

STAFF REPORT
PLANNING COMMISSION

FILE NO.: PDC11-022

Submitted: November 8, 2011

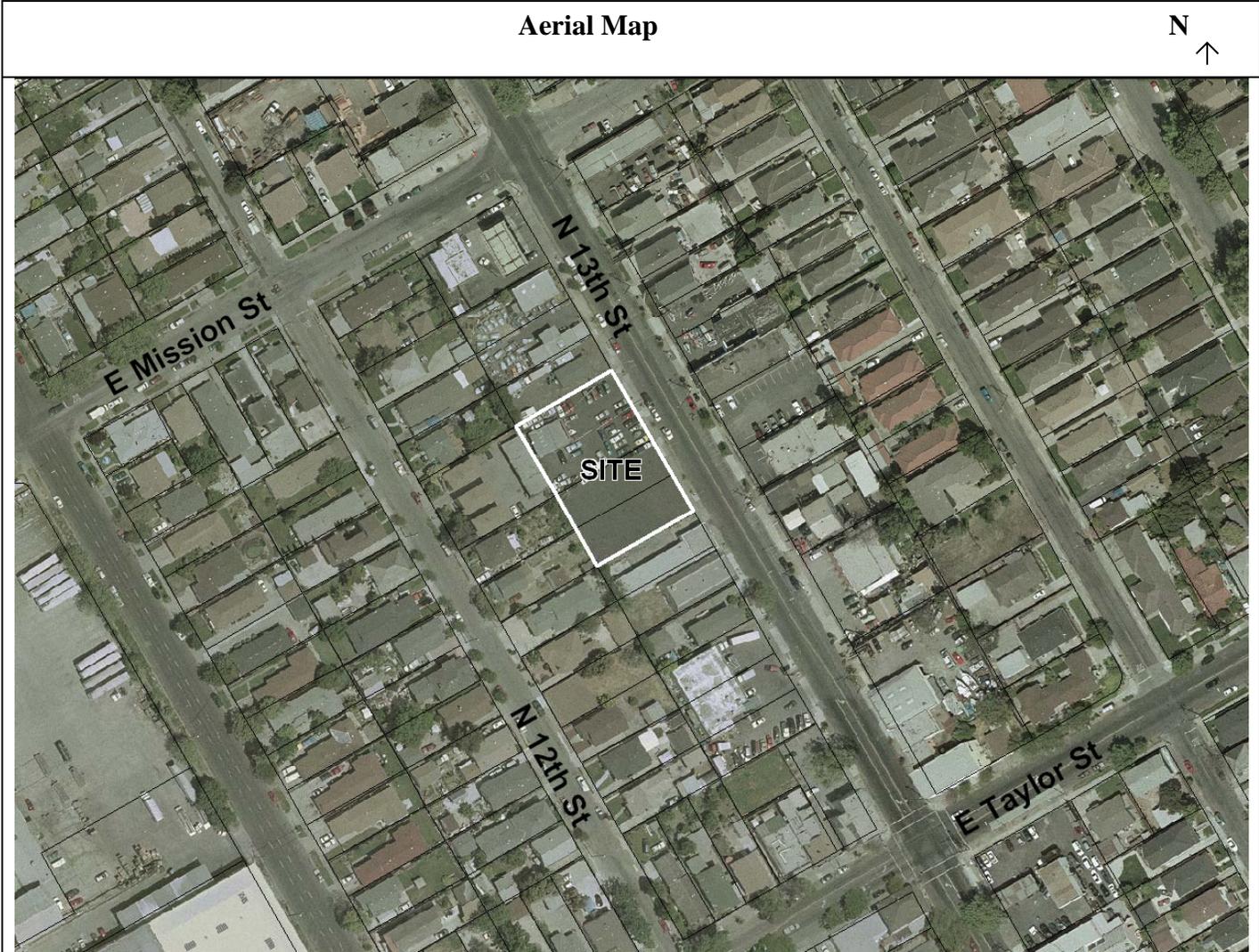
PROJECT DESCRIPTION:

A Planned Development Zoning application to rezone the subject 0.53 gross acre site from the CP – Commercial Pedestrian Zoning District to the A(PD) Planned Development Zoning District to allow development of a 7,700 square foot retail use (AutoZone).

