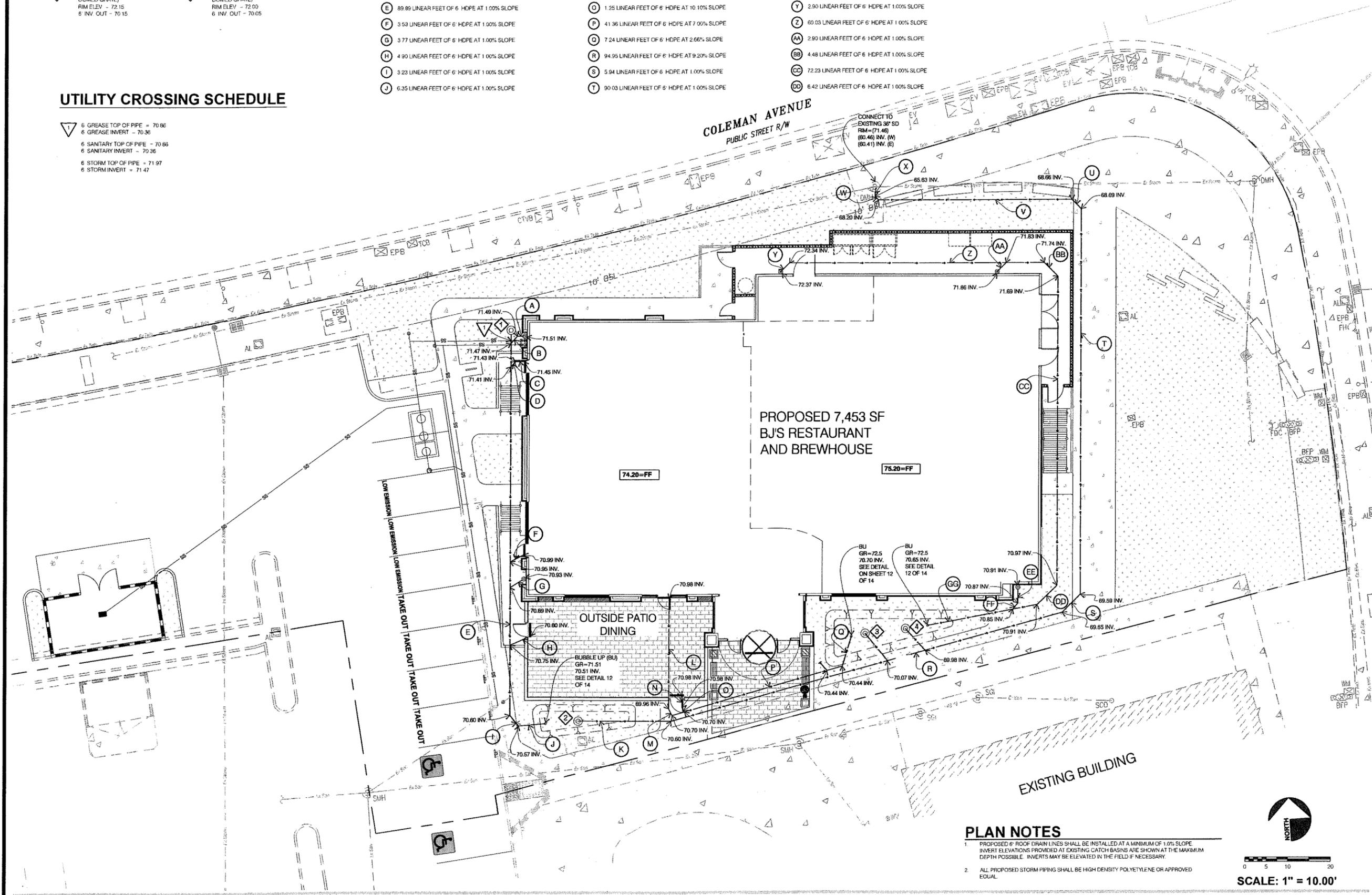
**STORM PIPE SCHEDULE**

- (A) 1.78 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (B) 2.18 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (C) 2.08 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (D) 1.58 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (E) 89.89 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (F) 3.53 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (G) 3.77 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (H) 4.90 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (I) 3.23 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (J) 6.35 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (K) 21.52 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (L) 25.64 LINEAR FEET OF 6" HDPE AT 8.93% SLOPE
- (M) 1.74 LINEAR FEET OF 6" HDPE AT 8.93% SLOPE
- (N) 2.56 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (O) 1.25 LINEAR FEET OF 6" HDPE AT 10.10% SLOPE
- (P) 41.96 LINEAR FEET OF 6" HDPE AT 7.00% SLOPE
- (Q) 7.24 LINEAR FEET OF 6" HDPE AT 2.66% SLOPE
- (R) 94.95 LINEAR FEET OF 6" HDPE AT 9.20% SLOPE
- (S) 5.94 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (T) 90.03 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE

- (U) 3.03 LINEAR FEET OF 6" HDPE AT 2.00% SLOPE
- (V) 45.62 LINEAR FEET OF 6" HDPE AT 58.19% SLOPE
- (W) 1.13 LINEAR FEET OF 6" HDPE AT 230% SLOPE
- (X) 2.27 LINEAR FEET OF 6" HDPE AT 230% SLOPE
- (Y) 2.90 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (Z) 60.03 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (AA) 2.90 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (BB) 4.48 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (CC) 72.23 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (DD) 6.42 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE
- (EE) 3.69 LINEAR FEET OF 6" HDPE AT 2.00% SLOPE
- (FF) 1.83 LINEAR FEET OF 6" HDPE AT 58.19% SLOPE
- (GG) 26.09 LINEAR FEET OF 6" HDPE AT 1.00% SLOPE

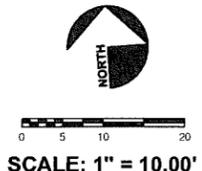
**STORM PIPE LEGEND**

- 6" PVC DRAIN LINE TO EXISTING STORM SYSTEM  
SLOPE ALL PIPES 1% MIN
- 10" AREA DRAIN TO BE NYOPLAST INLINE DRAIN  
WITH DOMED GRATE (OR APPROVED EQUAL)



**PLAN NOTES**

1. PROPOSED 6" ROOF DRAIN LINES SHALL BE INSTALLED AT A MINIMUM OF 1.0% SLOPE. INVERT ELEVATIONS PROVIDED AT EXISTING CATCH BASINS ARE SHOWN AT THE MAXIMUM DEPTH POSSIBLE. INVERTS MAY BE ELEVATED IN THE FIELD IF NECESSARY.
2. ALL PROPOSED STORM PIPING SHALL BE HIGH DENSITY POLYETHYLENE OR APPROVED EQUAL.



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**C4** STORM DRAIN PLAN  
7 OF 14

| STORM WATER CONTROL PLAN |             |                         |                         |      |      |         |                             |                   |                          |                              |                          |
|--------------------------|-------------|-------------------------|-------------------------|------|------|---------|-----------------------------|-------------------|--------------------------|------------------------------|--------------------------|
| SHED NAME                | INLET       | DESIGN FLOW NOLTE (cfs) | WATER QUALITY FLOW RATE |      |      |         | SOURCE CONTROLS             | SOURCE POLLUTANTS | RUNOFF REDUCTION METHODS | TREATMENT CONTROLS           | TREATMENT CAPACITY (CFS) |
|                          |             |                         | C                       | I    | A    | Q (cfs) |                             |                   |                          |                              |                          |
| A1                       | DI#1        | 0.045                   | 0.80                    | 0.18 | 0.12 | 0.017   | STORM DRAIN MESSAGE AT DI#1 | ORGANICS, METALS  | N/A                      | DI#1 CATCHBASIN STORM FILTER | 0.05                     |
| A2                       | DI#2        | 0.066                   | 0.80                    | 0.18 | 0.22 | 0.032   | STORM DRAIN MESSAGE AT DI#2 | ORGANICS, METALS  | N/A                      | DI#1 CATCHBASIN STORM FILTER | 0.05                     |
| B1                       | LANDSCAPING | 0.077                   | 0.60                    | 0.18 | 0.11 | 0.012   | STORM DRAIN MESSAGE AT DI#3 | ORGANICS, METALS  | LANDSCAPING              | SELF TREATING LANDSCAPE      | 0.05                     |
| B2                       | DI#4        | 0.075                   | 0.70                    | 0.18 | 0.07 | 0.009   | N/A                         | ORGANICS, METALS  | N/A                      | SELF TREATING LANDSCAPE      |                          |
| B3                       | SHEET FLOW  | 0.075                   | 0.70                    | 0.18 | 0.06 | 0.008   | N/A                         | ORGANICS, METALS  | N/A                      | N/A                          |                          |

| PERVIOUS AND IMPERVIOUS SURFACES COMPARISON |                    |             |                    |             |                   |
|---|--------------------|-------------|--------------------|-------------|-------------------|
| SITE (acres) (sqft)                         | EXISTING CONDITION |             | PROPOSED CONDITION |             | DIFFERENCE (sqft) |
|   | (sqft)             | %           | (sqft)             | %           |                   |
| BUILDING FOOTPRINT                          | 7,424              | 18%         | 7,453              | 18%         | -29               |
| PARKING                                     | 14,094             | 34%         | 14,020             | 34%         | -74               |
| SIDEWALKS, PATIOS, ETC.                     | 7,320              | 18%         | 7,102              | 17%         | -218              |
| LANDSCAPE                                   | 12,750             | 30%         | 13,013             | 31%         | 263               |
| <b>TOTAL</b>                                | <b>41,588</b>      | <b>100%</b> | <b>41,588</b>      | <b>100%</b> |                   |
| IMPERVIOUS                                  | 28,838             | 70%         | 28,575             | 69%         | -263              |
| PERVIOUS                                    | 12,750             | 30%         | 13,013             | 31%         | 263               |

### STORM PIPE LEGEND

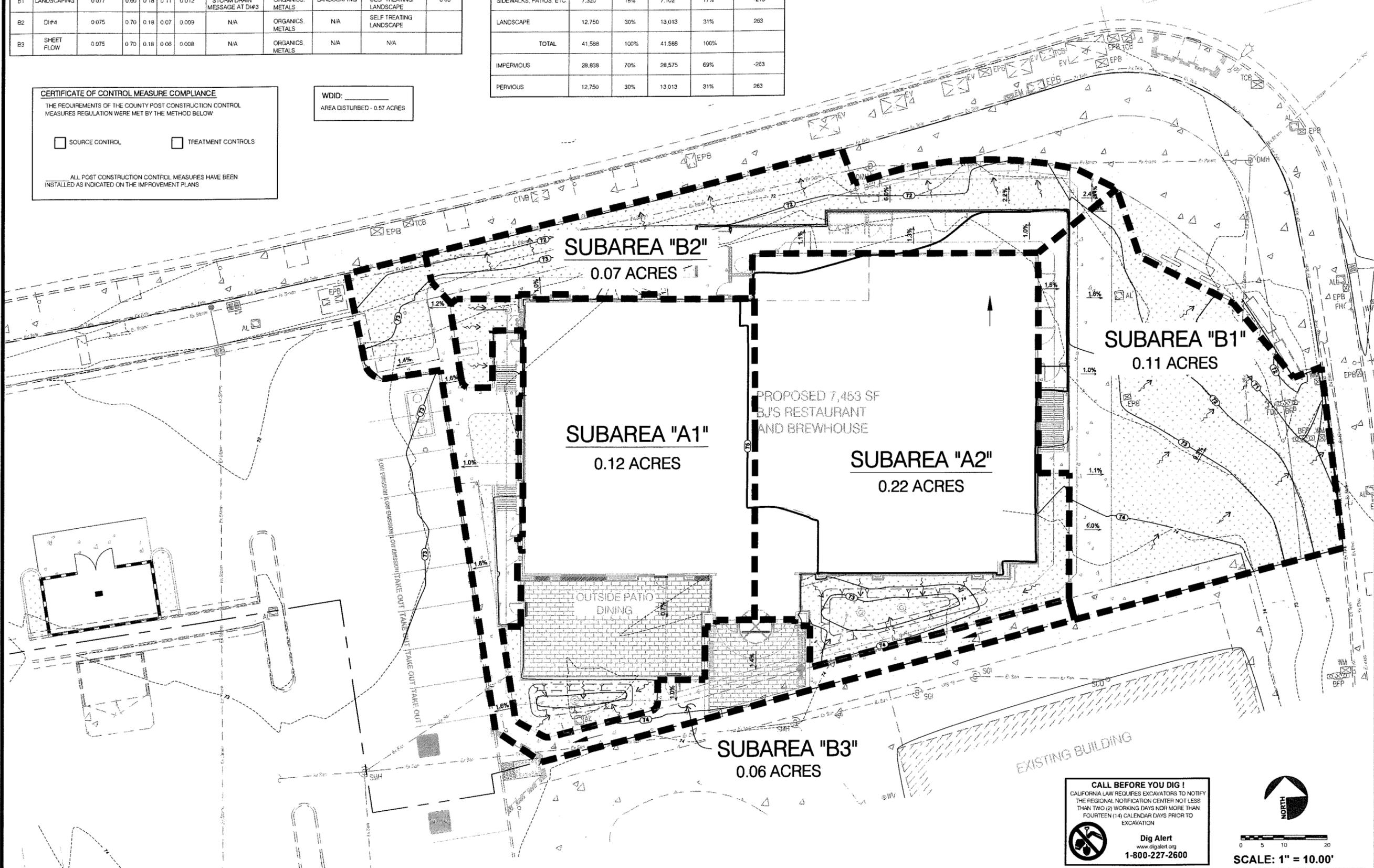
6 PVC DRAIN LINE  
 10" AREA DRAIN TO BE NYOFLAST INLINE DRAIN WITH DOMED GRATE (OR APPROVED EQUAL)

**CERTIFICATE OF CONTROL MEASURE COMPLIANCE**  
 THE REQUIREMENTS OF THE COUNTY POST CONSTRUCTION CONTROL MEASURES REGULATION WERE MET BY THE METHOD BELOW

SOURCE CONTROL       TREATMENT CONTROLS

ALL POST CONSTRUCTION CONTROL MEASURES HAVE BEEN INSTALLED AS INDICATED ON THE IMPROVEMENT PLANS

WDID: \_\_\_\_\_  
 AREA DISTURBED - 0.57 ACRES



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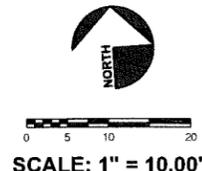


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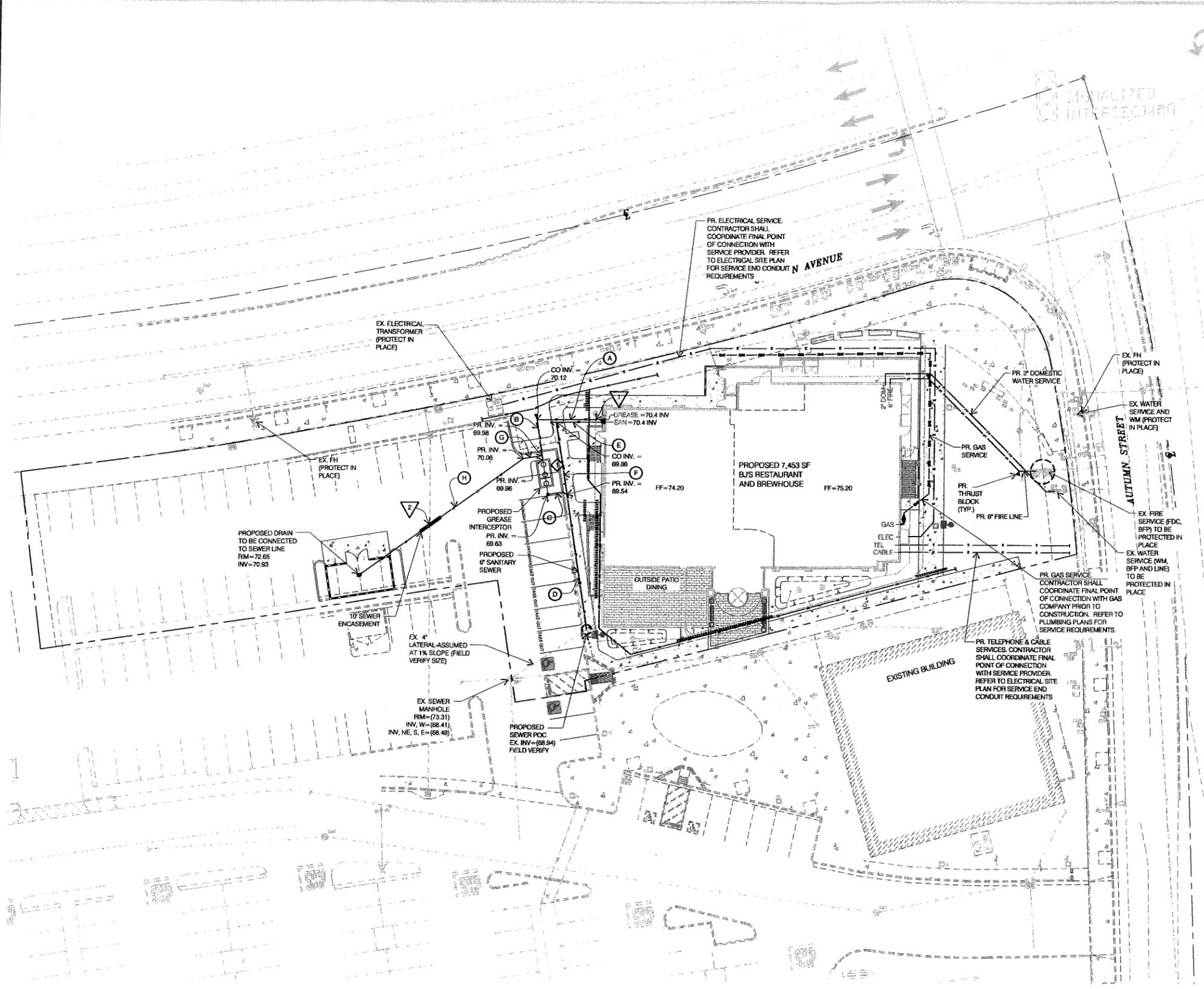
STORM WATER CONTROL PLAN

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**C5**  
**8 OF 14**



**PLAN NOTES**

- 1 THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. CONTRACTOR SHALL VERIFY ORIGIN OF SERVICE, INSTALLATION PROCEDURES, AND ALL STANDARDS FOR WORK WITH UTILITY COMPANIES PRIOR TO CONSTRUCTION. ON SITE TRENCHING SHALL BE MINIMIZED WHEN POSSIBLE. UTILITIES, CONDUITS, AND IRRIGATION SHALL MAKE USE OF SHARED TRENCHING WHEN PERMITTED. FOR TRENCHING AND BEDDING (TYPE A) INFORMATION, SEE DETAIL ON SHEET 13 OF 14.
- 2 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL PROPOSED UTILITY CROSSINGS WITH EXISTING UTILITIES. TEST PITS SHOULD BE MADE PRIOR TO CONSTRUCTION. FAILURE TO VERIFY UTILITIES PRIOR TO INITIATING CONSTRUCTION SHALL RESULT IN ALL APPLICABLE CHANGE ORDERS BEING THE CONTRACTOR'S RESPONSIBILITY.
- 3 CONTRACTOR SHALL COORDINATE WITH SOUTHERN CALIFORNIA EDISON, SOUTHERN CALIFORNIA GAS, AND AT&T FOR ACCURATE POINTS OF CONNECTION FOR ELECTRIC SERVICE, GAS SERVICE AND TELEPHONE SERVICE.
- 4 CONTRACTOR SHALL REFER TO THE PLUMBING PLANS FOR SIZE AND DETAILS OF THE PROPOSED GREASE INTERCEPTOR.
- 5 CONTRACTOR SHALL REFER TO THE IRRIGATION PLAN FOR LOCATION OF PROPOSED IRRIGATION SERVICE.

**UTILITY LINE LEGEND**

|                            |  |     |     |
|----------------------------|--|-----|-----|
| PROPOSED GAS               |  | GAS | GAS |
| PROPOSED ELECTRIC          |  | E   |     |
| PROPOSED TELEPHONE         |  | T   |     |
| PROPOSED FIRE              |  | F   |     |
| PROPOSED WATER             |  | W   |     |
| PROPOSED IRRIGATION        |  | IRR |     |
| PROPOSED SANITARY SEWER    |  | SS  |     |
| PROPOSED IRRIGATION SLEEVE |  |     |     |
| EXISTING WATER             |  |     |     |
| EXISTING GAS               |  |     |     |
| EXISTING TELEPHONE         |  |     |     |
| EXISTING SANITARY SEWER    |  |     |     |
| EXISTING ELECTRIC          |  |     |     |
| EXISTING STORM             |  |     |     |

**SANITARY STRUCTURE SCHEDULE**

- PROPOSED GREASE INTERCEPTOR (PER PLUMBING PLANS AND DETAILS)
- RIM = 73.00
- 6" INVERT IN = 69.96
- 6" INVERT OUT = 69.63

**SANITARY PIPE SCHEDULE**

- A 28' LINEAR FEET OF 6" PVC AT 1.0% SLOPE
- B 16' LINEAR FEET OF 6" PVC AT 1.0% SLOPE
- C 8' TOTAL LINEAR FEET OF 6" PVC AT 1.1% SLOPE
- D 56' TOTAL LINEAR FEET OF 6" PVC AT 1.07% SLOPE
- E 20' TOTAL LINEAR FEET OF 6" PVC AT 2.7% SLOPE
- F 30' TOTAL LINEAR FEET OF 6" PVC AT 1.07% SLOPE
- G 8' TOTAL LINEAR FEET OF 4" PVC AT 1.00% SLOPE
- H 87' TOTAL LINEAR FEET OF 4" PVC AT 1.0% SLOPE

**UTILITY CROSSING SCHEDULE**

- 6" GREASE TOP OF PIPE = 70.86
- 6" GREASE INVERT = 70.36
- 6" SANITARY TOP OF PIPE = 70.86
- 6" SANITARY INVERT = 70.36
- 6" STORM TOP OF PIPE = 71.93
- 6" STORM INVERT = 71.43
- 4" SANITARY TOP OF PIPE = 70.85
- 4" SANITARY INVERT = 70.52
- 6" STORM TOP OF PIPE = 70.05
- 6" STORM INVERT = 69.55

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REVISIONS

**C6**  
 9 OF 14  
**SITE UTILITY PLAN**

# SAN JOSE EROSION AND SEDIMENT CONTROL NOTES:

## GENERAL CSJ EROSION AND SEDIMENT CONTROL NOTES:

1. Contractor/Owner: (Insert Name, Address, Phone Number)  
It shall be the owner's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the soil erosion control plan.
2. Civil Engineer: (Insert Name, Address, Phone Number)
3. Construction Superintendent: name, address, 24-hour phone number  
Contractor: name, address, 24-hour phone number
4. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
5. Developer will submit to the City monthly (at the first of each month between Oct 1st and April 30th) certifications that all erosion/sediment measures identified on the approved erosion control plan are in place. If measures are not in place, Developer shall provide the City with a written explanation of why the measure is not in place and what will be done to remedy this situation.
6. Owner/contractor shall be responsible for monitoring erosion and sediment control measures prior, during, and after storm events.
7. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any flow spill or track over and upon said public or adjacent private property immediate remedy shall occur.
8. Sanitary facilities shall be maintained on the site.
9. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage system, including existing drainage swales and water courses.
10. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
11. Contractor shall provide dust control as required by the appropriate federal, state and local agency requirements.