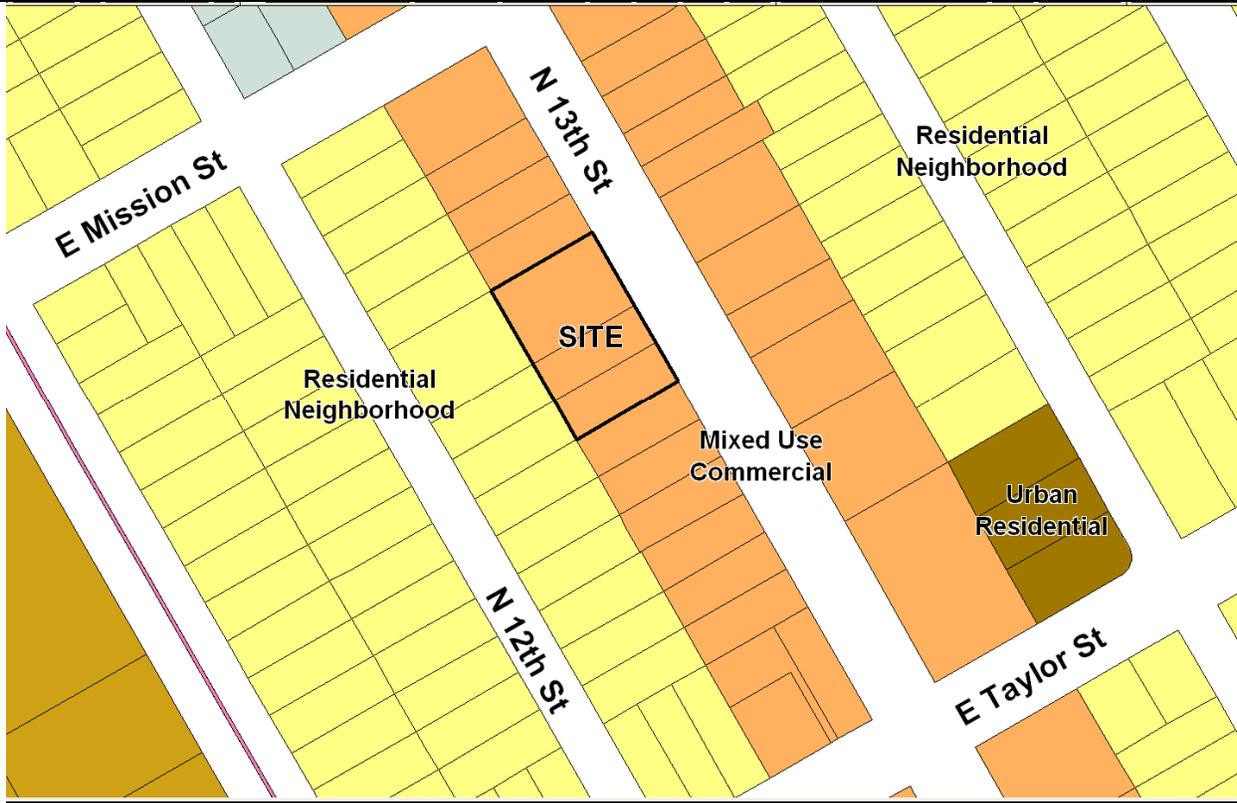
LOCATION:

West side of North 13th Street, approximately 260 feet southerly of East Mission Street.

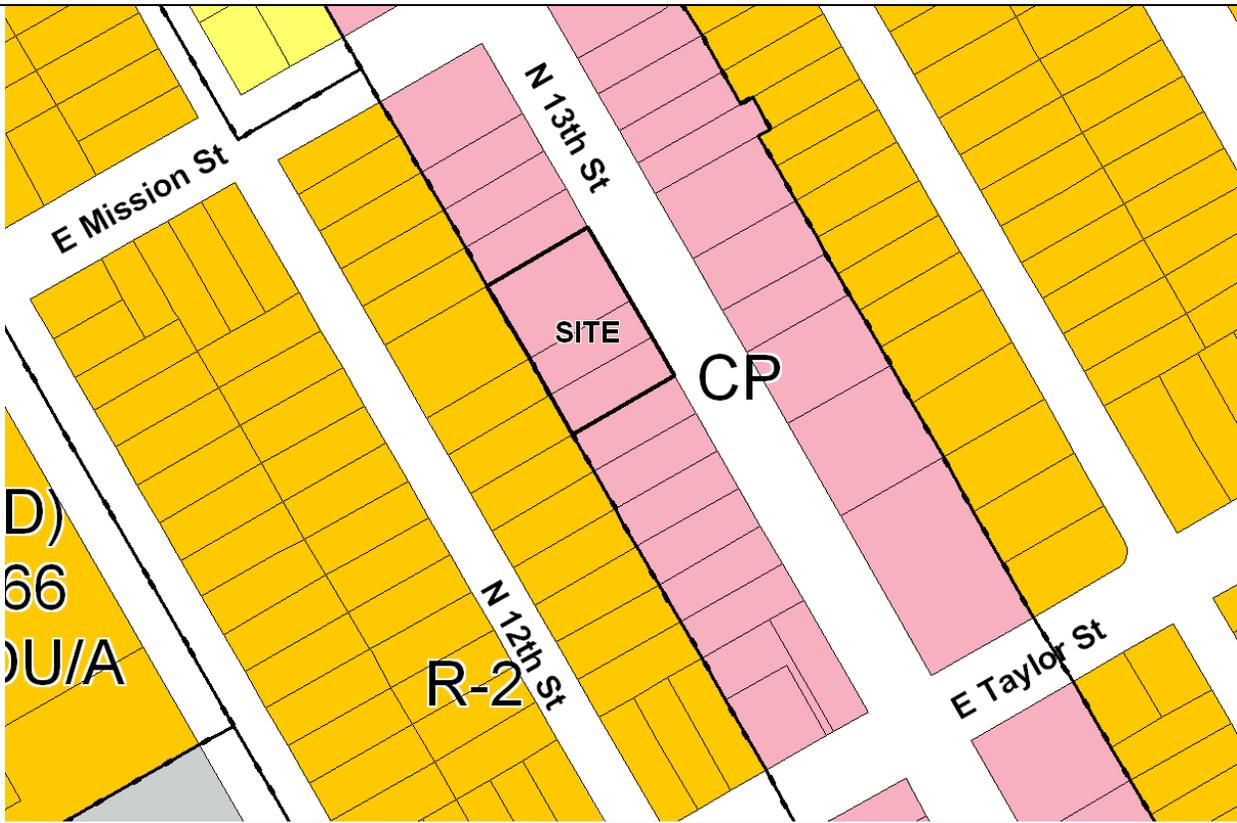
Zoning	CP – Commercial Pedestrian
Proposed Zoning	A(PD) Planned Development
General Plan	Mixed Use Commercial
Council District	3
Annexation Date	March 27, 1850 (Original City)
SNI	13 th Street
Historic Resource	NA
Specific Plan	NA



ENVISION SAN JOSE 2040 GENERAL PLAN



ZONING



RECOMMENDATION

Planning staff recommends that the Planning Commission find that the project is in conformance with the California Environmental Quality Act (CEQA) and recommend to the City Council approval of the proposed Planned Development Rezoning on the subject site for the following reasons:

1. The proposed project is consistent with the General Plan Land Use/Transportation Diagram designation of Mixed Use Commercial, which is primarily intended to accommodate neighborhood serving retail or commercial office uses with or without residential activity as a secondary use.
2. The conceptual design of the proposed project is consistent with the intent of the Commercial Design Guidelines and the 13th Street SNI Improvement Plan.
3. The proposed project was found to be exempt from environmental review under Section 15303(c), New Construction of Small Structures, of the State Guidelines for Implementation of CEQA.

BACKGROUND

On November 8, 2011, the applicant, Phillip Record, on behalf of AutoZone, applied for a Planned Development Rezoning of the subject site to allow development of a 7,700 square foot retail building. The subject property is currently vacant with one small commercial building in the northwest corner of the site. Single-family attached (duplexes) and detached residences are located behind the subject site to the west. Commercial uses are adjacent to the north, south, and across North 13th Street to the east.

The Planned Development Rezoning is being proposed primarily as a means to get relief from the 25-foot rear setback requirement for buildings and structures within the CP – Commercial Pedestrian Zoning District.