## EROSION AND SEDIMENT CONTROL MEASURES

1. The facilities shown on this plan are designed to control erosion and sediment during the rainy season, October 1 to April 30. Facilities are to be operative prior to September 15 of any year. Grading operations during the rainy season which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes. During the non-rainy season Best Management Practices (BMPs) must be implemented during construction which includes, but is not limited to: stabilized construction entrances, tire wash area and inlet protection.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the City Engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the City.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrance ways. (Also include this note on grading plans)
4. Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the City.
5. If hydros seeding is not used or is not effective by 09/23, then other immediate methods shall be implemented, such as Erosion control Blankets, or a three-step application of 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydros seeded. Erosion protection for each lot with a house under construction shall conform to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the City Representative of any field changes.

## Maintenance Notes

1. Maintenance is to be performed as follows:
  - A. Repair damages caused by soil erosion or construction at the end of each working day.
  - B. Swales shall be inspected periodically and maintained as needed.
  - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
  - D. Sediment shall be removed and sediment trap restored to its original dimensions when sediment has accumulated to a depth of 1 foot.
  - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
  - F. Rills and gullies must be repaired.
2. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.



## ON-SITE REVISIONS

| DATE | REVISION DESCRIPTION | INITIALS |
|------|----------------------|----------|
|      |                      |          |
|      |                      |          |
|      |                      |          |

## SCOPE OF EROSION CONTROL

THE CONTRACTOR SHALL CONTROL SOIL EROSION RESULTING FROM THE PROPOSED IMPROVEMENTS. THE USE OF SILT FENCINGS, JUTE MATTING, TEMPORARY SEEDING, SILT CHECKS, INLET PROTECTION AROUND ALL CATCH BASINS, STABILIZED CONSTRUCTION ENTRANCE(S), ETC. MAY BE REQUIRED. REFER TO PLAN. SEDIMENT CONTROL STRUCTURES/DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF SAN JOSE, STATE OF CALIFORNIA DEVELOPMENT MANUAL. SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUED INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS SET FORTH ON THE APPROVED STORMWATER POLLUTION PREVENTION PLAN IF APPLICABLE, OR AS DETAILED ON THE CONSTRUCTION PLANS, AS SPECIFIED BY CITY OF SAN JOSE, SANTA CLARA COUNTY, CA.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE BMP CONTROLS AS SITE CONDITIONS WARRANT. MORE CONTROLS MAY BE REQUIRED PER SITE CONDITIONS. THE CONTRACTOR SHALL INCLUDE THESE COSTS IN THE BASE BID. ANY AREA WHERE EROSION IS OBSERVED MUST BE ADDRESSED BY THE CONTRACTOR, WHETHER SHOWN ON THE PLANS OR NOT. IN THE CASE THAT DOWNSTREAM EROSION IS OBSERVED, THE CONTRACTOR MUST CONTACT THE ENGINEER OF RECORD FOR RECOMMENDATIONS.

PERMANENT EROSION CONTROL, TURF ESTABLISHMENT, AND SOIL STABILIZATION IS THE RESPONSIBILITY OF THE CONTRACTOR. THE INTENT OF THIS PLAN IS TO PROVIDE GUIDANCE FOR PLACEMENT OF BEST MANAGEMENT PRACTICES.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER CLEANING AND DISPOSAL OF ANY DEBRIS TAKEN OFF SITE. CONTRACTOR IS RESPONSIBLE FOR ALL FINES AND FEES FOR IMPROPER PLACEMENT OR MAINTENANCE OF CONTROLS.

## PLAN NOTES

1. CONTRACTOR SHALL ENSURE THAT ALL TEMPORARY STOCKPILE AREAS UTILIZED DURING CONSTRUCTION ARE SURROUNDED WITH EROSION AND SEDIMENT CONTROL MEASURES. STOCKPILE AREAS SHALL BE SURROUNDED WITH GRAVEL BAG BARRIER PER DETAILS ON SHEET 12 OF 14.
2. CONTRACTOR SHALL INSTALL A CONCRETE WASH OUT PER DETAIL ON SHEET 12 OF 14 IF REQUIRED BY CITY OF SAN JOSE PRIOR TO CONSTRUCTION. IF ASPHALT PAVEMENT WITHIN THE LIMITS OF DISTURBANCE IS TO REMAIN IN PLACE, CONSTRUCTION ENTRANCE NOT REQUIRED.

## LEGEND

|                               |  |
|-------------------------------|--|
| INLET PROTECTION              |  |
| TEMPORARY SOIL STOCKPILE AREA |  |
| CONSTRUCTION FENCE            |  |
| GRAVEL BAG BARRIER            |  |

**CALL BEFORE YOU DIG!**  
CALIFORNIA LAW REQUIRES EXCAVATORS TO NOTIFY THE REGIONAL NOTIFICATION CENTER NOT LESS THAN TWO (2) WORKING DAYS NOR MORE THAN FOURTEEN (14) CALENDAR DAYS PRIOR TO EXCAVATION.

**Dig Alert**  
www.digalert.org  
1-800-227-2600

**SCALE: 1" = 20.00'**

**wd**

16808 ARMSTRONG AVE  
SUITE 100  
IRVINE, CA 92606  
949.753.7678 T

WDPARTNERS.COM

4D PROTOTYPE

**BJ'S RESTAURANT & BREWHOUSE**  
**'Market Center'**  
511 Coleman Ave.  
San Jose, CA 95110



REVISIONS

**C7**  
**10 OF 14** EROSION CONTROL PLAN

**BMP INSTALLATION SCHEDULE**

| SEASON  | EROSION AND SEDIMENT CONTROL MEASURES   | PHASE OF CONSTRUCTION  |                       |                           |                 |   |   |          |                                 |                           |             |
|---|---|------------------------|-----------------------|---------------------------|-----------------|---|---|----------|---------------------------------|---------------------------|-------------|
|   |   | PRE-GRADING (CLEARING) | CUT & FILL ACTIVITIES | GRADING OF ROADWAYS (N/A) | GRADING OF PADS | EXCAVATIONS AND INSTALLATION OF UTILITIES | STREET IMPROVEMENTS (CURBS, GUTTER AND SIDEWALKS) (N/A) | PAVE-OUT | COMPLETION OF SITE IMPROVEMENTS | CONSTRUCTION OF BUILDINGS | LANDSCAPING |
| WET<br>(OCT. 1ST-<br>APRIL 30TH)  | <b>HYDROSEEDING/MULCHING</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL  |                        | X                     |                           |                 |   |   |          |                                 |                           |             |
|   | <b>PRESERVATION OF EXISTING VEGETATION</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL  | X                      |                       |                           |                 |   |   |          |                                 |                           |             |
|   | <b>STABILIZED CONSTRUCTION ACCESS</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL   |                        |                       |                           |                 |   |   |          |                                 |                           |             |
|   | <b>SOILD BINDERS</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL  |                        |                       |                           |                 | X   |   |          |                                 |                           |             |
|   | <b>GEOTEXTILE, PLASTIC COVERS, AND EROSION CONTROL BLANKETS/MATS</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL                                  |                        |                       |                           |                 |   |   |          |                                 |                           |             |
| WET<br>+<br>DRY   | <b>STABILIZED DISCHARGED POINTS</b><br>ALL CONTRACTORS AND SUBCONTRACTORS MUST ESTABLISH STABILIZED AND APPROVED DISCHARGE POINTS (INLETS & OUTLETS) PRIOR TO ONSET OF CONSTRUCTION                 |                        | X                     |                           |                 |   |   |          |                                 |                           |             |
|   | <b>DUST CONTROL</b><br>DUST CONTROL SHALL BE MAINTAINED BY WATER TRUCK  |                        | X                     |                           | X               | X   |   |          |                                 |                           |             |
|   | <b>FIBER ROLLS</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL  |                        |                       |                           |                 |   |   |          |                                 |                           |             |
|   | <b>STORM DRAIN INLET PROTECTION/INLET SEDIMENT CONTROL BARRIER</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL                                    | X                      | X                     |                           | X               | X   |   | X        | X                               | X                         | X           |
|   | <b>SILT FENCE</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL   |                        |                       |                           |                 |   |   |          |                                 |                           |             |
|   | <b>SEDIMENT BASIN</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL   |                        | X                     |                           |                 |   |   |          |                                 |                           |             |
|   | <b>SEDIMENT TRAP</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL  |                        |                       |                           |                 |   |   |          |                                 |                           |             |
|   | <b>CONCRETE WASHOUT LOCATION</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL  |                        |                       |                           |                 | X   |   | X        | X                               | X                         | X           |
|   | <b>EQUIPMENT STAGING AREA</b><br>CONTRACTOR TO ESTABLISH AREA FOR EQUIPMENT/VEHICLE STORAGE AND VEHICLE/EQUIPMENT MAINTENANCE, FUELING AND WASHING  | X                      | X                     |                           | X               | X   |   | X        | X                               | X                         | X           |
|   | <b>MATERIAL STORAGE AREA</b><br>CONTRACTOR TO ESTABLISH AREA FOR CONSTRUCTION MATERIAL AND DEBRIS/SOLID WASTE STOCKPILES<br>COVER ALL STOCKPILES OF MATERIALS ON ASPHALT AT FINISH PHASE OF PROJECT | X                      | X                     |                           | X               | X   |   | X        | X                               | X                         | X           |
| <b>GRAVEL BAG BARRIER</b><br>REFERENCE CITY OF SAN JOSE PUBLIC WORKS IMPROVEMENT STANDARDS EROSION AND SEDIMENT CONTROL | X   | X                      |                       | X                         | X               |   | X   | X        | X                               | X                         |             |

**NOTES:**

1. EROSION & SEDIMENT CONTROL BMPs MUST BE IN PLACE DURING OCTOBER 1ST OF EACH YEAR TO APRIL 30TH OF THE FOLLOWING YEAR (WET SEASON). APPROPRIATE AMOUNTS (DEPENDING ON SIZE & CONDITION OF SITE) EROSION & SEDIMENT CONTROL DEVICES (FIBER ROLL, GRAVEL BAGS, ETC.) SHALL BE AVAILABLE ON SITE, DURING THE REST OF THE YEAR (DRY SEASON) AND SHALL BE IMPLEMENTED PRIOR TO ANY SIGNIFICANT STORM EVENT THAT WILL GENERATE 1/4 INCH OF RAIN OR MORE.
2. TO ENCOURAGE NATIVE VEGETATION GROWTH (UPON APPROVAL BY OWNER) NATIVE GRASS SEEDS (SUITABLE FOR AREA) MAY BE APPLIED TO THE SLOPES.
3. BMP INSTALLATION SCHEDULE WILL CHANGE PER SITE CONDITIONS.
4. ALL BMPs GIVEN ARE SUGGESTED AND MAY BE SUBSTITUTED FOR AN APPROVED EQUAL.
5. ALL EROSION CONTROL BMPs SHALL BE IN PLACE PRIOR TO ANY STORM EVENT.
6. ALL MATERIALS STORED ON SITE SHALL HAVE PROPER ENCLOSURES AND/OR COVERINGS.

**BMP MAINTENANCE SCHEDULE:**

1. THE BMP INSPECTOR SHOULD INSPECT THE SITE ON A WEEKLY BASIS, AND BEFORE, AND AFTER ANY STORM GENERATING RUN-OFF TO DETERMINE MAINTENANCE REQUIREMENTS AND GENERAL CONDITIONS OF THE INSTALLED SYSTEM. THE LOCAL AGENCY MAY ALSO INSPECT THE SITE ON A ROUTINE BASIS TO ASSESS THE MAINTENANCE PERFORMED ON THE SYSTEMS. ALL MAINTENANCE RELATED TO A STORM EVENT SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE STORM EVENT. THE FOLLOWING MAINTENANCE TASKS SHOULD BE PERFORMED ON A REGULAR BASIS:

- A) REMOVAL OF SEDIMENT FROM BARRIERS AND SEDIMENTATION DEVICES.
- B) REPLACEMENT OR REPAIR OF WORN OR DAMAGED SILT FENCE FABRICS.
- C) REPLACEMENT OR REPAIR OF DAMAGED STRUCTURAL CONTROLS.
- D) REPAIR OF DAMAGED SOIL STABILIZATION MEASURES.
- E) OTHER CONTROL MAINTENANCE AS DEFINED IN EACH BMP FACT SHEET.

WDID# :  
TOTAL DISTURBED AREA: 0.57 AC.

**SWPPP CONTRACT INFORMATION**

| NAME | TELEPHONE NUMBER |
|------|------------------|
|      |                  |
|      |                  |
|      |                  |
|      |                  |



16808 ARMSTRONG AVE  
SUITE 100  
IRVINE, CA 92605  
949.753.7676 T  
  
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4D PROTOTYPE

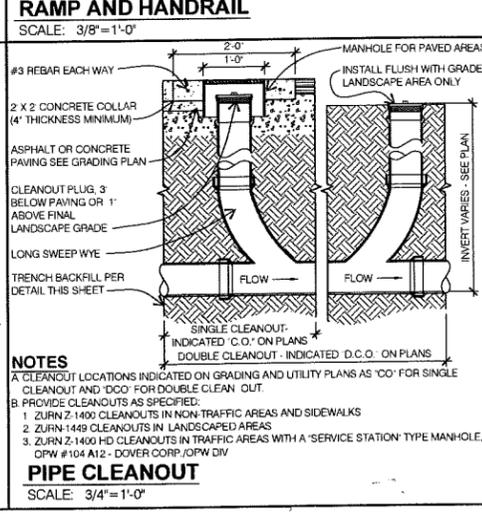
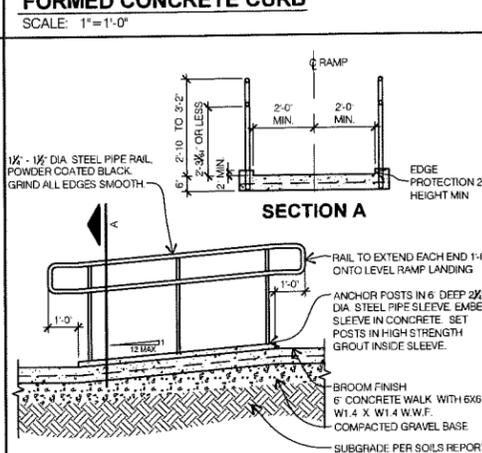
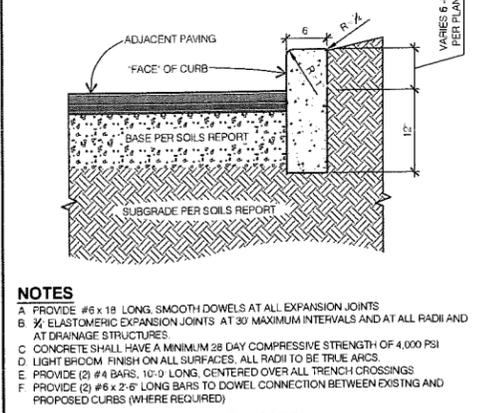
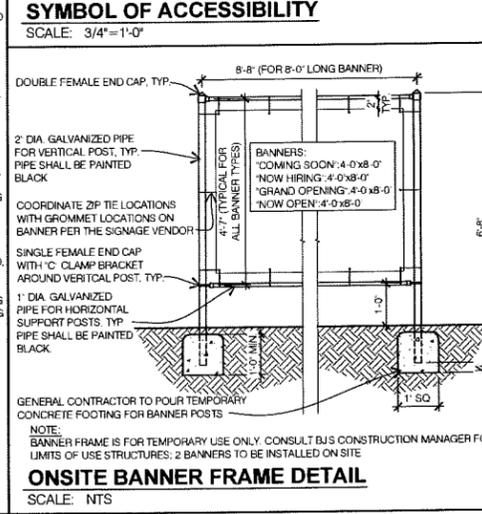
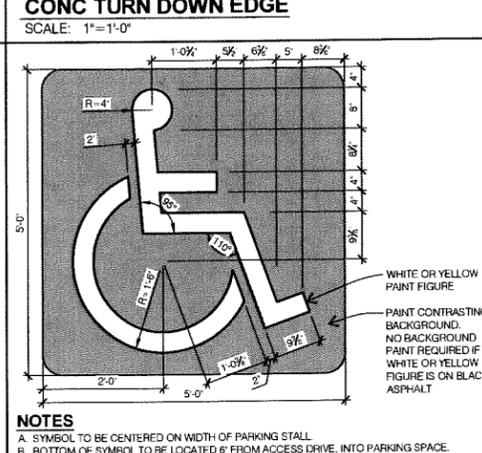
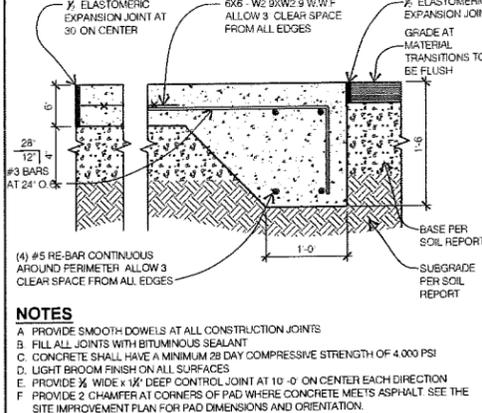
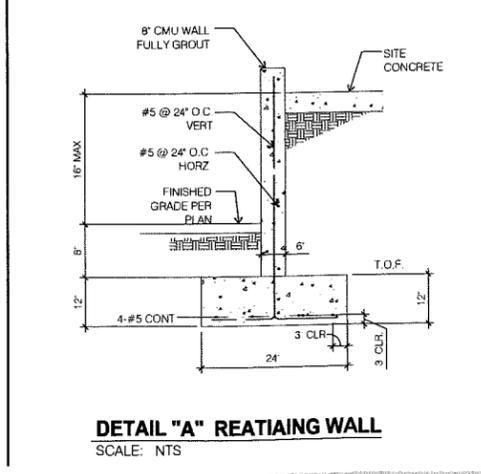
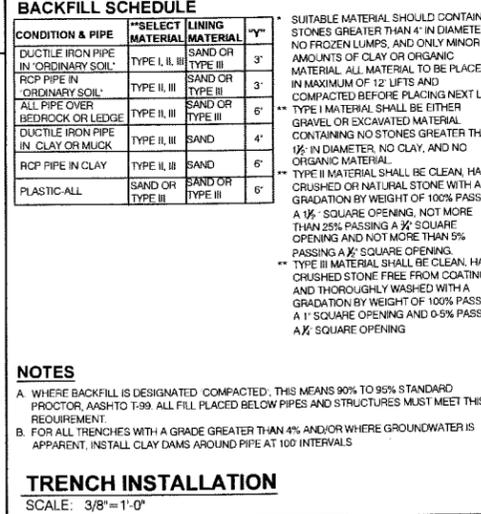
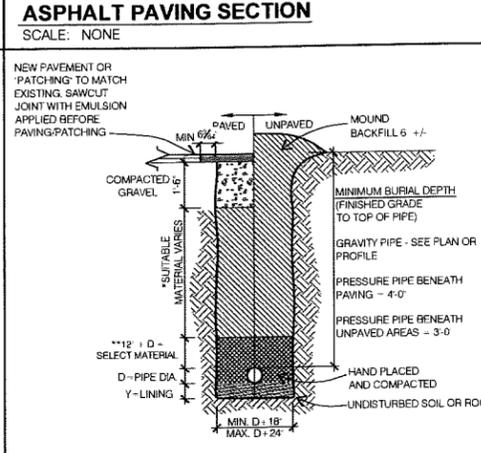
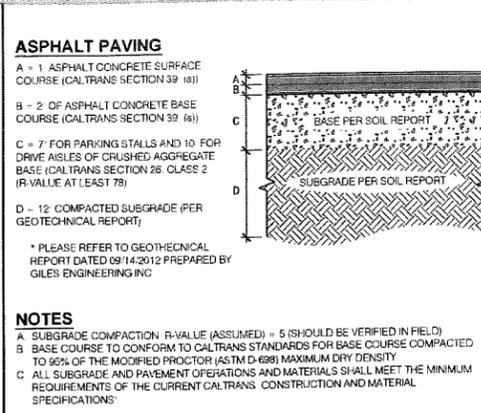
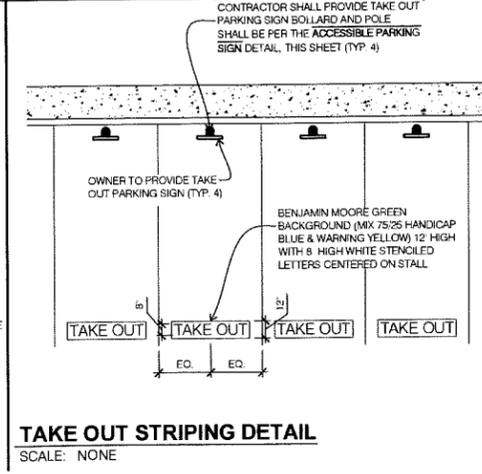
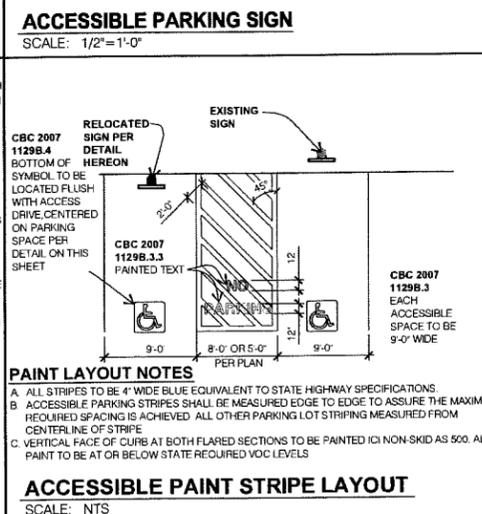
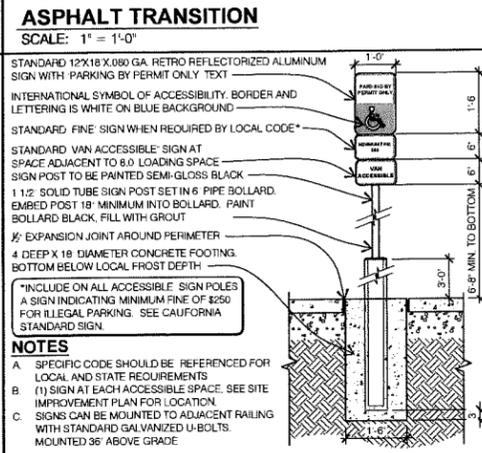
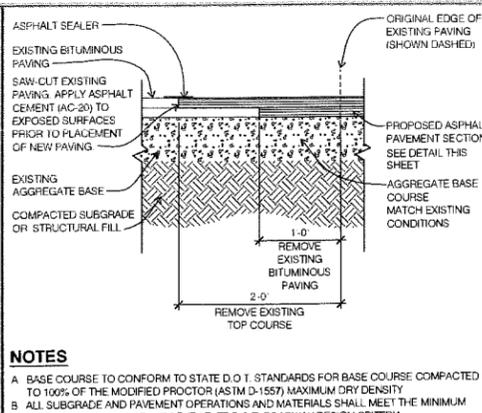
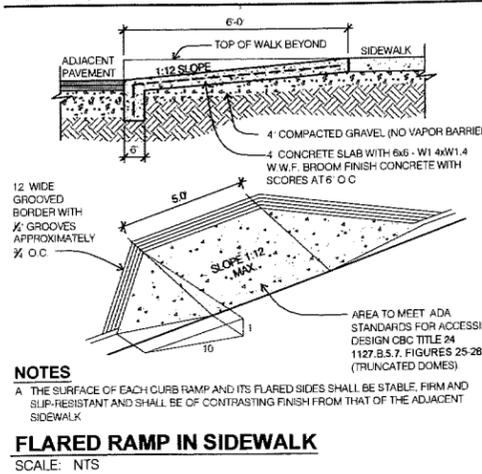
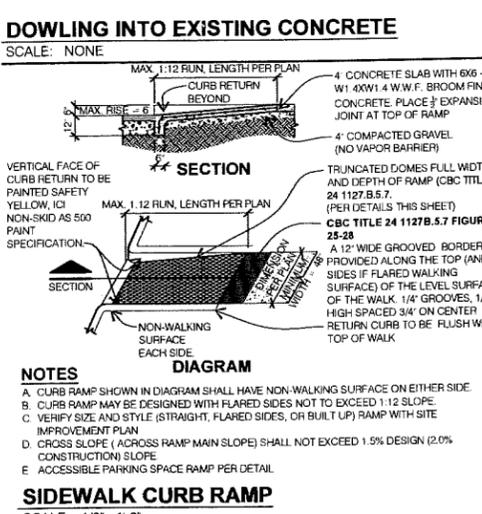
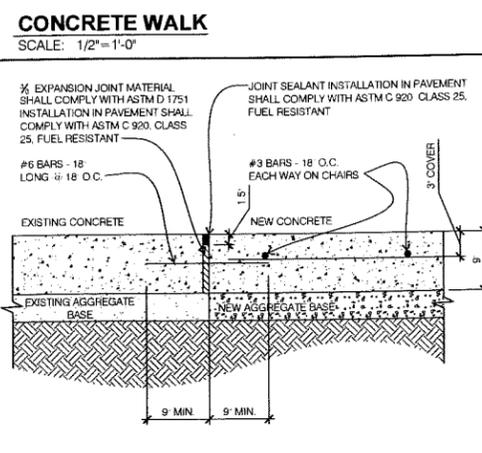
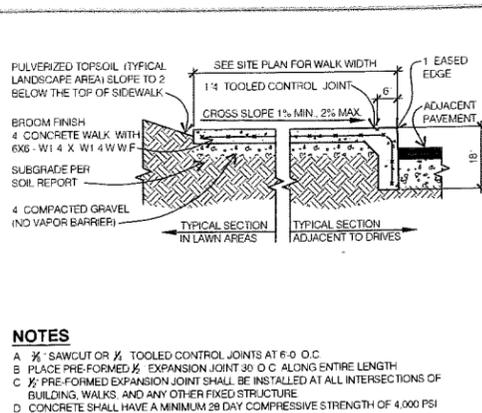
**BJ'S RESTAURANT & BREWHOUSE**  
"Market Center"  
511 Coleman Ave.  
San Jose, CA 95110