Staff worked with the project architect through four plan revisions to explore alternative site and/or building designs to both meet the intent of the Commercial Design Guidelines and meet the needs of the applicant. The current conceptual site plan submitted on June 11, 2012 is a hybrid of the previous design iterations and shows the proposed 7,700 square foot one-story building sitting on the northerly half of the site with a 10-foot setback to the rear (west) and side (north) and no setback along the street frontage. The parking lot for the proposed use and a wide landscaped area along the southerly property line occupy the remainder of the site.

ANALYSIS

The proposed rezoning was analyzed with respect to: 1) conformance with the Envision San José 2040 General Plan, 2) conformance with the Commercial Design Guidelines with respect to Site Design and Architecture and in consideration of the 13th Street SNI Improvement Plan, and 4) conformance with the California Environmental Quality Act (CEQA).

Envision San Jose 2040 General Plan Conformance

The subject site is designated as Mixed Use Commercial on the General Plan Land Use/Transportation Diagram. The proposed new 7,700 square foot retail store is consistent with the Mixed Use Commercial designation in that properties with this designation support development of neighborhood serving retail and office as primary uses with or without residential as a secondary use.

Commercial Design Guidelines and 13th Street SNI Improvement Plan

Site Design

To protect residential privacy and to reduce visual mass, the City's Commercial Design Guidelines (Design Guidelines) suggest that the maximum height of commercial buildings adjacent to single-family (attached and detached) residential properties should be 1 ½ feet of setback for each 1 foot of building height except that one-story commercial buildings may be placed at the setback applicable to the adjacent residential development. The 13th Street SNI Improvement Plan (Improvement Plan) states that rear setbacks of buildings proposed along the 13th Street corridor should be consistent with adjoining homes. The residential development to the rear of the project site is within the R-2 Residential Two-Family Zoning District, which has a 25-foot rear setback requirement.

Requiring a 25-foot rear setback for the proposed project is not necessary to meet the intent of the Design Guidelines and the Improvement Plan with respect to protecting privacy and reducing visual mass from the adjacent residential properties. The conceptual plans show a one-story building located on a portion of the project site that interfaces with an existing one-story carport structure that serves three pairs of two-story duplex units on a single approximately 0.26 acre site. It is unlikely that this particular residential site would redevelop in the foreseeable future leading to a potential change in interface given that the current density (approximately 23 DU/AC) far exceeds the typical pattern of the neighborhood, which generally matches the Residential Neighborhood General Plan designation (8 DU/AC).

A development standard requiring a minimum 10-foot rear setback for one-story building elements along the rear property line shared with the parcel that includes the existing carport and duplexes, should be sufficient to meet the intent of the Design Guidelines and Improvement Plan for protecting privacy. The design of the one-story building should be further refined at the Planned Development Permit stage to ensure that the visual mass of the building within the typical 25-foot rear setback area is reduced to the greatest extent feasible, while still achieving the applicant's desired minimum interior store height requirements.

The conceptual site plan shows the remainder of the site occupied by parking and landscaping. This area is adjacent to existing single-family detached residential backyards. Although the conceptual plans do not show a building located along this interface, the development standards should address this possibility and require strict conformance with the Design Guidelines and Improvement Plan.

Ideally parking lots should be designed to allow through circulation. In this case, given the site constraints and since the proposal is a relatively small single-tenant use it is acceptable to have a dead-end aisle as long as there is adequate provision for vehicle turn-around at the end of the aisle. The conceptual site plan shows a delivery and garbage/recycling truck turn-around area at the end of the drive aisle, which can be used for other vehicles in the event that someone drives to the end of the row and does not find an available parking space.

Although the conceptual site design shows the proposed building with a 10-foot side setback from the northerly property line shared with the adjacent commercial parcel, the development standards should

reflect what would be allowed by the Design Guidelines (no setback) and what is also called for in the Improvement Plan as a side yard with little or no setback. The setback should be limited to the minimum width necessary for any required utilities, drainage, maintenance, and/or architectural articulation. An overly large setback along a long unattended portion of the building that has poor visibility from the street can become a nuisance area.

Architecture

The conceptual plans enhance the pedestrian experience along the 13th Street frontage by locating the building at the front property line and including a combination of mostly clear glass storefront windows allowing visibility into the store and spandrel (opaque) glass on the remainder of the elevation.

The architecture should be refined at the Planned Development Permit stage to further define and distinguish the pedestrian scale base elements of the building from the top portions of the building.

California Environmental Quality Act (CEQA)

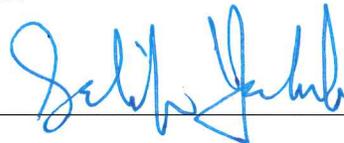
The project was found to be exempt from environmental review under Section 15303(c), New Construction of Small Structures, of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), which exempts the construction and location of limited numbers of new, small facilities or structures including the construction of stores, motels, offices, restaurants or similar structures, totaling up to four buildings not exceeding 10,000 square feet in floor area.

The proposed small 7,700 square foot retail building is a permitted use in the current CP – Commercial Pedestrian Zoning District, will not involve the use of significant amounts of hazardous substances, is located in an area where all necessary public services and facilities are available, and the surrounding area is not environmentally sensitive.

PUBLIC OUTREACH/INTEREST

Property owners and occupants within a 500-foot radius were sent public hearing notices for the Planning Commission and City Council hearings. This staff report has been posted on the City's web site. Signage has been posted at the site to inform the public about the proposed change. Staff has been available to discuss the proposal with interested members of the public.

Project Manager: John W. Baty, AICP **Approved by:** _____



Date: _____

6/13/2012

Owner / Applicant:	Attachments:
Jesus and Virginia Fernandez 15000 Rolfe Court San José, CA 95127	Development Standards
Phillip Record 123 S. Front Street, Dept. 8320 Memphis, TN 38103	

FILE NO. PDC11-022
AUTOZONE
DEVELOPMENT STANDARDS
6-13-12

<The following notes are to be incorporated on the final General Development Plan upon recommendation by the Planning Commission and City Council Approval>

In any cases where the graphic plans and text may differ, this text takes precedence.

ALLOWED USES

- Permitted, Conditional and Special uses in the CP-Commercial Pedestrian Zoning District of Title 20 of the San Jose Municipal Code, as amended. Conditional and Special uses as identified in the CP-Commercial Pedestrian Zoning District shall be subject to approval by the Planning Director with a Planned Development Permit or Amendment.

DEVELOPMENT STANDARDS

SETBACKS

- *Front and Side Setbacks-*
Conform to those identified for the CP – Commercial Pedestrian Zoning District per City of San José Municipal Code Chapter 20.40 Parts 3, 4 & 5, as amended.
- *Rear Setback along Property Line Shared with Single-family Attached Units (duplexes)-*
10-feet for one-story elements, 25-feet for two story elements
- *Rear Setback along Property Line Shared with Single-family Detached Units-*
Conform to the Commercial Design Guidelines and 13th Street SNI Improvement Plan

MAXIMUM BUILDING HEIGHT:

- 30 feet and/or 2 stories

PARKING REQUIREMENTS

- Provide on-site parking, including automobile, bicycle, motorcycle and clean air vehicle parking, in accordance with Chapter 20.90 (Parking and Loading) of the City of San José Municipal Code, as amended.

PUBLIC WORKS

PUBLIC WORKS CLEARANCE FOR BUILDING PERMIT(S): Prior to the issuance of Building permits, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.