REVISIONS

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**wd**

16808 ARMSTRONG AVE  
SUITE 100  
IRVINE, CA 92616  
949.753.7676 T  
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4D PROTOTYPE

**BJ'S RESTAURANT & BREWHOUSE**  
'Market Center'  
511 Coleman Ave.  
San Jose, CA 95110



REVISIONS

**C10**

13 OF 14

**SITE DETAILS**

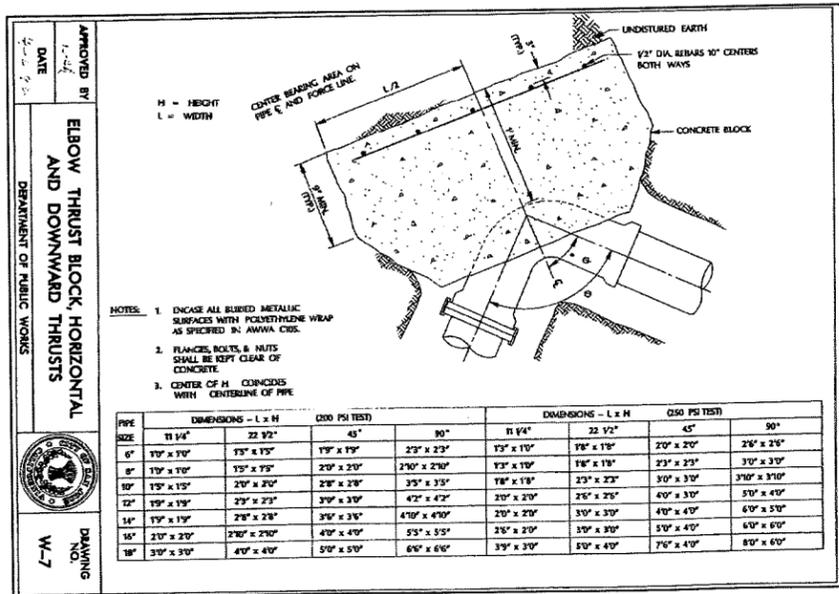
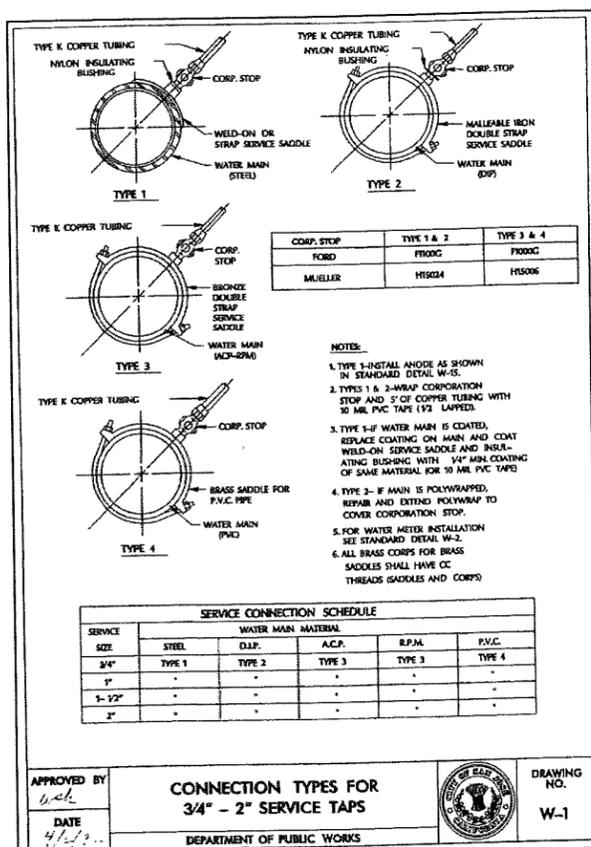
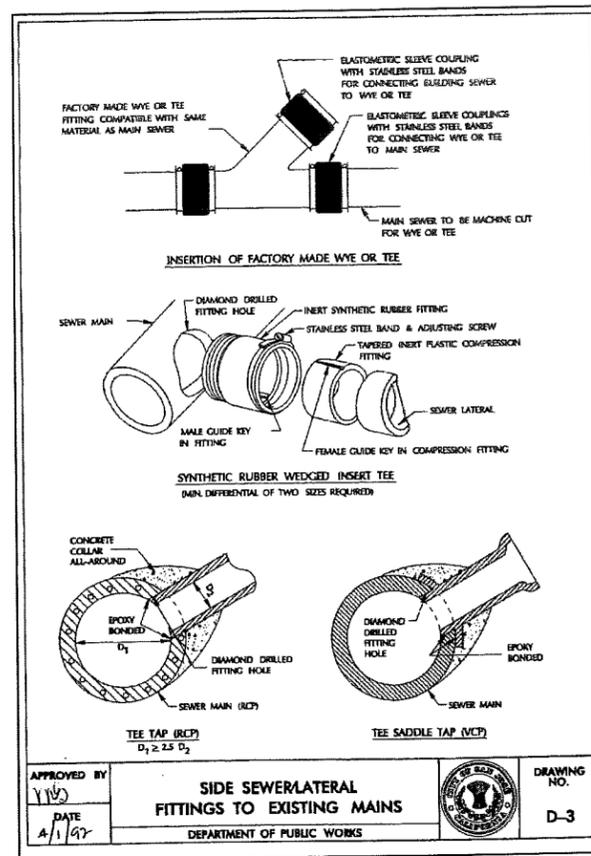
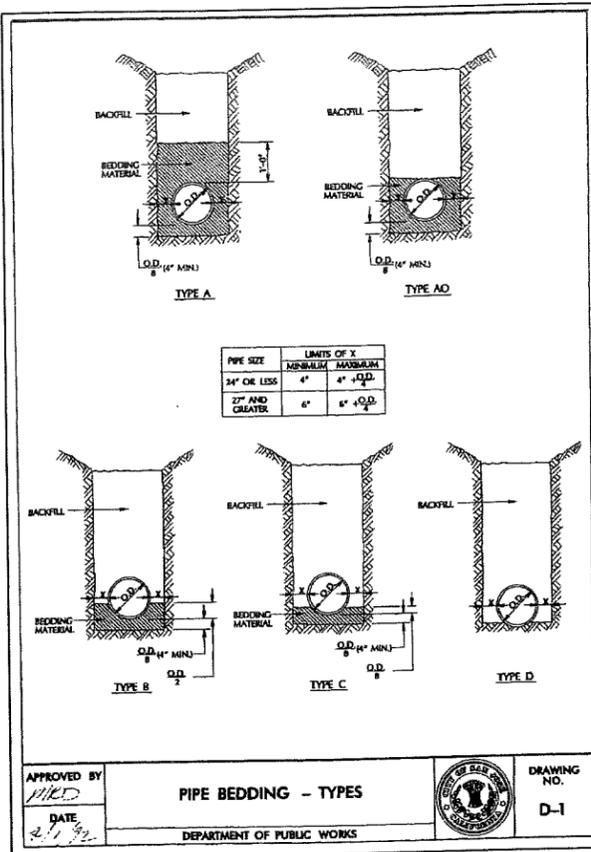
# SAN JOSE GRADING PLAN NOTES

- All grading is subject to observation by the City. Permittee or representative shall notify the City of San Jose Department of Public Works Project Inspector at least 48 hours before start of any grading.
 

The Project Inspector is **GARY SANGHA** Voicemail No. (408) 975-7438
- Approval of this plan applies to only (A) the excavation and compaction of natural earth materials, (B) the installation of on-site (i.e. private property) storm water conveyance and treatment facilities that are outside of the 5-foot Building envelope, and (C) the installation of retaining structures that are independent of any building structure (see note 3 below). This approval does not confer any rights of entry to either public property or the private property of others. Approval of this plan also does not constitute approval of any improvements with the exception of those listed above. Proposed improvements, with the exception of those listed above, are subject to review and approval by the responsible authorities and all other required permits shall be obtained.
- Unless otherwise noted on the plan, any depiction of a retaining structure on this plan shall not constitute approval for construction of the retaining structure unless a separate structural review, by the Department of Public Works is completed and approved.
- It shall be the responsible of the Permittee or agent to identify, locate and protect all underground facilities.
- The permittee or agent shall maintain the streets, sidewalks and all other public rights-of-way in a clean, safe and usable condition. All spills of soil, rock or construction debris shall be removed from the publicly owned property during construction and upon completion of the project. All adjacent property, private or public shall be maintained in a clean, safe, and usable condition.
- All grading shall be performed in such a manner as to comply with standards established by the Air Quality Management District for airborne particulates.
- This project has been designed to comply with Flood Hazard Regulations as stated in Chapter 17.08 of the San Jose Municipal Code.
- All known well locations on the site have been included and such wells shall be maintained or abandoned according to current regulations administered by the Santa Clara Valley Water District. Call (408) 265-2600 Ext 2660 to arrange for District observation of all well abandonments.
- In the event that Human Remains and/or Cultural material are found, all project-related construction should cease within 100-foot radius. The contractor shall, pursuant to section 7050.5 of the health and Safety Code, and section 5097.94 of the Public Resources Code of the State of California, notify the Santa Clara Coroner immediately.
- This plan does not approve the removal of trees. Appropriate tree removal permits and methods of tree preservation should be obtained from the City's Planning Department and the City Arborist.
- For non-residential projects, any non-hazardous export resulting from project related excavation or land clearing shall be 100% reused and recycled per California Green Building Standards Code section 5.408.
- Civil Engineer Information and Statements:
  - The Civil Engineer for this project is: **WD Partners** 16808 Armstrong Avenue Suite 100 Irvine CA 92606.
  - This Rough Grading Plan has been prepared under the direction of a licensed engineer and is designed based on the recommendations of the referenced project Geotechnical Report.
  - The stormwater conveyance system has been designed in accordance with the appropriate Building and Plumbing Codes or has been proven to be designed with adequate capacity through signed and sealed hydraulic calculations.
- Soils Engineer Information and Requirements:
  - The soil Engineer for this project is: **Giles Engineering Associates, Inc.**, 1965 North Main Street Orange CA 92865
  - The Geotechnical Report for this project is: **Giles Job# 2G-1208004** Date: 09/14/2012
- All grading work shall conform to the recommendations of the project Geotechnical Report and/or the Project Soil Engineer.
- All grading work shall be observed and approved by the Soil Engineer. The Soil Engineer shall be notified at least 48 hours before beginning any grading. Unobserved and/or unapproved grading work shall be removed and replaced under observation.
- A post construction "Final" Report is required by the Director of Public Works from a Civil Engineer retained by the owner to observe the construction stating:
  - "That the construction conforms to the lines and grades on the approved plans" or
  - "that all significant changes were reviewed and approved in advance by the Department of Public Works" and the Civil Engineer shall submit a "Record Drawing" plan.
- A post construction "Final" Report is required by the Director of Public Works from Soil Engineer; and also from an Engineer Geologist if the project is in a Geologic Hazard Zone, stating:
  - "that the anticipated conditions and materials and actual site conditions and materials were compatible" and supply supporting data; or
  - "That the design was modified to meet the new conditions and was reviewed and approved in advance by the Department of Public Works;" and provide supporting data for these statements.
- According to the City's waste Water Ordinance, the use of potable (piped or hydrant) water for building or construction purposes including consolidation of backfill or dust control is prohibited.
 

Reclaimed water is available (on a cost recovery basis) from the City's Environmental Services Department, Water Pollution Control Division located at 700 Los Esteros Road. For more information, please call David Tucker at (408) 795-1865

An application for an Exception Permit to approve use of hydrant water can be considered in the PW Development Services Office. Fax-back service is provided for this permit application —contact (408) 535-7802
- Grading will not be allowed between October 1st and April 30th of any year without Erosion Control plans and measures approved by the Director of Public Works. Stormwater pollution prevention measures in accordance with City specifications and with the document "Clean Bay Blueprints" shall be implemented throughout the year to the satisfaction of the Director of Public Works.
- A post construction "as-built" plan is required by the Director of Public Works from a Civil or Soils Engineer retained by the owner to provide the final horizontal and vertical locations of the improvements approved with this plan such as sub-drains, on-site storm water conveyance and treatment systems, and on-site retaining structures.



**wd**

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SUITE 100  
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4D PROTOTYPE

**BJ'S RESTAURANT & BREWHOUSE**  
"Market Center"  
511 Coleman Ave.  
San Jose, CA 95110

FOR REFERENCE ONLY

REVISIONS

**C11** CITY STANDARD DETAILS  
14 OF 14

THESE DETAILS WERE NOT DESIGNED BY THE CITY OF SAN JOSE. THEY ARE THE PROPERTY OF THE ORIGINAL DESIGNER AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE ORIGINAL DESIGNER. THE CITY OF SAN JOSE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DETAILS.

# LANDSCAPE CODE REQUIREMENTS

PD004-018 PLANNED DEVELOPMENT ZONING STANDARDS - LANDSCAPING REQUIREMENTS.  
 GENERAL PARKING LOT REQUIREMENTS: ONE TREE FOR EVERY 4 PARKING SPACES.  
 PARKING LOT TREES, LANDSCAPING AND STREET TREES ARE EXISTING IN COMPLIANCE. REFER TO ORIGINALLY APPROVED PLANS FOR CHEVY'S RESTAURANT AND SAN JOSE MARKET CENTER, PD004-018.

TREE QUANTITIES (NO NET LOSS).  
 3 OF 12 TREES TO BE REMOVED.  
 9 OF 12 TREES TO BE TRANSPLANTED.  
 3 NEW TREES PROPOSED.

PLANTING AND IRRIGATION ARE TO BE PROVIDED, AS INDICATED, ON THE FINAL APPROVED PLANT SET. LANDSCAPED AREAS SHALL BE MAINTAINED AND WATERED AND ALL DEAD PLANT MATERIAL IS TO BE REMOVED AND REPLACED BY THE PROPERTY OWNER. IRRIGATION IS TO BE INSTALLED IN ACCORDANCE WITH PART 4 OF CHAPTER 15.10 OF TITLE 15 OF THE SAN JOSE MUNICIPAL CODE. WATER EFFICIENT LANDSCAPE STANDARDS FOR NEW AND REHABILITATED LANDSCAPING AND THE CITY OF SAN JOSE LANDSCAPE AND IRRIGATION GUIDELINES.

## PLANTING SCHEDULE

| SYMBOL | KEY | QTY | BOTANICAL NAME<br>COMMON NAME   | SIZE<br>CONDITION | COMMENTS   |
|--------|-----|-----|---|-------------------|--|
|        | MG  | 3   | MAGNOLIA GRANDIFLORA LITTLE GEM<br>LITTLE GEM MAGNOLIA  | 24" BOX           | SEE TREE PLANTING DETAIL.<br>MODERATE WATER USE.       |
|        | BT  | 38  | BOUGAINVILLEA TORCH GLOW<br>TORCH GLOW BOUGAINVILLEA  | 24" HT/SPR        | SEE SHRUB PLANTING DETAIL (TYPICAL).<br>LOW WATER USE. |
|        | BR  | 29  | BOUGAINVILLEA RASPBERRY ICE<br>RASPBERRY ICE BOUGAINVILLEA  | 18" HT/SPR        | LOW WATER USE.   |
|        | CA  | 2   | CORDYLINE AUSTR. RED SENSATION<br>RED SENSATION CORDYLINE   | 24" HT            | LOW WATER USE.   |
|        | IV  | 8   | ILEX VOMITORIA NANA<br>DWARF YALPON HOLLY   | 18" HT            | LOW WATER USE.   |
|        | LN  | 5   | LANTANA NEW GOLD<br>NEW GOLD LANTANA  | 12" HT/SPR        | LOW WATER USE.   |
|        | LF  | 23  | LEUCOPHYLLUM LANG. RIO BRAVO<br>RIO BRAVO TEXAS SAGE  | 30" HT            | LOW WATER USE.   |
|        | LC  | 13  | LOROPETALUM CHIN. RAZZLEBERRI<br>RAZZLEBERRI LOROPETALUM  | 24" HT            | LOW WATER USE.   |
|        | MR  | 28  | MUHLENBERGIA RIGENS<br>DEER GRASS   | 24" HT            | LOW WATER USE.   |
|        | MA  | 2   | MYRSINE AFRICANA<br>AFRICAN BOXWOOD   | 24" HT            | IN POTS<br>LOW WATER USE.                              |
|        | ND  | 9   | NANDINA DOMESTICA GULF STREAM<br>GULF STREAM HEAVENLY BAMBOO  | 24" HT            | LOW WATER USE.   |
|        | PS  | 58  | PENNISETUM SETACEUM RUBRUM<br>RED-PURPLE FOUNTAIN GRASS   | 18" HT            | LOW WATER USE.   |
|        | PH  | 25  | PHORMIUM TENAX RAINBOW CHIEF<br>RAINBOW (MAORI) CHIEF FLAX  | 18" HT            | LOW WATER USE.   |
|        | RI  | 5   | RHAPHICARPIS INDICA INDIAN PRINCESS<br>INDIAN PRINCESS INDIAN HAWTHORN  | 24" HT            | LOW WATER USE.<br>SEE GROUND COVER PLANTING DETAIL.    |
|        | NT  | 46  | NASSELLA (STIPA) TENUISSIMA<br>MEXICAN FEATHER GRASS  | 12"-16" HT        | LOW WATER USE.   |
|        | DI  | 83  | DIETS IRIDIODES<br>WHITE FORTNIGHT LILY   | 12" HT/SPR        | 24" O.C.<br>LOW WATER USE.                             |
|        | DC  | 70  | DESCHAMPSIA CESPITOSA<br>TUFTED HAIR GRASS  | 12"-16" HT        | 24" O.C.<br>LOW WATER USE.                             |
|        | LO  | 82  | LEYMUS CONDENSATUS CANYON PRINCE<br>CANYON PRINCE WILD RYE  | 12"-16" HT        | 30" O.C.<br>LOW WATER USE.                             |
|        | RO  | 14  | ROSMARINUS HUNTINGTON CARPET<br>HUNTINGTON CARPET ROSEMARY  | 12" SPR           | 24" O.C.<br>LOW WATER USE.                             |
|        | SOD |     | DWARF TURF TYPE TALL FESCUE/BLUEGRASS BLEND TO MATCH EXISTING<br>SOD ALL DISTURBED TURF GRASS AREAS.                      |                   | SEE SOD NOTES.   |
|        | MUL |     | SHREDDED HARDWOOD MULCH, 2" TO 3" DEPTH.<br>NO CYPRESS MULCH, NO RED MULCH.   |                   | SEE PLANTING NOTES.                                    |
|        | RR  |     | 2"-3" DIAMETER RIVER ROCK, 3"-5" DEPTH OVER PERMEABLE WEED BARRIER LANDSCAPE<br>FABRIC AT ROOF DOWNSPOUT OVERFLOW DRAINS. |                   |  |

### LEGEND - EXISTING

|  |   |
|--|---|
|  | EXISTING TREE TO REMAIN   |
|  | EXISTING TREE TO BE REMOVED AND TRANSPLANTED WHERE NOTED. SEE TRANSPLANT NOTES. |
|  | PROPOSED LOCATION OF TRANSPLANTED TREE. SEE TRANSPLANT NOTES.                   |

### EXISTING TREE NOTES

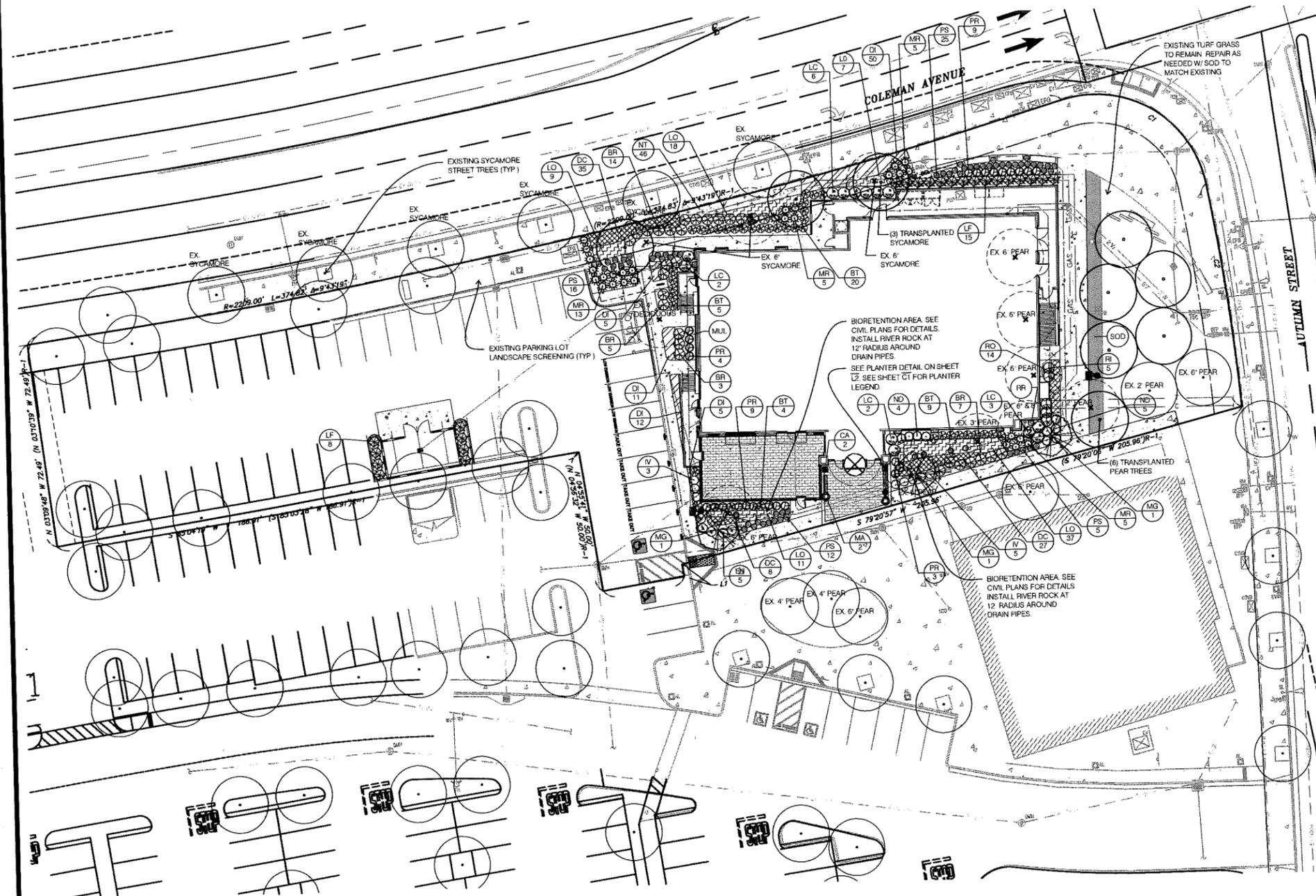
- GENERAL CONTRACTOR SHALL PROVIDE TREE PROTECTION AROUND EXISTING TREES TO REMAIN WITHIN LIMITS OF PROPOSED CONSTRUCTION PRIOR TO BEGINNING DEMOLITION / GRADING ACTIVITY. SEE TREE PROTECTION FENCING DETAIL.
- GENERAL CONTRACTOR SHALL REMOVE STUMP AND NEARBY ROOTS TO A DEPTH OF 18" FOR EXISTING PLANT MATERIAL TO BE REMOVED.

### TRANSPLANT NOTES

EXISTING TREES TO BE TRANSPLANTED SHALL BE TRANSPLANTED WHERE INDICATED ON THE PLAN BY THE CONTRACTOR PRIOR TO SITE CONSTRUCTION OR GRADING ACTIVITY. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE OR DEVELOPER FOR A LOCATION TO TEMPORARILY HEAL IN TREES DURING CONSTRUCTION, OR TREES MAY BE REMOVED FROM THE SITE AND MAINTAINED AT THE CONTRACTOR'S OFF SITE HOLDING FACILITY, AND RETURNED TO THE SITE AT THE TIME OF LANDSCAPE INSTALLATION. TREES SHALL BE PROPERLY MAINTAINED AND PROTECTED BY CONTRACTOR. ANY TREES IN UNSATISFACTORY CONDITION SHALL BE REPLACED WITH LIKE MATERIAL OF EQUAL SIZE AT NO ADDITIONAL EXPENSE TO THE OWNER. BALL SIZES SHOULD ALWAYS BE OF A DIAMETER AND DEPTH TO ENCOMPASS ENOUGH OF THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR THE FULL RECOVERY OF THE PLANT. MINIMUM ROOT BALL SIZES SHALL COMPLY WITH THE GUIDELINES OF THE AMERICAN STANDARD FOR NURSERY STOCK.

**CALL BEFORE YOU DIG!**  
 CALIFORNIA LAW REQUIRES EXCAVATORS TO NOTIFY THE REGIONAL NOTIFICATION CENTER NOT LESS THAN TWO (2) WORKING DAYS NOR MORE THAN FOURTEEN (14) CALENDAR DAYS PRIOR TO EXCAVATION.  
  
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SCALE: 1" = 20.00'



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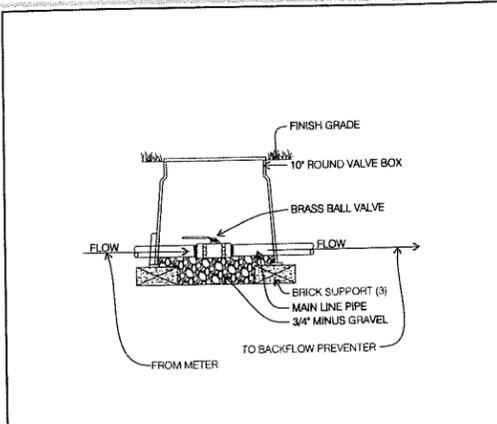


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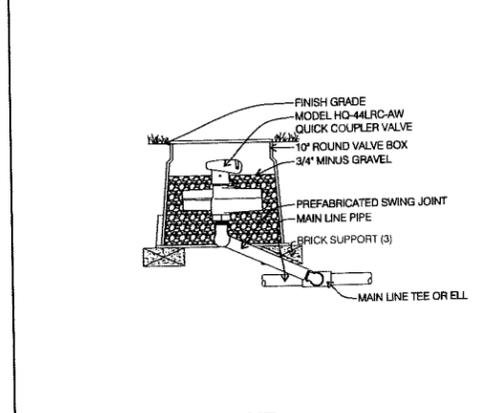
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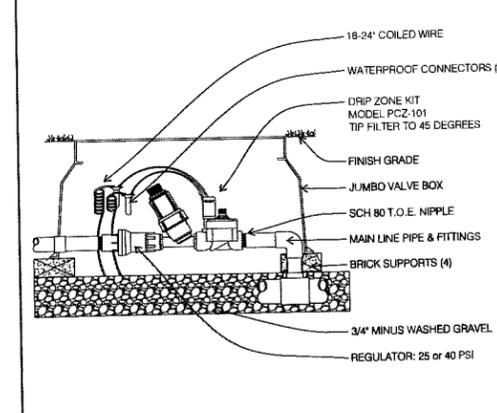
**L1**  
 LANDSCAPE PLAN



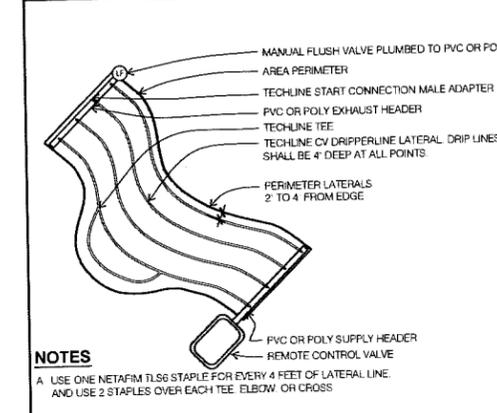
**BALL VALVE**  
SCALE: NONE



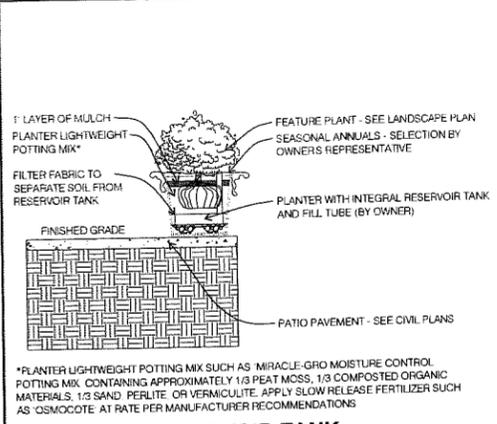
**QUICK COUPLER VALVE**  
SCALE: NONE



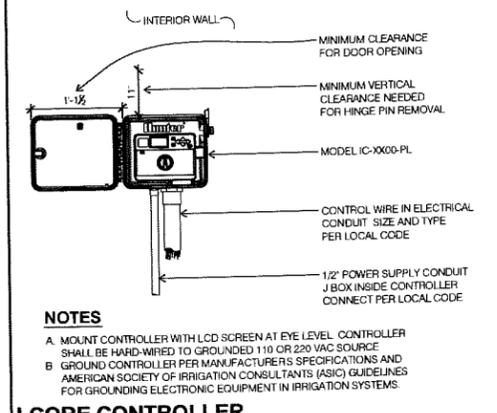
**ICZ DRIP CONTROL VALVE**  
SCALE: NONE



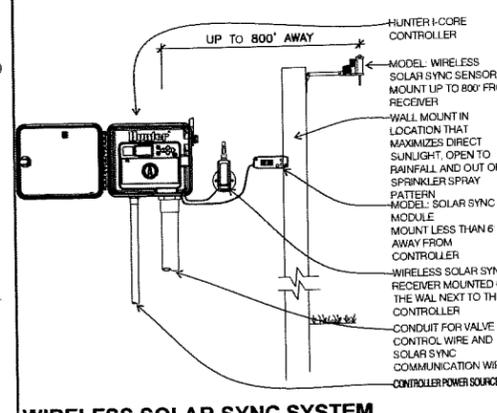
**NETAFIM TECHLINE CV**  
SCALE: NONE



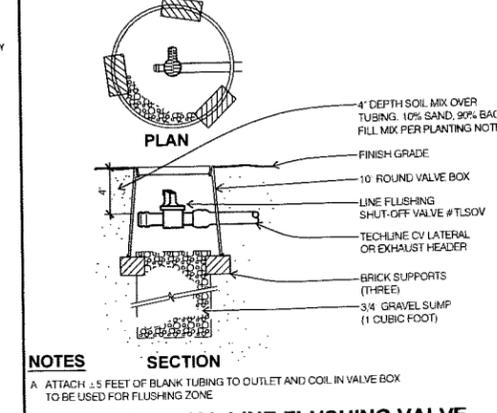
**PLANTER W/ RESERVOIR TANK**  
SCALE: NONE



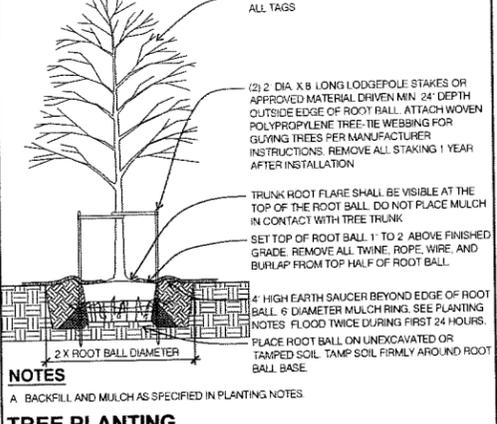
**I-CORE CONTROLLER**  
SCALE: NONE



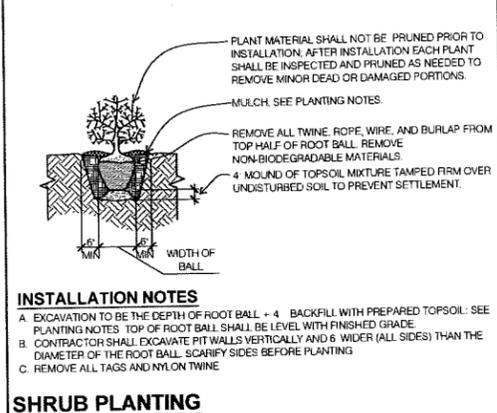
**WIRELESS SOLAR SYNC SYSTEM**  
SCALE: NONE



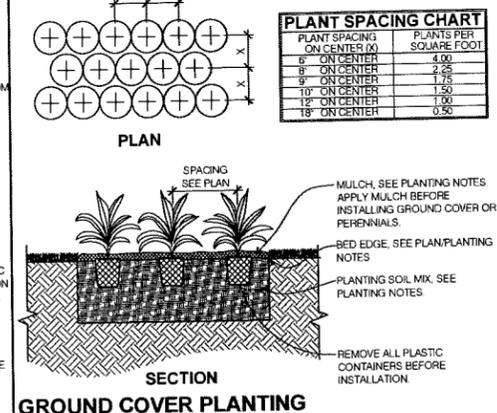
**NETAFIM MANUAL LINE FLUSHING VALVE**  
SCALE: NONE



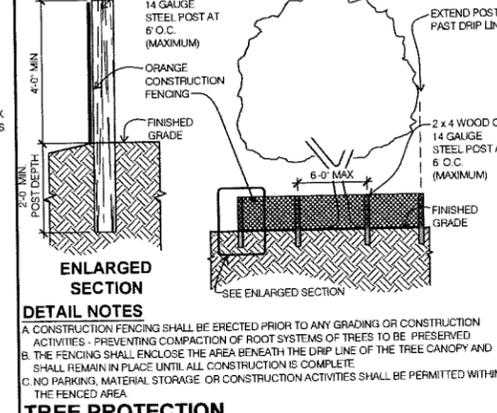
**TREE PLANTING**  
SCALE: NONE



**SHRUB PLANTING**  
SCALE: NONE



**GROUND COVER PLANTING**  
SCALE: NONE



**TREE PROTECTION**  
SCALE: NONE

**PLANTING NOTES**

- A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD.
- B. PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. CONTRACTOR SHALL NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- C. IF THE LANDSCAPE CONTRACTOR OBSERVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO PROCUREMENT AND/OR INSTALLATION.
- D. PLANT MATERIAL SHALL CONFORM TO THE PLANT LIST AND KEYS ON THE DRAWINGS AND TO THE QUALITY STANDARDS OF AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, ANSI Z60.1 LATEST EDITION. ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS AND SIZES SPECIFIED IN THE SCHEDULE. IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON PLANT SCHEDULE AND THE PLANS, THE PLANS SHALL GOVERN. CONTRACTOR TO VERIFY QUANTITIES AND REPORT ANY DISCREPANCIES.
- E. SUBSTITUTIONS SHALL BE PERMITTED WITH NOTIFICATION AND WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. SUBSTITUTED MATERIAL SHALL BE THE NEAREST EQUIVALENT SIZE, CONDITION AND GROWTH HABIT HAVING THE SAME ESSENTIAL CHARACTERISTICS WITH AN EQUITABLE ADJUSTMENT IN WHOLESALE PRICE.
- F. THE LANDSCAPE CONTRACTOR SHALL HAVE SOIL TESTS PERFORMED IN PLANTING BED AREAS TO EVALUATE NUTRIENT AND PH LEVELS. THE LANDSCAPE CONTRACTOR SHALL INCORPORATE FERTILIZER AND/OR SOIL AMENDMENT ADDITIVES AS RECOMMENDED BY SOIL TEST.
- G. ALL PLANTING BEDS TO RECEIVE 8\"/>

- H. CONTRACTOR TO SLIGHTLY FIELD ADJUST PLANT LOCATIONS AS NECESSARY TO AVOID UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING(S).
- I. TREES SHALL HAVE A CLEAR TRUNK HEIGHT OF 6\"/>

**GENERAL NOTES**

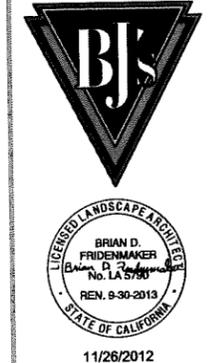
- A. ALL PLANT AREAS SHOULD BE MAINTAINED WEED FREE AND CLEAR OF UNDERGROWTH.
- B. ALL TREES, SHRUBS AND GROUNDCOVERS SHOULD BE REPLACED IF THEY DIE OR BECOME UNHEALTHY.
- C. ALL PLANTINGS SHOULD BE FERTILIZED AND IRRIGATED AT SUCH INTERVALS NECESSARY TO PROMOTE OPTIMUM GROWTH.

**MAINTENANCE NOTES**

- A. ALL LANDSCAPE AREAS SHALL BE MAINTAINED AT A MINIMUM OF ONCE A WEEK. PLANTERS SHALL BE KEPT WEED FREE AND ALL TURF AREAS SHALL BE MOWED AND EDGED EACH WEEK. ALL TRASH IN AND ADJACENT TO PLANTER AREAS SHALL BE KEPT CLEAN OF LITTER. EACH RESTAURANT WILL NEED TO COORDINATE THE MAINTENANCE OF PARKING LOT/PAVING AREAS.
- B. LOCATIONS AND AMOUNTS OF ANNUAL COLOR PLANTINGS SHALL BE COORDINATED BETWEEN THE LANDSCAPE MAINTENANCE COMPANY AND EACH RESTAURANT MANAGEMENT TEAM.
- C. THE PLANTING PROGRAM AND PLANT SPECIES THAT BJS HAS CHOSEN LENDS ITSELF TO A SELECTIVE PRUNING NATURAL APPROACH. FORMAL HEDGES USING SHEARS AND HEDGE TRIMMERS ARE DISCOURAGED. LANDSCAPE PLANTINGS SHOULD BE REVIEWED OCCASIONALLY WITH THE LANDSCAPE MAINTENANCE COMPANY AND SOME SHRUBS MAY NEED TO BE REMOVED AND / OR REPLACED.
- D. TREES SHOULD BE TRIMMED AT LEAST ONE TIME PER YEAR. TREES NEED TO BE TRIMMED BY A PROFESSIONAL TREE SERVICE. IF TREES ARE TRIMMED ON A REGULAR BASIS THEY SHOULD REQUIRE ONLY A LIGHT TRIMMING.

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**LANDSCAPE DETAILS**

**WATER CONSERVATION CONCEPT STATEMENT**

THE AUTOMATIC IRRIGATION SYSTEM CONSISTS OF A SEPARATE RECLAIMED WATER IRRIGATION METER. THE CONTROLLER IS A SMART WATER APPLICATION TECHNOLOGIES (SWAT) APPROVED CLIMATE-BASED CONTROLLER. THE CONTROLLER IS CAPABLE OF MULTIPLE START TIMES / REPEAT CYCLES (CYCLE AND SOAK ON I-CORE CONTROLLER) TO AVOID EXCESSIVE RUNOFF AND ALLOWING WATER TO BE ABSORBED BEFORE STARTING THE NEXT CYCLE. IRRIGATION EFFICIENCY IS IMPROVED WITH AN EVAPOTRANSPIRATION RAIN AND FREEZE SENSOR.

PLANTING BEDS ARE IRRIGATED BY IN-LINE PRESSURE COMPENSATING, NON-DRAINING DRIP EMITTERS WITH BUILT-IN CHECK VALVE. DRIP IRRIGATION ALLOWS WATER TO INFILTRATE SLOWLY RATHER THAN EVAPORATED OR BECOMING RUN-OFF.

ALL CONTROL VALVES HAVE PRESSURE REGULATORS

ALL OF THE PLANT MATERIALS ARE LOW TO MODERATE WATER USE. SOIL AMENDMENTS SHALL BE INCORPORATED PER RECOMMENDATIONS FROM SOIL TESTS. 3 DEPTH MULCH SHALL BE PROVIDED IN ALL PLANTING BEDS.