1. **Minor Improvement Permit:** The public improvements conditioned as part of this permit require the execution of a Minor Street Improvement Permit that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This permit includes privately engineered plans, insurance, surety deposit, and engineering and inspection fees.
2. **Transportation:** This project is subject to the City's US-101/Oakland/Mabury Transportation Development Policy. The US-101/Oakland/Mabury Transportation Development Policy requires new residential and commercial developments that generate vehicular trips at either of the Policy Interchanges to pay a Traffic Impact Fee (TIF) towards the upgrade of US-101/Oakland Interchange and construction of US-101/Mabury Interchange. The 2012 TIF is \$32,595 for each project peak hour trip that travels through either the US-101/Oakland or US-101/Mabury Interchanges. This fee is subject to an annual escalation on January 1st per the Engineering News-Record Construction Cost Index for San Francisco. Based on 2012 rate and 2 trips, the project's TIF is approximately \$65,190.
3. **Grading/Geology:**
 - a) A grading permit is required prior to the issuance of a Public Works Clearance. The construction operation shall control the discharge of pollutants (sediments) to the storm drain system from the site. An erosion control plan may be required with the grading application.
 - b) The Project site is within the State of California Seismic Hazard Zone. A geotechnical investigation report addressing the potential hazard of liquefaction must be submitted to, reviewed and approved by the City Geologist prior to issuance of a grading permit or Public Works Clearance. The investigation should be consistent with the guidelines published by the State of California (CGS Special Publication 117A) and the Southern California Earthquake Center (SCEC, 1999). A recommended depth of 50 feet should be explored and evaluated in the investigation.
 - c) At PD permit stage, depress the back-of-walk grades at the driveway by at least 2 inches or increase the building's finish floor elevation by at least 2 inches to achieve a finish floor elevation that is more than 6 inches above the overland release elevation.
4. **Stormwater Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of site design measures, source controls, and numerically-sized Low Impact Development (LID) stormwater treatment measures to minimize stormwater pollutant discharges.
 - a) At PD permit stage, revise the Stormwater Control Plan to comply with the following:
 - i) Provide treatment for the widened driveway area. Post-construction tree credits may apply.
 - ii) Install a junction box between the proposed pump and through-curb drain.
 - iii) Show latest bioretention detail from SCVURPPP C.3 Stormwater Handbook dated April 2012.
 - b) At PD permit stage, submit updated C3 Data Form and Infiltration/Harvesting and Use Feasibility Screening Worksheet.

- c) Final inspection and maintenance information on the post-construction treatment control measures must be included on the final Stormwater Control Plan.
5. **Flood: Zone D** The project site is not within a designated Federal Emergency Management Agency (FEMA) 100-year floodplain. Flood zone D is an unstudied area where flood hazards are undetermined, but flooding is possible. There are no City floodplain requirements for zone D.
6. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
7. **Undergrounding:** The In Lieu Undergrounding Fee shall be paid to the City for all frontages adjacent to 13th Street prior to issuance of a Public Works Clearance. One hundred percent (100%) of the base fee in place at the time of payment will be due. Currently, the 2012 base fee is \$412 per linear foot of frontage and is subject to change every January 31st based on the Engineering News Record's 20 City Average Cost Index. The project will be required to pay the current rate in effect at the time the Public Works Clearance is issued. (Based on the 2012 rate, the fee is \$75,775).
8. **Street Improvements:**
 - a) Remove and replace curb, gutter, and sidewalk along project frontage.
 - b) Concrete curbs that extend into the public right-of-way are not allowed.
 - c) Close unused driveway cuts.
 - d) Proposed driveway width to be 26'.
 - e) Repair, overlay, or reconstruction of asphalt pavement may be required. The existing pavement will be evaluated with the street improvement plans and any necessary pavement restoration will be included as part of the final street improvement plans.
9. **SNI:** This project is located within the Thirteenth Street SNI area. Public improvements shall conform to the approved EIR and neighborhood improvement plan.
10. **Sanitary:** Submit a conceptive sanitary sewer plan at the PD stage.



**STORE DEVELOPMENT
STORE # 4096**

**GENERAL DEVELOPMENT PLAN -
EXHIBIT "C"**

DRAWING INDEX

SITE DRAWING

1	TITLE SHEET
2	LAND USE PLAN
3	CONCEPTUAL SITE PLAN
4	CONCEPTUAL GRADING AND DRAINAGE PLAN
4c	CONCEPTUAL STORMWATER CONTROL PLAN
5	CONCEPTUAL FLOOR PLAN
5a	CONCEPTUAL BUILDING ELEVATIONS
6	CONCEPTUAL LANDSCAPE ARCHITECTURAL PLAN



BUILDING AREA DATA

BUILDING AREA:	7,700 SF.
FAR:	33.6%

SITE DATA

SITE AREA:	22,918 SF. (.53 AC)
CURRENT ZONING:	CP--PEDESTRIAN COMMERCIAL
PROPOSED ZONING:	PDP--PLANNED DEVELOPMENT PERMIT
BUILDING AREA:	7,700 SF.
LANDSCAPE AREA:	5,222 SF. (22.7%)
PARKING / LOADING:	8,274 SF. (36.1%)
SIWALKS:	1,443 SF. (6.3%)