**WATER BUDGET CALCULATIONS**

SAN JOSE MUNICIPAL CODE, 15.11

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

MAWA - 22.5 GALLONS X LANDSCAPE AREA (SF)

MAWA - MAXIMUM APPLIED WATER ALLOWANCE (GALLONS PER YEAR)

MAWA - (22.5)(3,996 SF) = 89,910 GALLONS PER YEAR

89,910/48 = 1,200 HUNDRED-CUBIC-FOOT PER YEAR

ESTIMATED TOTAL WATER USE (ETWU)

ETWU = (45.5)(3,996 SF)

ETWU = ESTIMATED TOTAL WATER USE (GALLONS PER YEAR)

ETWU = [(45.5)(3,996)(.62)]/0.625 = 89,785 GALLONS PER YEAR

89,785/48 = 1,200 HUNDRED-CUBIC-FOOT PER YEAR

**SAN JOSE MUNICIPAL CODE**

15.11.275 CERTIFICATION

A. UPON COMPLETING THE INSTALLATION OF THE IRRIGATION SYSTEM AN IRRIGATION AUDIT SHALL BE CONDUCTED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR PRIOR TO THE INSTALLATION OF PLANT MATERIALS TO ENSURE A MINIMUM IRRIGATION EFFICIENCY OF SIXTY-TWO AND ONE-HALF PERCENT. THE FORM OF THE AUDIT AND THE INFORMATION AND DATA TO BE SUPPLIED THEREBY SHALL BE AS PRESCRIBED BY THE DIRECTOR OF PLANNING.

B. A LICENSED LANDSCAPE ARCHITECT OR CONTRACTOR, CERTIFIED IRRIGATION DESIGNER OR OTHER LICENSED OR CERTIFIED PROFESSIONAL IN A RELATED FIELD SHALL CONDUCT A FINAL FIELD OBSERVATION AND SHALL PROVIDE A CERTIFICATE OF SUBSTANTIAL COMPLETION TO THE DEPARTMENT OF PLANNING. THE CERTIFICATE SHALL SPECIFICALLY INDICATE THAT PLANTS WERE INSTALLED AS DESIGNED, AND THAT AN IRRIGATION SYSTEM WAS INSTALLED AS SPECIFIED, AND THAT AN IRRIGATION AUDIT HAS BEEN PERFORMED, ALONG WITH A LIST OF ANY OBSERVED DEFICIENCIES AND CORRECTIVE ACTIONS TAKEN. THE FORM OF THE CERTIFICATE OF SUBSTANTIAL COMPLETION SHALL BE AS PRESCRIBED BY THE DIRECTOR OF PLANNING.

THIS PROJECT IS SUPPLIED BY RECLAIMED WATER. ALL IRRIGATION MATERIALS SHALL BE PURPLE COLOR TO DESIGNATE REUSE WATER. INSTALLATION OF WARNING SIGNAGE SHALL COMPLY WITH ALL LOCAL REQUIREMENTS.



**IRRIGATION NOTES**

- A. PRIOR TO ANY EXCAVATION AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER AND/OR LANDSCAPE ARCHITECT AND CONSULT WITH OWNER'S REPRESENTATIVE AND UTILITY COMPANY'S REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY LOCATIONS AND DEPTHS. NO COMPENSATION WILL BE GRANTED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
- B. IRRIGATION PLAN IS SCHEMATIC LOCATIONS OF PROPOSED IRRIGATION MAIN LINE, LATERALS, VALVES, AND DRIP IRRIGATION ARE SHOWN SCHEMATICALLY FOR CLARITY AND SHALL BE LOCATED IN GREEN SPACE AT SECTION OF IRRIGATION CONTRACTOR. IRRIGATION MAIN LINE AND VALVES SHALL NOT BE INSTALLED WITHIN THE RIGHT-OF-WAY WITHOUT WRITTEN CONSENT OF THE LOCAL JURISDICTION. IRRIGATION CONTRACTOR IS TO SUBMIT SHOP DRAWINGS SHOWING ALL VALVES, HEADS, PUMPS AND LINES SIZES TO OWNER PRIOR TO INSTALLATION.
- C. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO INSTALL A SYSTEM THAT WILL PROPERLY COVER ALL AREAS PLANTED ON PLANTING PLANS.
- D. IRRIGATION CONTRACTOR SHALL MAKE ANY FIELD CHANGES IN THE SYSTEM NECESSARY TO MAKE THE SYSTEM PERFORM AS SPECIFIED FOR FULL COVERAGE.
- E. DRIP SHALL BE INSTALLED 2" MIN. FROM PAVEMENT AND 4" MIN. FROM BUILDING WALLS.
- F. IRRIGATION CONTRACTOR TO VERIFY IRRIGATION WATER PRESSURE. IF APPLICABLE, INSTALL 1" WATER PRESSURE REDUCING VALVE, WATTS #25AUB-23, RAINBIRD #PSI-MHX-100, OR EQUIVALENT DOWNSTREAM OF SHUT-OFF VALVE.
- G. IRRIGATION CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS TO THE OWNER PRIOR TO FINAL ACCEPTANCE.
- H. IRRIGATION CONTROLLER AND PROGRAMMING TO BE PROVIDED BY IRRIGATION CONTRACTOR.
- I. IRRIGATION CONTRACTOR TO VERIFY LOCATION AND OPERATION OF CONTROLLER WITH OWNERS REPRESENTATIVE.
- J. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND FULLY OPERATIONAL BEFORE PLANT INSTALLATION MAY BEGIN.
- K. LATERAL LINES SHALL BE 12" MIN. BELOW FINISH GRADE. MAIN LINE SHALL BE 18" MIN. BELOW FINISH GRADE. SLEEVES SHALL BE 24" MIN. BELOW PAVEMENT, AND EXTEND AT LEAST 12" BEYOND PAVEMENT. ALL WIRES LOCATED BELOW PAVEMENT SHALL BE INSTALLED IN A SEPARATE PVC SLEEVE. BACKFILL WITH CLEAN SOIL, FREE OF ROCKS, AND TAMP EVERY 4" OF LIFT.
- L. ALL CONTROL WIRE TO BE RUN UNDER MAIN LINE. CONTROL WIRE SHALL BE DIRECT BURIAL, SOLID COPPER MIN. GAUGE #14 AWG-UF (#12 AWG-UF FOR RUNS OVER 2000 LF). COMMON GROUNDWIRE TO BE WHITE MIN. GAUGE #12 AWG-UF. PROVIDE SEPARATE GROUND WIRE FOR EACH IRRIGATION CONTROLLER. ALL ELECTRICAL CONNECTIONS SHALL BE WATER PROOF SPLICES.
- M. ALL DEBRIS SPILLED IN ANY ADJACENT R.O.W. AND/OR ADJOINING PROPERTIES SHALL BE CLEANED UP AND REMOVED BY THE CONTRACTOR.
- N. IRRIGATION CONTRACTOR TO ADJUST RADIUS AND ARC OF EXISTING SPRAY NOZZLES TO MINIMIZE OVERSPRAY ON BUILDINGS AND HARDSCAPE.
- O. IRRIGATION CONTRACTOR SHALL PROVIDE A BID ALTERNATE FOR AN ONGOING MAINTENANCE AND REPAIR PROGRAM FOR IRRIGATION SYSTEM.
- P. IRRIGATION SYSTEM SHALL COMPLY WITH ALL LOCAL REQUIREMENTS, INCLUDING TITLE 15, CHAPTER 15.10 & 15.11 OF THE SAN JOSE MUNICIPAL CODE.
- Q. SEE IRRIGATION INSTALLATION DETAILS.

**EXISTING IRRIGATION GENERAL NOTES:**

SHUT OFF EXISTING IRRIGATION ISOLATION VALVE(S) FOR AREAS TO BE IMPACTED PRIOR TO DEMOLITION AND CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR MANUALLY WATERING EXISTING LANDSCAPING TO REMAIN AS NEEDED WHILE EXISTING IRRIGATION IS SHUT DOWN. ANY EXISTING LANDSCAPING THAT DIES FROM LACK OF WATER AS A RESULT OF CONTRACTORS WORK SHALL BE REPLACED AT THE CONTRACTORS EXPENSE. CONTRACTOR TO COORDINATE EXISTENT AND SCHEDULE OF IRRIGATION WORK WITH LANDLORD AND REPAIR AND ADJUST EXISTING IRRIGATION AS NEEDED TO CONFORM TO NEW LAYOUT AND TO ELIMINATE OVERSPRAY ONTO PROPOSED PARKING LOT, PAVEMENT, AND BUILDING.

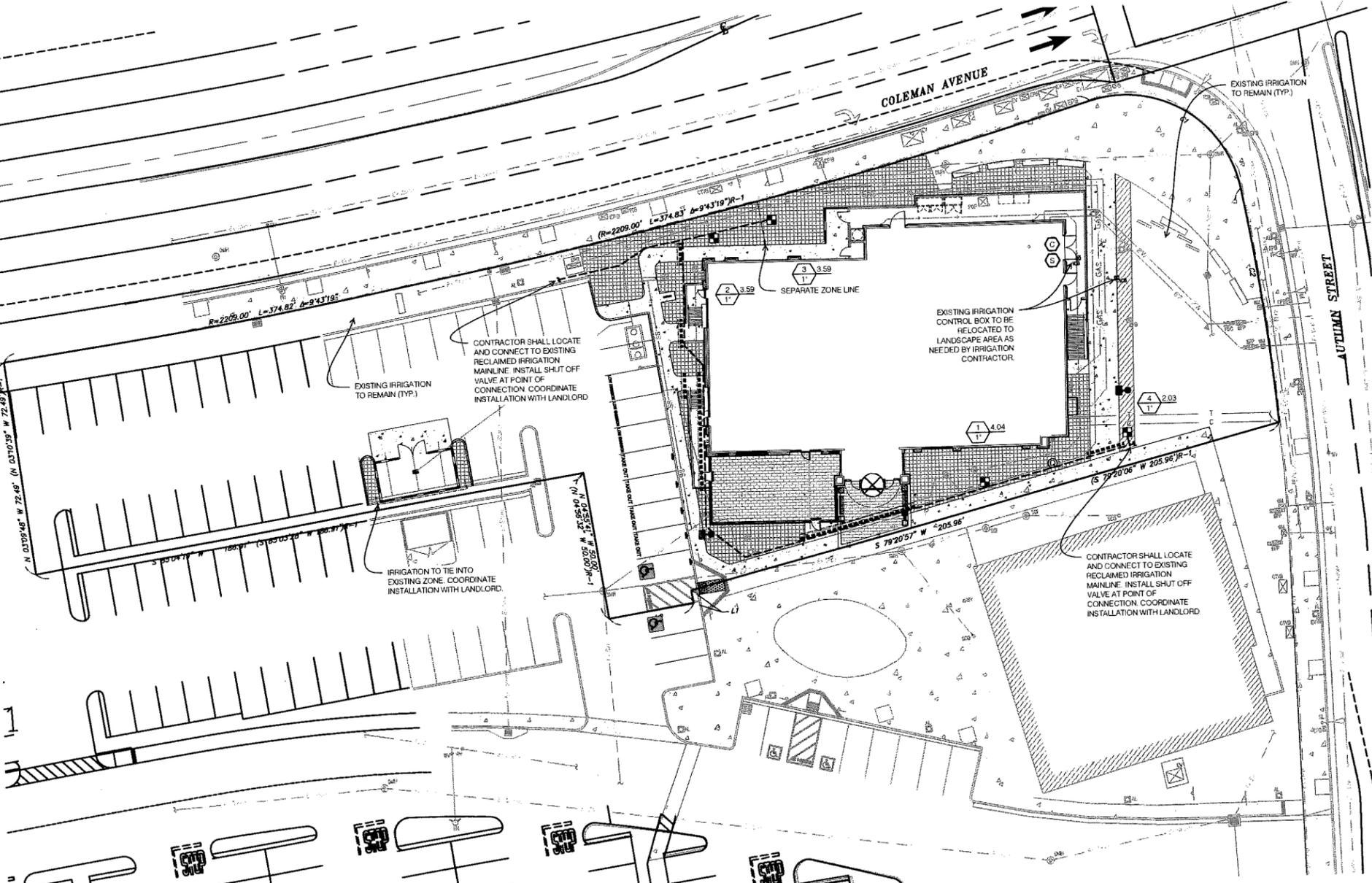
**CONNECTION TO EXISTING IRRIGATION:**

THE IRRIGATION CONTRACTOR SHALL LOCATE AND CONNECT TO THE EXISTING SITE IRRIGATION SYSTEM MAINLINE. INSTALL SHUT OFF VALVE AT POINT OF CONNECTION. CONFIRM THAT WATER PRESSURE IS ADEQUATE AND THAT NO MASTER VALVE IS IN USE THAT IS NORMALLY CLOSED TO CONTROL WATER FLOW TO INDIVIDUAL ZONES. IF A MASTER VALVE IS IN USE, THEN THE IRRIGATION CONTRACTOR SHALL LOCATE AND EXTEND NEW VALVE WIRES TO THE EXISTING CONTROLLER. UPGRADE THE CONTROLLER IF REQUIRED TO SERVE BOTH NEW AND EXISTING ZONES.

PRODUCTS PROVIDED BY RAINBIRD OR HUNTER THAT ARE OF EQUAL OR SUPERIOR QUALITY AND CONSTRUCTION ARE ACCEPTABLE PRODUCT ALTERNATES.

**IRRIGATION LEGEND**

|     |  |
|-----|--|
| (M) | RECLAIMED WATER IRRIGATION METER. SEE UTILITY PLAN.  |
| (C) | HUNTER I-CORE IRRIGATION CONTROLLER WITH PLASTIC CABINET IN ELECTRICAL ROOM. HUNTER IC-600-PL.   |
| (E) | HUNTER WIRELESS SOLAR SYNC (EVAPOTRANSPIRATION, RAIN AND FREEZE SENSOR), MOUNT SENSOR ON ROOF IN DISCREET LOCATION EVEN WITH TOP OF PARAPET WALL. CLEAR OF OBSTRUCTIONS. INSTALL PER HUNTER INSTALLATION INSTRUCTIONS. HUNTER WSS.   |
|     | 1-1/2" PVC SCHEDULE 40 IPS PLASTIC PIPE MAIN LINE, PURPLE COLOR.   |
|     | 3/4" PVC CLASS 200 IPS PLASTIC PIPE OR POLYETHYLENE SDR PRESSURE RATED LATERAL LINE, PURPLE COLOR.   |
|     | 4" DIAMETER SCHEDULE 40 PVC IRRIGATION SLEEVE. GENERAL CONTRACTOR TO INSTALL AND FLAG ENDS.  |
|     | LANDSCAPE DRIP LINE 0.4 GPH, 18" EMITTER SPACING. NETAFIM TECHLINE CV MODEL # TL04-18. LATERAL ROW SPACING 18" APART. DRIP LINES SHALL BE 4" DEEP AT ALL POINTS. INSTALL NETAFIM MODEL # TL50V FLUSH VALVE AT END OF EACH DRIP LINE. |
|     | LANDSCAPE DRIP LINE 0.4 GPH, 12" EMITTER SPACING. NETAFIM TECHLINE CV MODEL # TL04-12. LATERAL ROW SPACING 18" APART. DRIP LINES SHALL BE 4" DEEP AT ALL POINTS. INSTALL NETAFIM MODEL # TL50V FLUSH VALVE AT END OF EACH DRIP LINE. |
|     | BLANK TUBING, NETAFIM TL0V.  |
| (E) | 1" ELECTRIC REMOTE DRIP CONTROL VALVE. HUNTER ICZ-101-40 DRIP CONTROL ZONE KIT WITH 40 PSI PRESSURE REGULATOR.   |
| (C) | 1" QUICK COUPLER VALVE WITH PURPLE LOCKING RUBBER COVER. HUNTER HC-44-LRC-AW-R WITH HK-44A KEY AND HS-1 SWIVEL.  |



**INITIAL ESTABLISHMENT SEASONAL SCHEDULE (UP TO 1 YEAR AFTER PLANT INSTALLATION)**

| ZONE(S) | JANUARY ETo = 1.5 MO |             | FEBRUARY ETo = 1.8 MO |             | MARCH ETo = 3.1 MO |             | APRIL ETo = 4.1 MO |             | MAY ETo = 5.5 MO   |             | JUNE ETo = 5.8 MO  |             | JULY ETo = 6.5 MO  |             | AUGUST ETo = 5.9 MO |             | SEPTEMBER ETo = 5.2 MO |             | OCTOBER ETo = 3.3 MO |             | NOVEMBER ETo = 1.8 MO |             | DECEMBER ETo = 1.0 MO |             |
|---------|----------------------|-------------|-----------------------|-------------|--------------------|-------------|--------------------|-------------|--------------------|-------------|--------------------|-------------|--------------------|-------------|---------------------|-------------|------------------------|-------------|----------------------|-------------|-----------------------|-------------|-----------------------|-------------|
|         | RUN TIME (MINUTES)   | CYCLES/WEEK | RUN TIME (MINUTES)    | CYCLES/WEEK | RUN TIME (MINUTES) | CYCLES/WEEK | RUN TIME (MINUTES) | CYCLES/WEEK | RUN TIME (MINUTES) | CYCLES/WEEK | RUN TIME (MINUTES) | CYCLES/WEEK | RUN TIME (MINUTES) | CYCLES/WEEK | RUN TIME (MINUTES)  | CYCLES/WEEK | RUN TIME (MINUTES)     | CYCLES/WEEK | RUN TIME (MINUTES)   | CYCLES/WEEK | RUN TIME (MINUTES)    | CYCLES/WEEK | RUN TIME (MINUTES)    | CYCLES/WEEK |
| 1-3     | 13                   | 3           | 16                    | 3           | 16                 | 5           | 22                 | 5           | 21                 | 7           | 22                 | 7           | 25                 | 7           | 22                  | 7           | 28                     | 5           | 18                   | 5           | 16                    | 3           | 9                     | 3           |
| 4       | 15                   | 3           | 18                    | 3           | 19                 | 5           | 25                 | 5           | 24                 | 7           | 25                 | 7           | 28                 | 7           | 26                  | 7           | 32                     | 5           | 20                   | 5           | 18                    | 3           | 10                    | 3           |

**POST ESTABLISHMENT SEASONAL SCHEDULE**

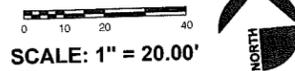
| ZONE(S)   | JANUARY ETo = 1.5 MO |             | FEBRUARY ETo = 1.8 MO |             | MARCH ETo = 3.1 MO |             | APRIL ETo = 4.1 MO |             | MAY ETo = 5.5 MO   |             | JUNE ETo = 5.8 MO  |             | JULY ETo = 6.5 MO  |             | AUGUST ETo = 5.9 MO |             | SEPTEMBER ETo = 5.2 MO |             | OCTOBER ETo = 3.3 MO |             | NOVEMBER ETo = 1.8 MO |             | DECEMBER ETo = 1.0 MO |             |
|-----------|----------------------|-------------|-----------------------|-------------|--------------------|-------------|--------------------|-------------|--------------------|-------------|--------------------|-------------|--------------------|-------------|---------------------|-------------|------------------------|-------------|----------------------|-------------|-----------------------|-------------|-----------------------|-------------|
|           | RUN TIME (MINUTES)   | CYCLES/WEEK | RUN TIME (MINUTES)    | CYCLES/WEEK | RUN TIME (MINUTES) | CYCLES/WEEK | RUN TIME (MINUTES) | CYCLES/WEEK | RUN TIME (MINUTES) | CYCLES/WEEK | RUN TIME (MINUTES) | CYCLES/WEEK | RUN TIME (MINUTES) | CYCLES/WEEK | RUN TIME (MINUTES)  | CYCLES/WEEK | RUN TIME (MINUTES)     | CYCLES/WEEK | RUN TIME (MINUTES)   | CYCLES/WEEK | RUN TIME (MINUTES)    | CYCLES/WEEK | RUN TIME (MINUTES)    | CYCLES/WEEK |
| 1-3       | 10                   | 3           | 12                    | 3           | 12                 | 5           | 16                 | 5           | 20                 | 7           | 22                 | 7           | 24                 | 7           | 22                  | 7           | 27                     | 5           | 17                   | 5           | 16                    | 3           | 7                     | 3           |
| 4         | 13                   | 3           | 16                    | 3           | 16                 | 5           | 21                 | 5           | 20                 | 7           | 22                 | 7           | 24                 | 7           | 22                  | 7           | 27                     | 5           | 17                   | 5           | 16                    | 3           | 9                     | 3           |
| TOTAL GAL | 1,925                |             | 2,310                 |             | 3,978              |             | 5,262              |             | 7,068              |             | 7,443              |             | 8,342              |             | 7,572               |             | 6,673                  |             | 4,235                |             | 2,310                 |             | 1,283                 |             |

TOTAL ESTIMATED APPLIED WATER USE = 38,391 GALLONS PER YEAR. THIS IS SLIGHTLY DIFFERENT FROM THE 'ESTIMATED TOTAL WATER USE' (ETWU) BECAUSE THIS SCHEDULE IS BASED ON ACTUAL RUN TIMES AND FRACTIONS OF MINUTES HAVE BEEN ROUNDED. THIS SCHEDULE IS BASED ON CALCULATED PRECIPITATION RATES AND PLANT ADJUSTMENT FACTORS. ADDITIONAL WATER WILL BE PROVIDED BY RAINFALL.

IRRIGATE DURING NON-DAYLIGHT HOURS. MULTIPLE CYCLES MAY BE NEEDED FOR THE ESTABLISHMENT OF PLANTS AND TO PREVENT RUNOFF. USE HUNTER CYCLE AND SOAK FEATURE. CONTRACTOR SHALL COMPLY WITH ANY WATERING RESTRICTIONS.

**CALL BEFORE YOU DIG!**  
CALIFORNIA LAW REQUIRES EXCAVATORS TO NOTIFY THE REGIONAL NOTIFICATION CENTER NOT LESS THAN TWO (2) WORKING DAYS NOR MORE THAN FOURTEEN (14) CALENDAR DAYS PRIOR TO EXCAVATION.

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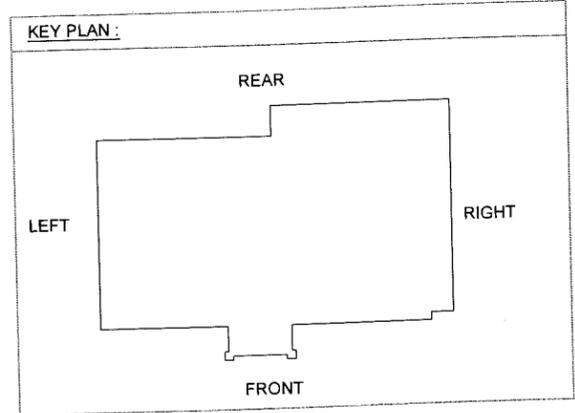
REVISIONS

**L3**  
**IRRIGATION PLAN**

| WALL SURFACES             |                           |  |  |  |
|---------------------------|---------------------------|--|--|--|
| KEY                       | COLOR                     | APPLICATION  | MANUFACTURER / SOURCE  | DESCRIPTION  |
| <b>WOOD TRIM</b>          |                           |  |  |  |
| WC-1                      |                           | WALLS  | HACIENDA FLYWOOD (800) 541-0884  | 1 1/2" x 4" x 8' RED OAK VENEER FLYWOOD WITH GROOVES AT 2" O.C.          |
| WD-1                      |                           | HARDWOOD PART / STAIN  | CHAIRRAILS BASE  | OAK  |
| WD-2                      |                           | HARDWOOD PART / STAIN  | WALL CAPS, BEAD BOARD VENEER TRIM  | ALDER  |
| WD-3                      |                           | NOT USED   | NOT USED   | NOT USED   |
| WD-4                      |                           | CHAIRRAIL  | OPTION TO REPLACE WC-1   | 1" X 10" W/ 1/4" CHAMFERED EDGE TOP AND BOTTOM TOP FINISHES AT 4" A.F.F. |
| <b>SPECIAL MATERIALS</b>  |                           |  |  |  |
| FRP-1                     | WHITE                     | WALLS  | MARLITE  | 3/32" THICK "LINER BOARD" USDA APPROVED (CBO NO. ER 5489 AND ASTM E-84)  |
| F-2                       | CANVAS, BLACK, STYLE 5403 | FABRIC AWNING - VALANCE ONLY   | SUNBELLA W/ GLEN RAVEH "FIRE RESIST HUV" FIRE RESISTANT MATERIAL   | REFER TO EXTERIOR ELEVATIONS FOR AWNING LOCATIONS                        |
| <b>SLATE/STONE VENEER</b> |                           |  |  |  |
| STN-1                     | TUMBLEWEED                | WAINSCOTS/SOLDER COURSE  | BELDEN BRICK COMPANY   |  |
| STN-2                     | ROSE LIMESTONE            | WALL W/ GROUT BY CUSTOM BUILDING PRODUCTS - ANTIQUE WHITE, SANDED, 1/2" JOINT SIZE SEALER MIRACLE 511 SEAL AND ENHANCE IMPREGNATING COLOR ENHANCER | RESOURCE BUILDING MATERIALS CONTACT: CARY HAGEN P. 1.800.274.2549P5 AMERICAN SLATE CONTACT: TANYA WILSON P. 1.855.602.7033 | 6" X 12" & 15" X 10" VENEER  |
| STN-3                     | TUMBLEWEED                | WATERTABLE   | BELDEN BRICK COMPANY   | CHAMFER CORNERS AT EXTERIOR DOORS (TYP)                                  |
| STN-4                     | AMBER GOLD                | BASE / ACCENT TRIM WAINSCOT W/ GROUT BY CUSTOM BUILDING PRODUCTS - ANTIQUE WHITE, SANDED, 1/2" JOINT SIZE SEALER                                   | RESOURCE BUILDING MATERIALS CONTACT: CARY HAGEN P. 1.800.274.2549P5 AMERICAN SLATE CONTACT: TANYA WILSON P. 1.855.602.7033 | SLATE BASE 8" X 16"  |
| STN-5                     | ADMIRAL RED VELOUR        | ENTRY TOWER PLASTER  | BELDEN BRICK COMPANY   |  |
| <b>METALS</b>             |                           |  |  |  |
| PC-1                      | BLACK MAGIC               | PATIO GATE AND RAILING OR WHERE APPLIES  | DUPONT POWDER COATING  | POWDER COATING - UPB51580  |

| PAINTS / STAINS  |               |   |                       |  |
|--|---------------|---|-----------------------|--|
| KEY  | COLOR         | APPLICATION   | MANUFACTURER / SOURCE | DESCRIPTION  |
| <b>PAINTS</b>  |               |   |                       |  |
| PT-1   | PURPLE        | ENTRY & DINING RM #3                                    | ICI MASTER PALLETTE   | PURPLE BROOCH (1584) 10 RB 0B/25   |
| PT-6   | REGENCY CREAM | ACCENTS VESTIBULE                                       | DUNN EDWARDS          | DE5325   |
| PT-7   | ARABIAN RED   | STUCCO / GYP / EXT. DOORS                               | DUNN EDWARDS          | DEA155   |
| PT-9   | BLACK SWAN    | TIN CROWN CORNICE WOOD ENTRY AWNING                     | DUNN EDWARDS          | MATCH SHERWIN WILLIAMS "BLACK SWAN" SW 6279 SEMI-GLOSS (EXTERIOR) GLOSS (INTERIOR) FINISH W/ DRY BRUSH |
| PT-12  | BLACK         | HVAC DUCTS, AWNING FRAME AND MTL RAILING                | DUNN EDWARDS          | DUNN EDWARDS "BLACK" SEMI-GLOSS (SEA 181)  |
| PT-15  | FLAT BLACK    | CEILING   | DUNN EDWARDS          | DUNN EDWARDS "BLACK" FLAT  |
| PT-17  | WHITE         | B.O.H. / KITCHEN  | SHERWIN WILLIAMS      | SHERWIN WILLIAMS ARIA IVORY SW 1109 SEMI-GLOSS   |
| PT-25  | BLACK         | EXTERIOR STUCCO CORNICE                                 | DUNN EDWARDS          | DUNN EDWARDS "BLACK" FLAT  |
| PT-30  | SPRITE        | RESTROOM WALLS, SOFFIT, CEILING AND INTERIOR DOOR FRAME | FRAZEE                | CL2792W  |
| <b>STAINS</b>  |               |   |                       |  |
| ST-1   | CHOCOLATE     | WOOD VENEER WALL CAP, TRIM MILLWORK / BAR               | BROOKLINE             | TO MATCH BROOKSIDE VENEER BROOKLINE  |
| ST-2   | BLACK         | CHAIR RAIL WALL CAP                                     |                       | BLACK ENRICHED STAIN WITH (3) COATS SEMI-GLOSS FINISH  |
| NOTE: 1. G.C. SHALL PROVIDE ONE GALLON OF EACH PAINT & STAIN LABELED AND STORED IN ATTIC. 10% OF EACH TILE AND WOOD TRIM AND WOOD FLOOR TO BE STORED IN ATTIC AT PROJECT COMPLETION. 2. PAINT FINISHES IN THE DINING ROOM SHALL BE EGG-SHELL AND PAINT FINISHES IN THE KITCHEN SHALL BE SEMI-GLOSS U.O.N. PUBLIC RESTROOMS TO BE SEMI-GLOSS. |               |   |                       |  |
| <b>CEILING</b>   |               |   |                       |  |
| KEY  | COLOR         | APPLICATION   | MANUFACTURER / SOURCE | DESCRIPTION  |
| ACT-1  | PANEL         | WHITE   | SEE PLAN              | SHEETROCK LAY-IN CEILING PANEL, VINYL WITH CLIMAPLUS PERFORMANCE                                       |
|  | T.BAR         | FLAT WHITE  | SEE PLAN              | DOHN DLA SUSPENSION SYSTEM   |

| INTERIOR FINISH SCHEDULE |                    |       |       |   |              |              |              |              |  |
|--------------------------|--------------------|-------|-------|---|--------------|--------------|--------------|--------------|--|
| ROOM NUMBER              | ROOM NAME          | FLOOR | BASE  | WALLS (SEE INT. ELEV. & SHT. 2 OF FINISH MATERIALS) |              |              |              | CEILING      | REMARKS  |
|                          |                    |       |       | REAR  | RIGHT        | FRONT        | LEFT         |              |  |
| 100                      | ENTRY              | CS    | CS    | GB-1/BR   |              | GB-1/BR/ST*  | GB-1/BR/ST*  | GB-1         | * COLUMN WAINSCOT  |
| 101                      | HOSIERS AREA       | CS    | CS    |   | GB-1/BR/ST*  |              | COLUMN/BR    | GB-1         | * COLUMN WAINSCOT  |
| 102                      | TAKE OUT           | CS    | WB    | GB-1/BR/WP  | GB-1/BR/WP   |              |              | GB-1         |  |
| 103                      | RESTROOM VESTIBULE | CS    | WB    | GB-1/WP   | GB-1/WP      | GB-1/WP      |              | GB-1         | * PER ELEVATION  |
| 104                      | DATA ROOM          | EP    | EP/GB | GB-1  | GB-1         | GB-1/SS*     | GB-1/SS*     | GB-1         | * PER ELEVATION  |
| 105                      | MEN                | CT-1  | CT-5  | GB-3/CT*  | GB-3/CT*     | GB-3/CT*     | GB-3/CT*     | GB-3         | * SEE INT ELEV. FOR TILE TYPE & HT   |
| 106                      | WOMEN              | CT-1  | CT-5  | GB-3/CT*  | GB-3/CT*     | GB-3/CT*     | GB-3/CT*     | GB-3         | * SEE INT ELEV. FOR TILE TYPE & HT   |
| 107                      | OFFICE             | EP    | EP/GB | GB-1/FRP  | GB-1/FRP     | GB-1/FRP     | GB-1/FRP     | GB-1         |  |
| 108                      | STORAGE            | EP    | EP/GB | GB-3/FRP  | GB-3/FRP     | GB-3/FRP     | GB-3/FRP     | GB-3         |  |
| 108A                     | ICE MAKER ROOM     | EP    | EP/GB | GB-3/FRP  | GB-3/FRP     | GB-3/FRP     | GB-3/FRP     | ACT-1        |  |
| 109                      | KITCHEN            | EP    | EP/GB | GB-3/FRP  | GB-3/FRP     | GB-3/FRP     | GB-3/FRP     | ACT-1        | * NOTE GB-2 @ COOKLINE WALL  |
| 110                      | PREP AREA          | EP    | EP/GB | GB-3/FRP  | GB-3/FRP     | GB-3/FRP     | GB-3/FRP     | ACT-1        | * 5/8" TYPE "X" M.R. GYP BD @ WEST WALL ONLY FOR 1-HOUR CONST. PER IBC TABLE 721.2.1.4(2)  |
| 111                      | VESTIBULE          | EP    | EP/GB | GB-3/FRP  | GB-3/FRP     | GB-3/FRP     | GB-3/FRP     | GB-1         | * 5/8" TYPE "X" M.R. GYP BD @ SOUTH WALL ONLY FOR 1-HOUR CONST. PER IBC TABLE 721.2.1.4(2) |
| 111A                     | EMPLOYEE RESTROOM  | EP    | EP/GB | GB-3/FRP  | GB-3/FRP     | GB-3/FRP     | GB-3/FRP     | GB-1         | * 5/8" TYPE "X" M.R. GYP BD @ WEST WALL ONLY FOR 1-HOUR CONST. PER IBC TABLE 721.2.1.4(2)  |
| 112                      | ELECTRICAL ROOM    | EC    |       | GB-3 [PT-17]  | GB-3 [PT-17] | GB-3 [PT-17] | GB-3 [PT-17] | GB-1         |  |
| 113                      | DRY STORAGE        | EP    | EP/GB | FRP   | FRP          | FRP          | FRP          | ACT-1        |  |
| 114                      | CAN WASH           | EP    | EP/GB | FRP   | FRP          | FRP          | FRP          | ACT-1        | EPOXY FLOOR TO CEILING IN MCP SINK AREA  |
| 115                      | DISH WASHING       | EP    | EP/GB | GB-3/FRP  | GB-3/FRP     | GB-3/FRP     | GB-3/FRP     | ACT-1        |  |
| 116                      | F.R.               | EC    |       | GB-3 [PT-17]  | GB-3 [PT-17] | GB-3 [PT-17] | GB-3 [PT-17] | GB-1         |  |
| 117                      | COOLER             | EP    | EP    | SEM   | SEM          | SEM          | SEM          | SEM          | REFER TO KITCHEN DRAWINGS FOR INFORMATION ON FLOORING                                      |
| 118                      | FREEZER            | EP    | EP    | SEM   | SEM          | SEM          | SEM          | SEM          |  |
| 119                      | BEER COOLER        | EP    | EP    | SEM   | SEM          | SEM          | SEM          | SEM          |  |
| 120                      | AV CLOSET          | EP    | EP/GB | GB-1 [PT-17]  | GB-1 [PT-17] | GB-1 [PT-17] | GB-1 [PT-17] | GB-1 [PT-17] |  |
| 121                      | BAR                | EP    | EP/GB | GB-3/FRP  | GB-3/FRP     | GB-3/FRP     | GB-3/FRP     | ES           |  |
| 122                      | DINING #1          | CS    | WB    |   | GB-1/WP      | GB-1/BR      | GB-1/PLY     | WB-3         | * REFER TO INTERIOR ELEV   |
| 123                      | DINING #2          | CS    | WB    | GB-1/BR/WP  | GB-1/BR/WP   |              |              | WB-3         | * REFER TO INTERIOR ELEV   |
| 124                      | DINING #3          | WF    | WB    | GB-1/WP   | GB-1/WP      | GB-1/WP      | GB-1/BR      | WB-3         | * REFER TO INTERIOR ELEV   |
| 125                      | DINING #3 SERVICES | EP    | EP/GB | GB-3/SS*  | GB-3/SS*     | GB-3/SS*     | GB-3/FRP/SS* | GB-1         | * REFER TO INTERIOR ELEV   |



- GENERAL NOTES**
- INTERIOR FINISH SHALL BE PROVIDED IN ACCORDANCE WITH TITLE 24 SECTION 804, AS FOLLOWS: CLASS I VERTICAL ENCLOSURES, CLASS II CORRIDORS, CLASS III ROOMS
  - SLATE FLOOR FINISH - G.C. TO COAT WITH WAX PRIOR TO OPENING
  - DISCARD REDISH-BROWNISH AMBER TILES. USE LIGHTER COLORS
  - WALL, FLOOR AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC TABLE 603.9
  - WALL, FLOOR AND CEILING SHALL COMPLY WITH THE VOC EMISSION LIMITS PER SECTION 5.504.4.3
  - VOC'S ARE TO BE DOCUMENTED FOR ADHESIVES, PAINTS AND COATINGS, CARPET, AND COMPOSITION WOOD PRODUCTS. DOCUMENTATION TO BE PROVIDED BY PRODUCT CERTIFICATIONS & SPECIFICATIONS, CHAIN OF CUSTODY CERTIFICATIONS, OR OTHER MEANS ACCEPTABLE TO THE ENFORCING AGENCY
- ENVIRONMENTAL QUALITY REQUIREMENTS**
- ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, CAULKS AND AEROSOL ADHESIVES AND SMALLER UNIT SIZES OF ADHESIVES AND SEALANT OR CAULKING COMPOUNDS SHALL COMPLY WITH VOC LIMITS (5.504.4)
  - ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH TABLE 5.504.4.3
  - AEROSOL PAINTS AND COATINGS SHALL MEET SECTION 5.504.4.3.1 VERIFICATION OF COMPLIANCE SHALL BE PROVIDED
  - ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL:
    - MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE STANDARDS LISTED IN SECTION 5.504.4.4
    - MEET THE TESTING AND PRODUCT REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM (5.504.4.4)
    - ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 5.504.4
  - HARDWOOD FLYWOOD, PARTICLE BOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE PER TABLE 5.504.4. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED
  - RESILIENT FLOORING SYSTEMS SHALL COMPLY WITH THE VOC EMISSION LIMITS PER SECTION 5.504.4.6. VERIFICATION OF COMPLIANCE SHALL BE PROVIDED
  - IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA (MERV 8 MINIMUM) FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY (5.504.5.3)
  - FOR MECHANICALLY OR NATURALLY VENTILATED SPACES IN BUILDINGS, MEET THE MINIMUM REQUIREMENTS OF SECTION 121 OF THE CALIFORNIA ENERGY CODE AND CHAPTER 4 OF C.C.R. TITLE 8 OR THE APPLICABLE LOCAL CODE (5.506.1)
  - INSTALL CO SENSORS AND VENTILATION CONTROLS FOR BUILDINGS EQUIPPED WITH DEMAND CONTROL VENTILATION (5.506.2)

| TILE & FLOORING MATERIALS (NOTE: ALL TILE FLOORING TO BE SEALED) |                                      |   |   |  |
|--|--------------------------------------|---|---|--|
| KEY  | COLOR                                | APPLICATION   | MANUFACTURER / SOURCE   | DESCRIPTION  |
| <b>EPOXY FLOOR</b>   |                                      |   |   |  |
| EP-1   | BEIGE                                | KITCHEN / BACK OF HOUSE / BREWERY                                     | SUNBELT FLOORING INC. 3340 RIVERSIDE DRIVE, SUITE A CHINO, CA PHONE: (909) 628-1090 FAX: (909) 628-1252 MASLAND | EPOXY TROWELED RESINOUS FLOORING. EPOXY WALLS UP TO CEILING IN CAN WASH  |
| <b>TILE</b>  |                                      |   |   |  |
| CT-1   | WOOL                                 | RESTROOM FLOOR W/ GROUT   | EMSER TILE CONTACT: DONNA CARLSON 323-854-8894  | 18" X 18" FLOOR TILE GROUT: CUSTOM BUILDING PRODUCTS - TOSACCO BROWN #52 SANDED 1/2" THICK GROUT JOINT   |
| CT-2   | HONEY                                | RESTROOM PRIMARY WALL ACCENT BAND W/ GROUT                            | EMSER TILE CONTACT: DONNA CARLSON 323-854-8894  | BORDER TRIM LUCENTE LINER 1" X 8" 5/8" GROUT: CUSTOM BUILDING PRODUCTS - LINEN #122 SANDED 1/2" THICK GROUT JOINT  |
| CT-3   | LINEN                                | RESTROOM PRIMARY WALL W/ GROUT  | EMSER TILE CONTACT: DONNA CARLSON 323-854-8894  | VERTICAL FIELD CUT TO 8" X 24" GROUT: CUSTOM BUILDING PRODUCTS - LINEN #122 SANDED 1/2" THICK GROUT JOINT  |
| CT-4   | MURANO                               | RESTROOM / SECONDARY WALL FIELD W/ GROUT                              | EMSER TILE CONTACT: DONNA CARLSON 323-854-8894  | LUCENTE MOSAIC 12.5" X 12.5" MESH GROUT: CUSTOM BUILDING PRODUCTS - OYSTER GRAY #368 SANDED PRE-SET GROUT JOINT  |
| CT-5   | LINEN                                | RESTROOM COVE BASE W/ GROUT   | EMSER TILE CONTACT: DONNA CARLSON 323-854-8894  | BASE 6" X 12" COVE GROUT: CUSTOM BUILDING PRODUCTS - LINEN #122 SANDED 1/2" THICK GROUT JOINT  |
| CT-6   | ASHEN GRAY                           | QUARRY BULLNOSE   | QUARRY TILE   | HOISING TILE AT STAIR, SEE DETAIL FOR SIZE   |
| CT-7   | INDIAN SLATE                         | BAR AREA DRIBB ROOM #1 STAIR RISERS RESTROOM VESTIBULE ENTRY EXTERIOR | DAL TILE, INC. PHONE: (714) 634-2546  | SLATE MULTICOLORED IN THE ISHMALES STYLE (BL, BK, BLK, BRN, GRN, THICKNESS: 3/8" INSTALL OVER MERMARITE HYDRO-GUARD 200 WATERPROOF MEMBRANE GROUT: POLYURETHANE SEALER MIRACLE 511 100 PLUS LOW VOC SEAL AND ENHANCE G.C. TO COAT WITH WAX PRIOR TO OPENING. USE JOHNSON & JOHNSON WHITE PRESIDENT FLOOR WAX, @ COATS OF WAX CONTACT: ARTHUR VALDEZ 800-692-1187 |
| CT-8   | LINEN                                | BULL NOSE EDGE  | EMSER TILE CONTACT: DONNA CARLSON 323-854-8894  | TOP OF WAINSCOT 6" X 6" BULL NOSE GROUT: CUSTOM BUILDING PRODUCTS - LINEN #122 SANDED 1/2" THICK GROUT JOINT   |
| <b>WOOD FLOORING</b>   |                                      |   |   |  |
| WF-1   | KARRS HARD MAPLE "RUSTIC" BBSAP09K10 | DINING ROOM #2 DINING ROOM #3   | TRIVEST BILL GILANE (909) 229-8352  | THICKNESS 3/8" X 1 1/2" W/ 1/8" TYPICAL PLANKS GLUE DOWN WITH KARRS ADHESIVE. APPLY ADDL. (4) COATS BONA TRAFFIC FINISH FOR MAX DURABILITY. APPLY MASTIK VISIOGREEN SUBFLOOR AND WOOD FLOOR PREP MIX. RECOMMENDATIONS AND PER A4.5(1)  |
| WF-2   | KARRS "BRAZILIAN CHERRY" B15U09K10   | DINING ROOM #2 DINING ROOM #3   | TRIVEST BILL GILANE (909) 229-8352  |  |
| WF-3   | KARRS "BLACK OAK WIRE BRUSH"         | DINING ROOM #2 DINING ROOM #3   | TRIVEST BILL GILANE (909) 229-8352  |  |
| SC-1   | SEALED CONCRETE                      | ELECTRICAL TRASH ENCLOSURE  |   |  |

| ABBREVIATIONS |   |     |                                   |
|---------------|---|-----|-----------------------------------|
| FRP           | FIBERGLASS REINFORCED POLYESTER                                   | STC | STUCCO                            |
| GF            | GALVANIZED CHAIN LINK FENCING                                     | SG  | SEMI-GLOSS ENAMEL PAINT           |
| GB-1          | GYPSUM BOARD (5/8" THICK)   | SS  | STAINLESS STEEL                   |
| GB-2          | GYPSUM BOARD - TYPE "X" (5/8" THICK)                              | SSC | STAINLESS STEEL COVE              |
| GB-3          | MOISTURE-RESISTANT GYPSUM BOARD (5/8" THICK)                      | ST  | STONE WAINSCOT                    |
| MMS           | METAL WEARING SURFACE   | WB  | WOOD BASE                         |
| PLY           | PLYWOOD   | WF  | WOOD FLOORING                     |
| SEM           | STUCCO EMBOSSED METAL - (FEC)                                     | WP  | WOOD PANELING (MILLWORK) WAINSCOT |
| ACT-1         | ACOUSTICAL CEILING TILE, VINYL-FACED (U.S.D.A. APPROVED WASHABLE) | CS  | TILE                              |
| CB            | CEMENTITIOUS BOARD A.F.F. 1/2"                                    | CT  | CERAMIC TILE                      |
| CMU           | CONCRETE BLOCK - PAINTED SEMI-GLOSS EPOXY PAINT                   | DL  | 1" DUCT LINER                     |
| CP            | CEMENT PLASTER  | EC  | EXPOSED CONCRETE - SEALED         |
|               |   | EP  | EPOXY                             |
|               |   | ES  | EXPOSED STRUCTURE                 |

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SUITE 100  
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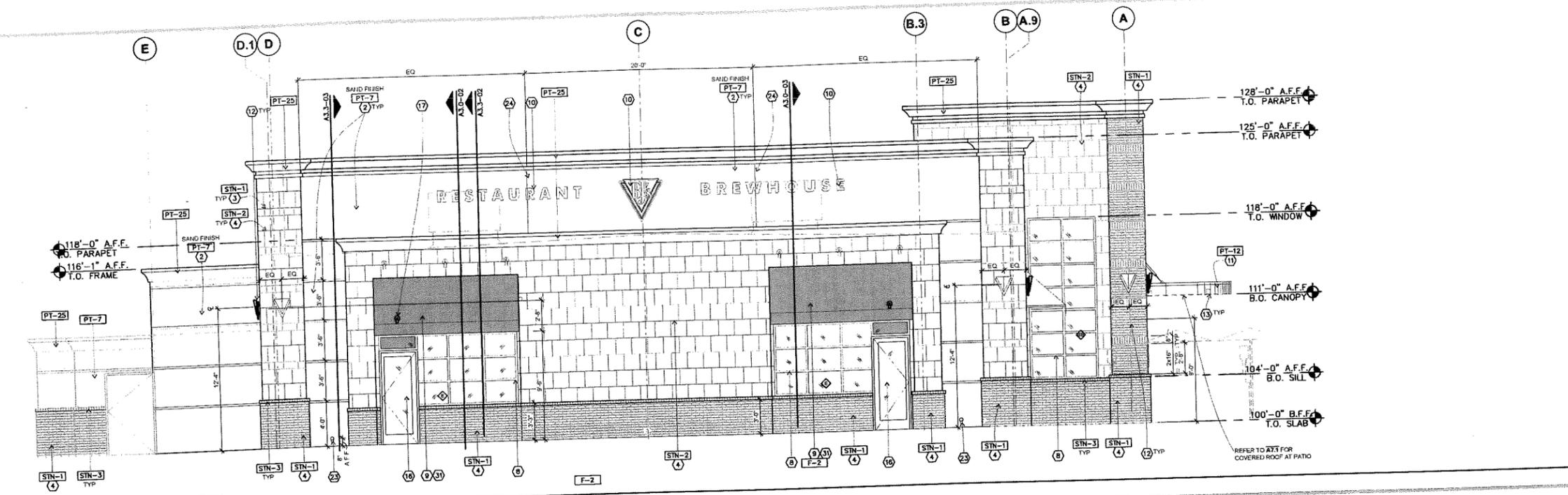
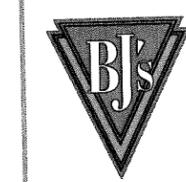
**REVISIONS**

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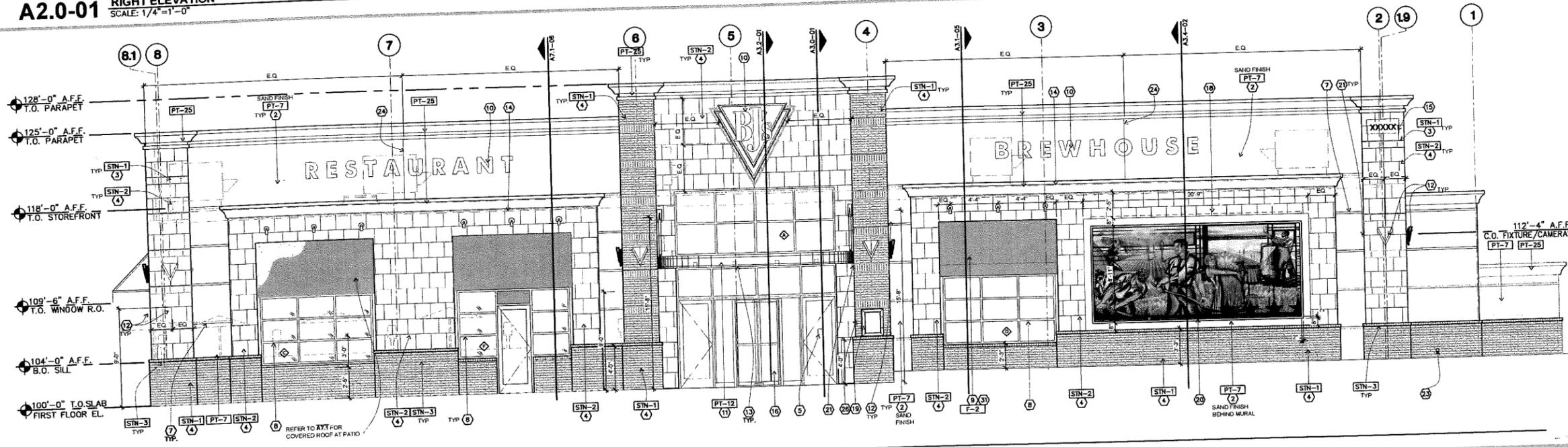
**A0.2 FINISH SCHEDULE**







**A2.0-01 RIGHT ELEVATION**  
SCALE: 1/4"=1'-0"



**A2.0-02 FRONT ELEVATION**  
SCALE: 1/4"=1'-0"

**KEY NOTES:**

- 1) STUCCO CORNICE OVER PRE-FORMED FOAM CORNICE [PT-25]
- 2) EXTERIOR CEMENT STUCCO 3/8" THICK MIN. THREE COATS MIN. TWO LAYERS OF GRADE 10' 60 MIN. PAPER (PAPER BACKED WIRE FABRIC IS EQUIVALENT TO ONE LAYER OF GRADE 10' PAPER) SHALL BE PROVIDED WITH A MESE SCREENED AT THE FOUNDATION PLATE LINE (CIRC SEC. 200)
- 3) 8" BAND OF CUSTOM STONE VENEER. APPLICATION PER (A)
- 4) CUSTOM STONE VENEER  
TYPICAL APPLICATION OF ADHERED STONE VENEER (PER BUILDING CODE) ADHERED VENEER SHALL BE ADHERED BY MEANS OF PORTLAND CEMENT MORTAR. BACKING SHALL BE PORTLAND CEMENT PLASTER OR METAL LATH. METAL LATH BACKING SHALL BE PORTLAND CEMENT MORTAR. MORTAR SHALL BE APPLIED TO THE SETTING BED. THE SETTING BED SHALL BE A MINIMUM OF 3/4" THICK PORTLAND CEMENT OR ONE-HALF PORTLAND CEMENT AND ONE-HALF GRADED SAND SHALL BE APPLIED TO THE BACK OF THE EXTERIOR VENEER UNITS AND TO THE SETTING BED AND THE VENEER UNITS SHALL BE TAPPED INTO PLACE TO PROVIDE COMPLETE COVERAGE BETWEEN THE MORTAR BED AND VENEER UNIT. PROVIDE 6" SQUARE SYMBOL OF ACCESSIBILITY DECAL ON EXTERIOR FACE OF DOOR. SEE DETAIL A4.7-01
- 5) CUSTOM STONE VENEER. APPLICATION PER (A)
- 6) PLASTER REVEAL. SEE DETAIL A4.7-02
- 7) UNITED STATES ALUMINUM (OR EQUIVALENT MANUFACTURER) DARK BRONZE FRAME AND PPG 500 ARGENT FLUAT GLASS SYSTEM FOR 1" INSULATED GLASS ASSEMBLY AND 30% VISIBLE LIGHT. THE SYSTEM SHALL MEET A MINIMUM 20 PSF WIND LOADING CRITERIA. GLAZING ASSEMBLY SHALL CONSIST OF ALUMINUM EXTERIOR X GLASS SQUARE GLASS (D) X ASPENGLASS AND (C) AN INSIDE X SOLARBAN (B) GLASS WITH A U-VALUE OF .28 LOW-E AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) OF .48
- 8) FINISHING BY GENERAL CONTRACTOR. SEE A4.3-11 PAINT FINISH AND BRACKETS BLACK. FINISH FABRICATOR TO FIELD VERIFY INSIDE FINISH DIMENSION OF PLASTER PRIOR TO FABRICATION. REFER TO FINISH SCHEDULE FOR FABRIC MANUFACTURER AND COLOR SELECTIONS
- 9) SIGNAGE UNDER SEPARATE PERMIT. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED SIGNAGE
- 10) ENTRY CANOPY ROOF AND BRACE. SEE A4.2-20 AND STRUCTURAL DRAWINGS
- 11) DECORATIVE WALL SCONCE LIGHT FIXTURE "120" HAS PERFORATED METAL SHIELD PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR
- 12) LIGHT FIXTURE. SEE ELECTRICAL FOR ADDITIONAL INFO. REFER TO ARCHITECTURAL FLOOR PLAN AND ROOF PLAN FOR AMOUNT OF LIGHTS
- 13) LINE OF ROOF BEYOND. SEE ROOF PLAN
- 14) ADDRESS SIGN WITH 1'-0" HIGH LETTERING BY SIGN CONTRACTOR
- 15) REFER TO DOOR SCHEDULE FOR ALL EXTERIOR DOORS
- 16) LIGHT BEHIND AWNING TO BE SET 10'-1" A.F.F. ABOVE THE DOOR
- 17) RECESSED LED STRIP LIGHTS. REFER TO ELECTRICAL DRAWINGS
- 18) BLACK POWDER COAT BOX MENU BOARD (24 1/2" X 35 1/2" R.O.) MODEL 8 TERRA 2.75-27" HOLED BY CO LIGHTING SOLUTION, INC. CONTACT MIKE MURPHY 714.545.5985 X108, (CELL) 714.405.0295. MCMURPHY@COLIGHTING.COM
- 19) MURAL. BY OWNER. COORDINATE LANDSCAPING MATERIALS NOT TO INTERFERE WITH VIEW OF MURAL. SEPARATE PERMIT REQUIRED
- 20) EXTERIOR SECURITY CAMERAS. CENTER OF CAMERA EL. 112'-4" U.I.D. REFER TO PLAN SETS FOR MOUNTING AND LOCATION
- 21) ROOF DRAIN PENETRATE BELOW PATIO SLAB. REFER TO PLUMBING AND CIVIL
- 22) DOWNSPOUT NOZZLE COVER. SEE PLUMBING DRAWINGS
- 23) FRY REELET 1/4" WIDE PCS-TS-25 2-PC STUCCO EXPANSION JOINT. PAINT TO MATCH ADJACENT SURFACES
- 24) OLD CASTLE GLASS SPANREL. PART NUMBER #1-818 BLACK (OR EQUAL)
- 25) KNIX BOX 3200 SERIES (1 UNIT ONLY) CUSTOMER SERVICE 866-625-4553
- 26) GAS METER FANT TO MATCH ADJACENT SURFACES. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFO
- 27) METAL DOOR AND FRAME. REFER TO DOOR SCHEDULE A4.7-01 [PT-7]
- 28) GREASE REMOVAL SYSTEM
- 29) CO2 FILL PORT PAINT TO MATCH ADJACENT SURFACE. REFER TO KITCHEN DWGS
- 30) SAND FINISH STUCCO BEHIND AWNING [PT-7]
- 31) ELECTRIC METER. REFER TO ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION
- 32) LINE OF SCREEN WALL/TRASH ENCLOSURE WALL BEYOND

**GENERAL NOTES:**

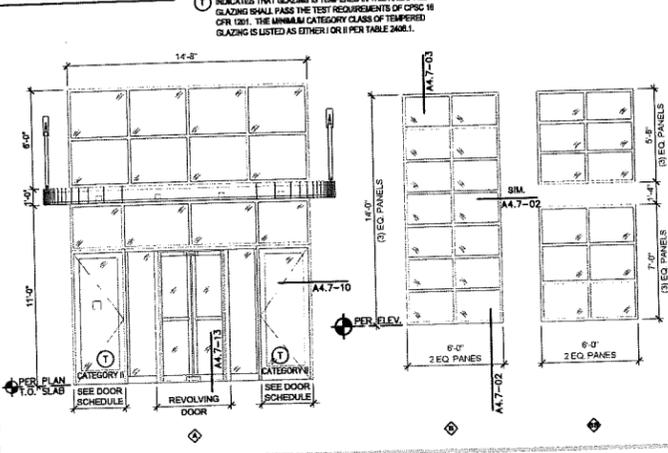
1. ALL EXTERIOR WALLS SHALL RECEIVE A MINIMUM OF (2) LAYERS OF GRADE 10' PAPER OVER 5/8" CDX (APA RATED PLYWOOD). REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC NAILING REQUIREMENTS
  2. ALL EXTERIOR BUILDING SIGNAGE UNDER A SEPARATE PERMIT. SIGNAGE SHOWN FOR REFERENCE ONLY
  3. EXTERIOR UTILITIES NEAR THE BUILDING SHALL BE PAINTED TO MATCH ADJACENT SURFACES
- WINDOW GLASS/GLAZING SPECIFICATION**
- OUTDOOR GLASS LITE 1/4" (6mm) SOLARBAN  
GAS CAVITY DIMENSION 1/2" (13mm)  
AIR  
INDOOR GLASS LITE 1/4" (6mm) SOLARBAN 60 ON CLEAR (SURFACE #3)
- NOTE:**
1. EACH PANE OF GLASS SHALL BEAR THE MANUFACTURER'S MARK DESIGNATING THE TYPE AND THICKNESS OF THE GLASS OR GLAZING MATERIAL
  2. EACH PANE OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER
  3. TEMPERED SPANREL GLASS SHALL BE PROVIDED WITH A REMOVABLE PAPER MARKING BY THE MANUFACTURER
  4. GLASS SUPPORTS SHALL COMPLY WITH 2010 CBC, SECTION 2403.2.1
  5. WINDOWS, CURTAIN AND WINDOW WALLS, DOORS AND OTHER EXTERIOR APPLICATIONS SHALL BE DESIGNED TO RESIST THE WIND LOADS IN STRUCTURAL SHEET 501 COMPONENTS AND CLADDING GLASS IN GLAZED CURTAIN WALLS, GLAZED STOREFRONTS AND GLAZED PARTITIONS SHALL MEET THE SEISMIC REQUIREMENTS OF ASCE 7, SECTION 13.5.1\*

**MATERIALS CALCS**

|             |       |
|-------------|-------|
| BRICK/STONE | = 55% |
| STUCCO      | = 34% |
| CORNICE     | = 7%  |
| STOREFRONT  | = 4%  |

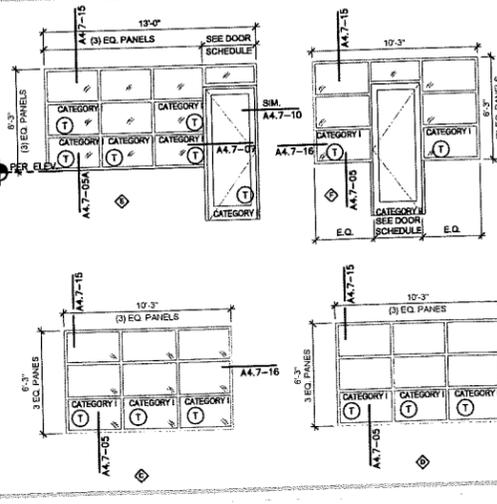
**EXTERIOR FINISH SCHEDULE**  
SEE SHEET A0.2

**WINDOW SCHEDULE**

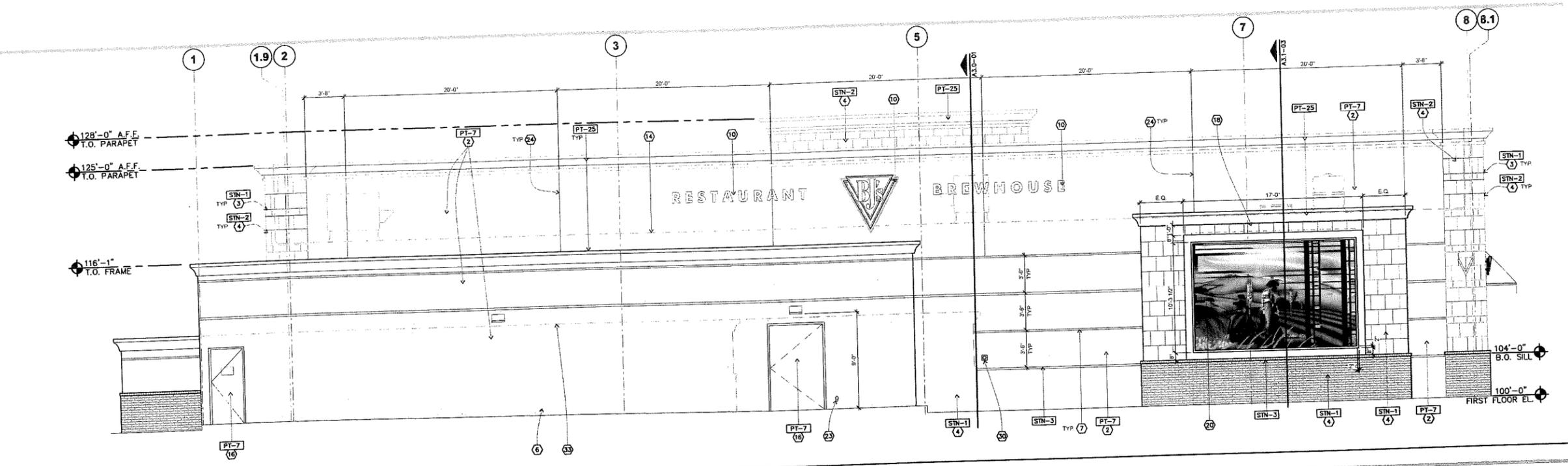


**NOTE: ALL GLAZING TO COMPLY WITH KEYNOTE (B)**

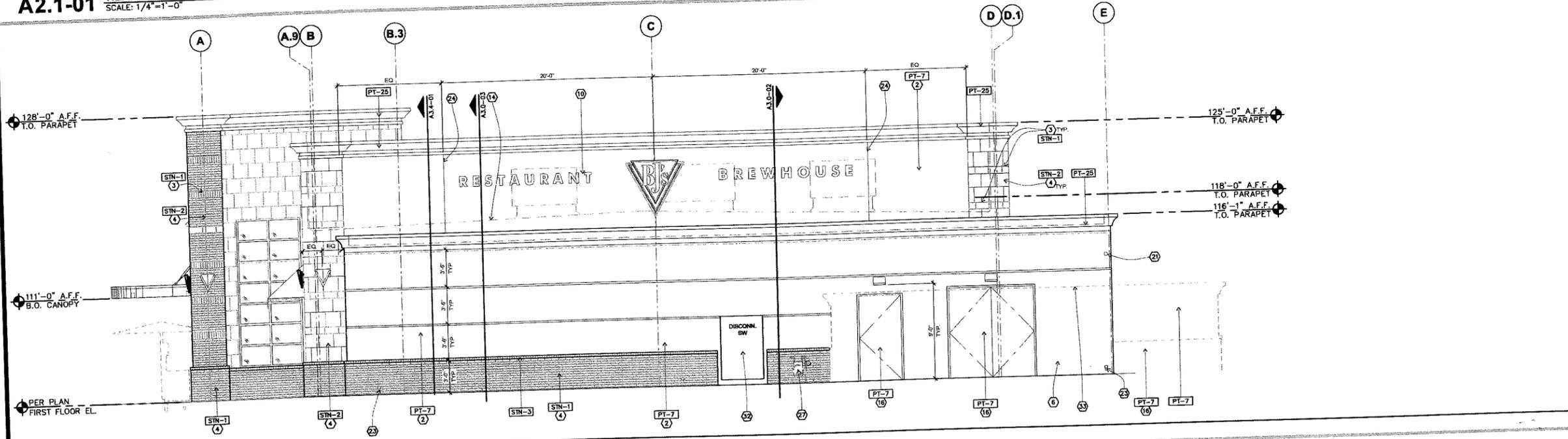
1. INDICATES THAT GLAZING IS TEMPERED IN THIS AREA. ALL GLAZING SHALL PASS THE TEST REQUIREMENTS OF CPSC 16 CFR 1201. THE ANNUAL CATEGORY CLASS OF TEMPERED GLAZING IS LISTED AS EITHER (1) OR (2) PER TABLE 2406.1.



WD PROJECT: BJB-R185  
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**A2.1-01 REAR ELEVATION**  
SCALE: 1/4"=1'-0"



**A2.1-02 LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

- KEY NOTES:**
- STUCCO CORNICE OVER PRE-FORMED FOAM CORNICE [PT-25]
  - EXTERIOR CEMENT STUCCO - 7/8" THICK MIN. THREE COATS MIN. Q TWO LAYERS OF GRADE "D" 60 MIN PAPER (PAPER BACKED WIRE FABRIC IS EQUIVALENT TO ONE LAYER OF GRADE "D" PAPER) SHALL BE PROVIDED WITH A WEEP SCREED AT THE FOUNDATION PLATE LINE (CBC SEC. 2109)
  - #1 BAND OF CUSTOM STONE VENEER. APPLICATION PER [4]
  - CUSTOM STONE VENEER  
TYPICAL APPLICATION OF ADHERED STONE VENEER (PER BUILDING CODE) ADHERED VENEER SHALL BE ADHERED BY MEANS OF PORTLAND CEMENT METAL LATH BACKING SHALL BE PORTLAND CEMENT PLASTER ON METAL LATH. METAL LATH SHALL BE FASTENED TO THE SUPPORTS. MORTAR SHALL BE APPLIED TO THE BACKING AS A SETTING BED. THE SETTING BED SHALL BE A MINIMUM OF 3/4" THICK (10MM) THICK AND A MAXIMUM OF 3/4" INCH (10MM) THICK. A PASTE OF NEAT PORTLAND CEMENT OR ONE-HALF PORTLAND CEMENT AND ONE-HALF GRADED SAND SHALL BE APPLIED TO THE BACK OF THE EXTERIOR VENEER UNITS AND TO PROVIDE COMPLETE COVERAGE BETWEEN THE MORTAR BED AND VENEER UNIT. A CEMENT MORTAR SHALL BE USED TO POINT THE VENEER. SEE [A2.02]
  - PROVIDE 6" SQUARE SYMBOL OF ACCESSIBILITY (O.C.) ON EXTERIOR FACE OF DOOR. SEE DETAIL [A2.02]
  - GMT WAINSCOT, WATER TABLE AND REVEALS BEHIND TRASH ENCLOSURE WALL
  - PLASTER REVEAL - SEE DETAIL [A2.02]
  - UNITED STATES ALUMINUM (OR EQUIVALENT MANUFACTURER) DARK BRONZE FRAME PPG SOLARSHY FLOTT GLASS SYSTEM FOR 1" INSULATED GLASS ASSEMBLY AND 1/2" WIND-LOADING VISIBLE LIGHT. THE SYSTEM SHALL MEET A MINIMUM 20 PSF WIND-LOADING CRITERIA. GLAZING ASSEMBLY SHALL CONSIST OF (A) AN OUTSIDE 1/2" PPG SOLARSHY GLASS (B) 1/2" AIRSPACE AND (C) AN INSIDE 1/2" SOLARSHY (B) GLASS WITH A U-VALUE OF 28 LOW-E AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) OF 28
  - AWNING BY GENERAL CONTRACTOR - SEE [A2.3-11] PAINT FRAME AND BRACKETS BLACK. AWNING FABRICATOR TO FIELD VERIFY INSIDE FINISH DIMENSION OF PLASTER PRIOR TO FABRICATION. REFER TO FINISH SCHEDULE FOR FABRIC MANUFACTURER AND COLOR SELECTIONS
  - SIGNAGE UNDER SEPARATE PERMIT. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED SIGNAGE
  - ENTRY CANOPY ROOF AND BRACE - SEE [A2.3-20] AND STRUCTURAL DRAWINGS
  - DECORATIVE WALL SCONCE LIGHT FIXTURE "122" HAS PERFORATED METAL SHIELD PROVIDE BY OWNER AND INSTALLED BY CONTRACTOR

- GENERAL NOTES:**
- ALL EXTERIOR WALLS SHALL RECEIVE A MINIMUM OF (2) LAYERS OF GRADE "D" PAPER OVER 5/8" CDX APA RATED PLYWOOD REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC WALL REQUIREMENTS
  - ALL EXTERIOR BUILDING SIGNAGE UNDER A SEPARATE PERMIT SIGNAGE SHOWN FOR REFERENCE ONLY
  - EXTERIOR UTILITIES NEAR THE BUILDING SHALL BE PAINTED TO MATCH ADJACENT SURFACES
- MATERIALS CALCS**
- |             |       |
|-------------|-------|
| BRICK/STONE | = 55% |
| STUCCO      | = 34% |
| CORNICE     | = 7%  |
| STOREFRONT  | = 4%  |
- EXTERIOR FINISH SCHEDULE**  
SEE SHEET A02
- LIGHT FIXTURE - SEE ELECTRICAL FOR ADDITIONAL INFO. REFER TO ARCHITECTURAL FLOOR PLAN AND ROOF PLAN FOR AMOUNT OF LIGHTS
  - LINE OF ROOF BEYOND - SEE ROOF PLAN
  - ADDRESS SIGN WITH 1" HIGH LETTERING BY SIGN CONTRACTOR
  - REFER TO DOOR SCHEDULE FOR ALL EXTERIOR DOORS
  - LIGHT BEHIND AWNING TO BE SET 10'-4" A.F.F ABOVE THE DOOR
  - RECESSED LED STRIP LIGHTS. REFER TO ELECTRICAL DRAWINGS
  - BLACK POWDER COAT BOX MENU BOARD (24" X 30" 1/2" R.O.) MODEL # TERRA 275-SIT-FIT-LED BY C3 LIGHTING SOLUTION, INC. CONTACT MIKE MORGAN 714 949 5985 X108. (CELL) 714 465 0995 [MCMORGAN.COM/LIGHTING.COM](http://MCMORGAN.COM/LIGHTING.COM)
  - MURAL - BY OWNER COORDINATE LANDSCAPING MATERIALS NOT TO INTERFERE WITH VIEW OF MURAL. SEPARATE PERMIT REQUIRED
  - EXTERIOR SECURITY CAMERAS. CENTER OF CAMERA EL 112'-4" U.N.C REFER TO PLAN SETS FOR MOUNTING AND LOCATION
  - ROOF DRAIN PENETRATE BELOW PATIO SLAB REFER TO PLUMBING AND CIVIL
  - DOWNSPOUT NOZZLE COVER. SEE PLUMBING DRAWINGS
  - TRY RESULET 1/4" WIDE PCS-75-25 2-PC STUCCO EXPANSION JOINT. PAINT TO MATCH ADJACENT SURFACES
  - OLD CASTLE GLASS SPANDREL. PART NUMBER #1-818 BLACK (OR EQUAL)
  - KNOX BOX 3200 SERIES (1 UNIT ONLY) CUSTOMER SERVICE 866-625-4563
  - GAS METER PAINT TO MATCH ADJACENT SURFACES. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFO
  - METAL DOOR AND FRAME - REFER TO DOOR SCHEDULE [A2.02]
  - GREASE REMOVAL SYSTEM
  - CO2 FILL PORT PAINT TO MATCH ADJACENT SURFACE. REFER TO KITCHEN DWGS
  - SAND FINISH STUCCO BEHIND AWNING [PT-7]
  - ELECTRIC METER. REFER TO ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION
  - LINE OF SCREEN WALL/TRASH ENCLOSURE WALL BEYOND

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SUITE 100  
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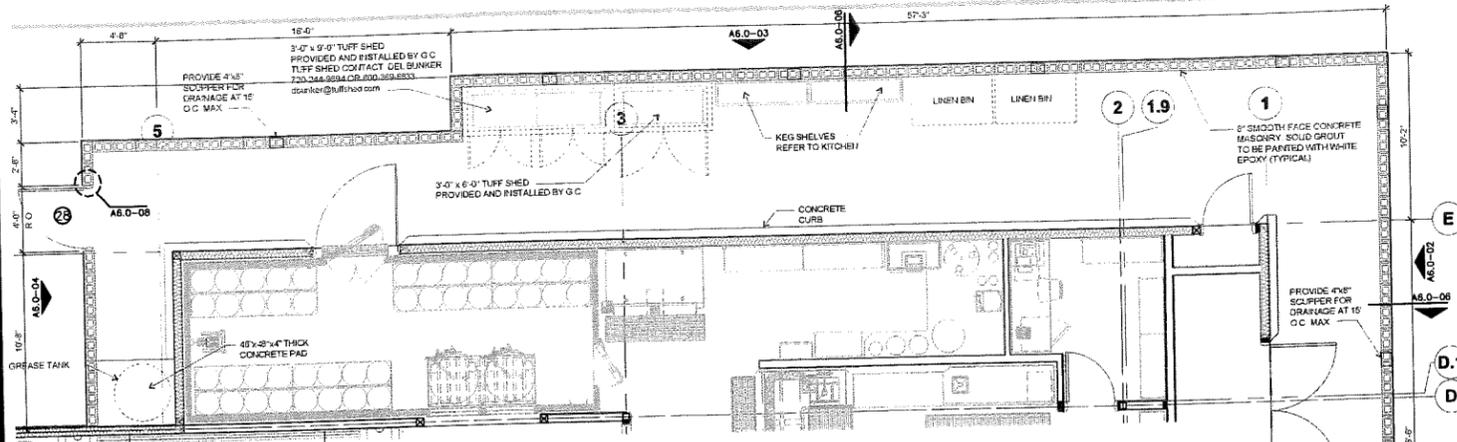


**REVISIONS**

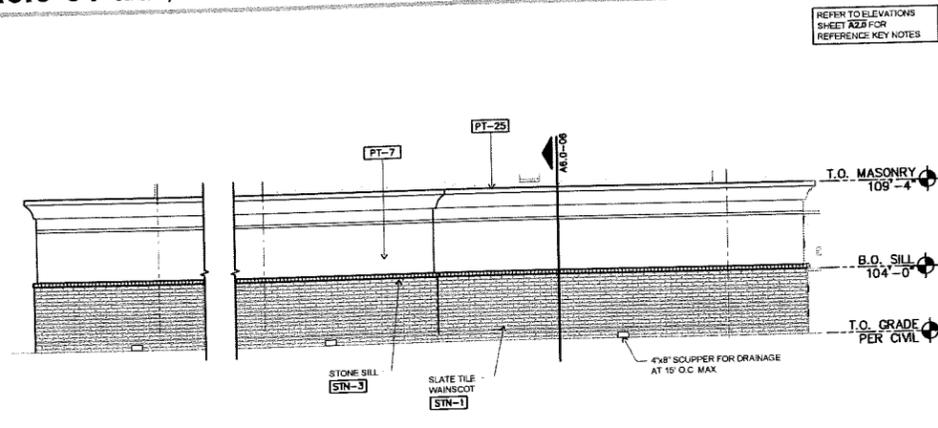
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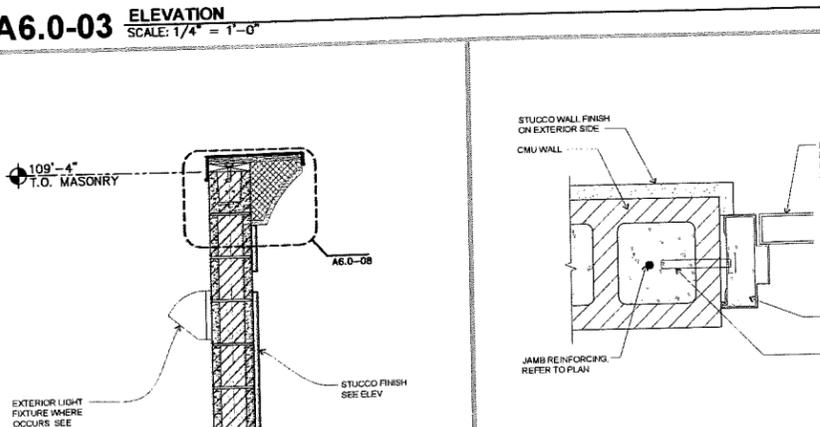
**A2.1 EXTERIOR ELEVATIONS**



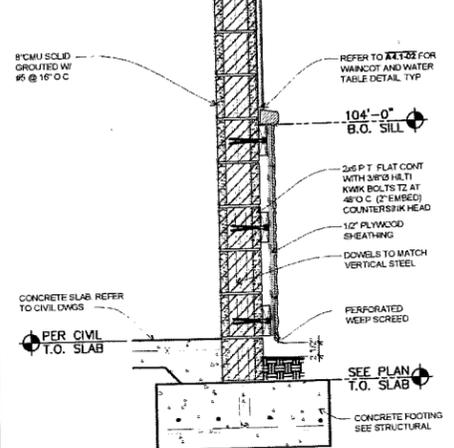
**A6.0-01 SERVICE YARD PLAN**  
SCALE: 1/4" = 1'-0"



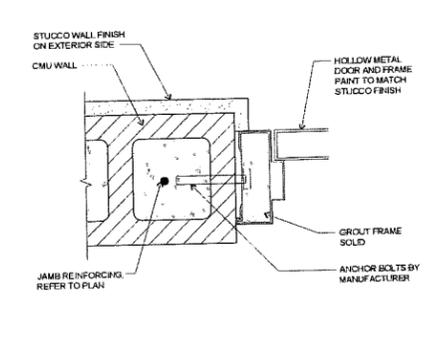
**A6.0-02 ELEVATION**  
SCALE: 1/4" = 1'-0"



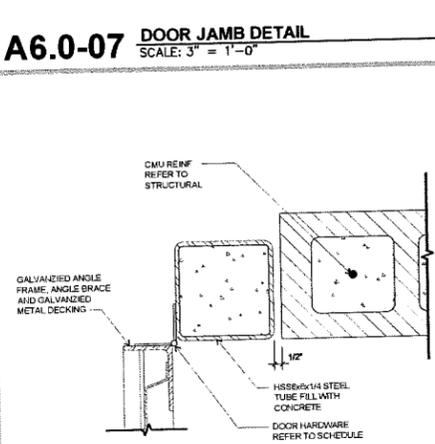
**A6.0-03 ELEVATION**  
SCALE: 1/4" = 1'-0"



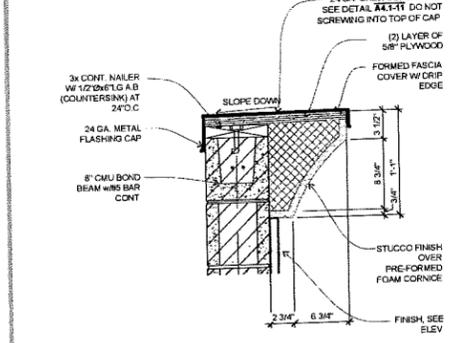
**A6.0-04 ELEVATION**  
SCALE: 1/4" = 1'-0"



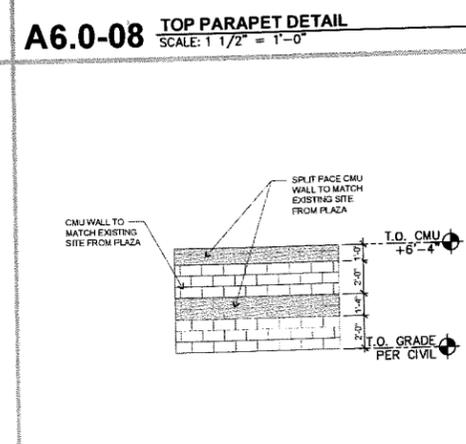
**A6.0-05 PLAN DETAIL**  
SCALE: 1 1/2" = 1'-0"



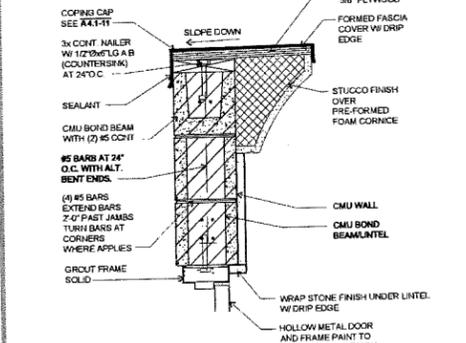
**A6.0-06 WALL SECTION**  
SCALE: 1" = 1'-0"



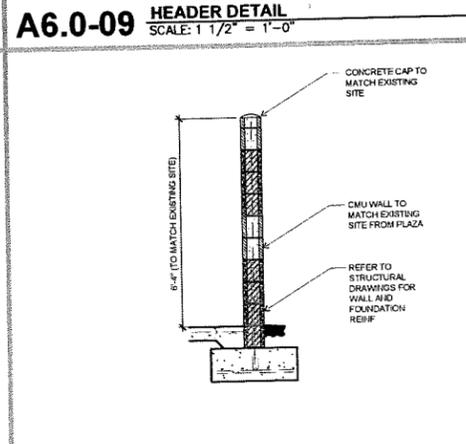
**A6.0-07 DOOR JAMB DETAIL**  
SCALE: 3" = 1'-0"



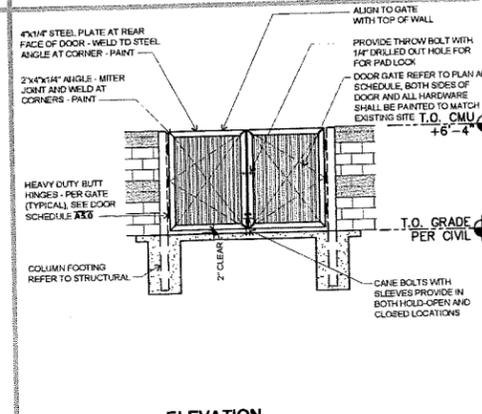
**A6.0-08 TOP PARAPET DETAIL**  
SCALE: 1 1/2" = 1'-0"



**A6.0-09 HEADER DETAIL**  
SCALE: 1 1/2" = 1'-0"



**A6.0-10 TRASH ENCLOSURE PLAN**  
SCALE: 1/8" = 1'-0"



**A6.0-11 PLAN DETAIL**  
SCALE: 3" = 1'-0"

**A6.0-12 ELEVATION**  
SCALE: 1/4" = 1'-0"

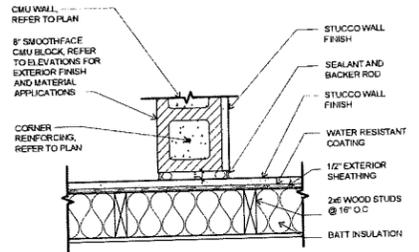
**A6.0-13 WALL SECTION**  
SCALE: 1/2" = 1'-0"

**A6.0-14 ELEVATION**  
SCALE: 1/4" = 1'-0"

REFER TO ELEVATIONS SHEET A23 FOR REFERENCE KEY NOTES

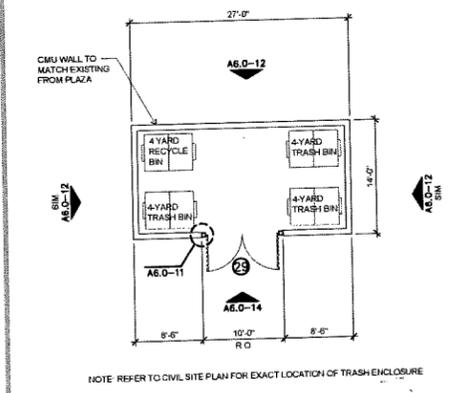
REFER TO ELEVATIONS SHEET A23 FOR REFERENCE KEY NOTES

REFER TO ELEVATIONS SHEET A23 FOR REFERENCE KEY NOTES



**A6.0-12 ELEVATION**  
SCALE: 1/4" = 1'-0"

**A6.0-13 WALL SECTION**  
SCALE: 1/2" = 1'-0"



**A6.0-14 ELEVATION**  
SCALE: 1/4" = 1'-0"

**wd PARTNERS**  
brand · operations · build  
15266 ARMSTRONG AVE  
SUITE 100  
IRVINE, CA 92618  
949 753 1671  
WDPARTNERS.COM

4D PROTOTYPE  
OPEN CEILING

**BJ'S RESTAURANT & BREWHOUSE**  
**'Market Center'**  
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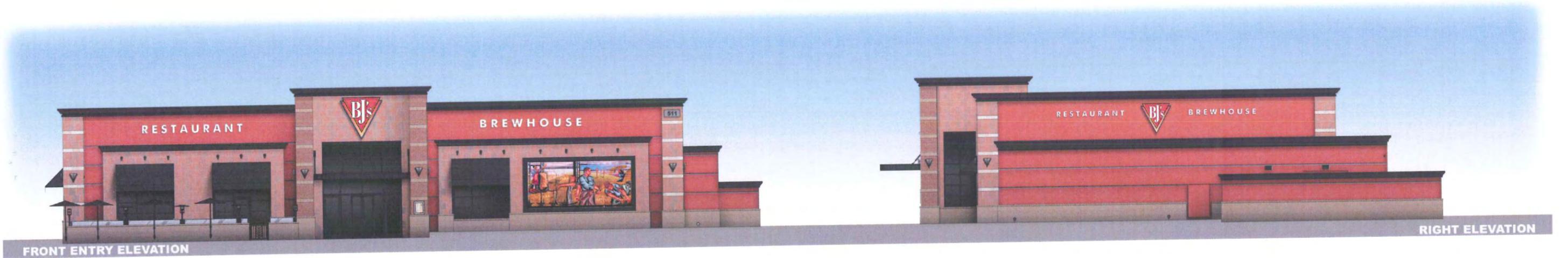
REVISIONS

WD PROJECT: 8J58J0185  
PERMIT ISSUE DATE: 09/18/12  
HEALTH SUBMITTAL: 09/18/12  
BD ISSUE DATE:  
CONSTRUCTION SET:

**A6.0**

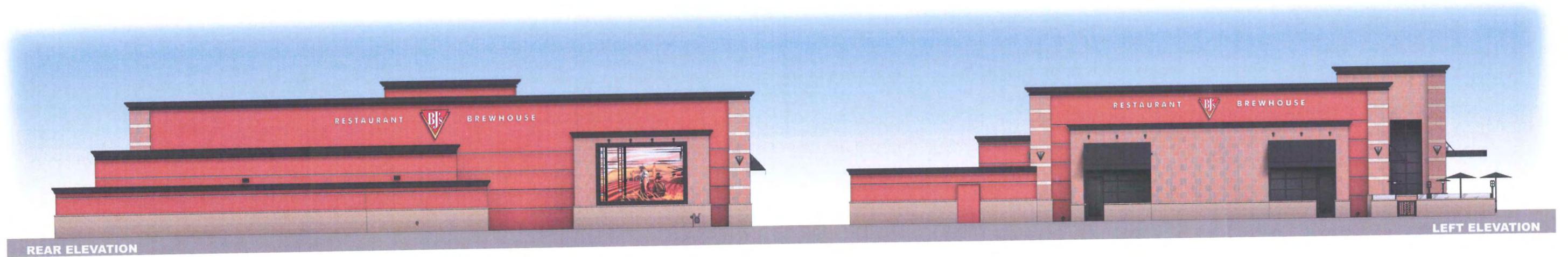
TRASH/SERVICE YARD PLAN





FRONT ENTRY ELEVATION

RIGHT ELEVATION



REAR ELEVATION

LEFT ELEVATION

- 

RESOURCE BUILDING MATERIALS  
ROSE LIMESTONE  
16"x16" TILE VENEER  
TOWER AND PILASTERS
- 

RESOURCE BUILDING MATERIALS  
AMBER GOLD  
WAINSCOT
- 

ENTRY TOWER PILASTER  
BELDEN BRICK Co.  
COLOR:  
ADMIRAL RED VELOUR
- 

STUCCO  
DUNN-EDWARDS  
COLOR: ARABIAN RED  
MAIN BUILDING FIELD
- 

WAINSCOT/SOLDIER  
BELDEN BRICK Co.  
COLOR: TUMBLEWEED
- 

COLOR: BLACK  
METAL CANOPIES
- 

CORNICE  
DUNN EDWARDS  
COLOR: 'BLACK' FLAT

NOTE: BUILDING MATERIALS SHOWN ARE REPRESENTATIONAL ONLY AND DO NOT REFLECT ENVIRONMENTAL VARIABLES.



## BJ's Restaurant & Brewhouse

'Market Center' 511 Coleman Ave.  
San Jose, California 95110