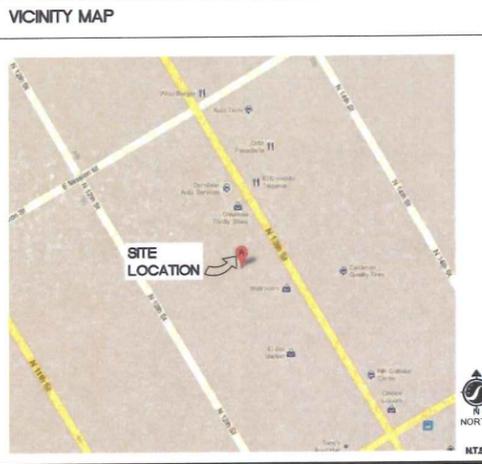
PARKING

PARKING REQUIRED:	
RETAIL SALES:	BASED ON NET 85% OF GROSS BUILDING 7,700 SF x .85 = 6,545 SF. 6,545 SF./400 = 17 STALLS
PARKING PROPOSED:	
TOTAL:	21 STANDARD (8.5'x17') 1 ACCESSIBLE (9'x18') 22 STALLS

MARK	DATE	REVISIONS	INITIAL
▲	06/08/12	PDZ RESUBMITTAL 7,700 BLDG	GMS
▲	01/30/12	PDZ RESUBMITTAL	GMS
▲	11/08/11	PDZ SUBMITTAL	GMS
▲	08/19/11	PRE-APP REVIEW	GMS

DESIGNERS OF RECORD

ARCHITECTURAL SITE:	STANTEC ARCHITECTURE INC. GARY SEMLING (707) 765-1660
SURVEYOR:	WILSON LAND SURVEYS, INC. KEN WILSON (408) 847-7607
LANDSCAPE:	STANTEC ARCHITECTURE INC. MAISHA RUTH (707) 765-1660
CIVIL:	YANG CONSULTING GROUP, INC. ANDREW YANG (510) 730-2080
ARCHITECTURAL BUILDING:	AUTOZONE STORE DEVELOPMENT PHIL PECORD (901) 495-7362



PROJECT DESCRIPTION

AUTOZONE STORE DEVELOPMENT IS PROPOSING THE FOLLOWING:

- NEW AUTOZONE RETAIL STORE
- (N) ON-SITE PARKING
- (N) DRIVEWAY
- (N) DUMPSTER ENCLOSURE
- (N) PLANTERS WITH LANDSCAPING

PROJECT DATA

PROJECT NAME: AUTOZONE AUTO PARTS

PROJECT ADDRESS: 761 & 777 N. 13TH STREET
SAN JOSE, CA

FACILITY OWNER: AUTOZONE INC.
123 S. FRONT STREET
MEMPHIS, TN. 38103-3607

PROPERTY OWNER: JESUS FERNANDEZ
19000 ROLFE CT.
SAN JOSE, CA 95127

ASSESSOR PARCEL NUMBER (APN): 249-11-033 LOTS 24 & 25
249-11-034 & 035 LOTS 26 & 27

ZONING: CP - PEDESTRIAN COMMERCIAL

PROJECT DIRECTORY

AGENCY	CONTACT NAME	PHONE NUMBER
ARCHITECT'S REPRESENTATIVE	GARY SEMLING	(707) 765-1660
AUTOZONE REPRESENTATIVE	PHIL PECORD	(901) 495-7362
PLANNING	JOHN BATY CITY OF SAN JOSE PLANNING DEPARTMENT 200 E. SANTA CLARA STREET SAN JOSE, CA 95113	(408) 535-3555

TITLE SHEET

STORE # 4096
761 + 777 N. 13th Street
SAN JOSE, CA

AutoZone
STORE DEVELOPMENT
DEPT. 8320
123 S. FRONT ST., MEMPHIS, TN. 38103

Stantec Stantec Architecture Inc.
1383 N. McDowell Blvd.
Petaluma, CA U.S.A. 94954
Tel: 707.765.1660
Fax: 707.765.9908
www.stantec.com

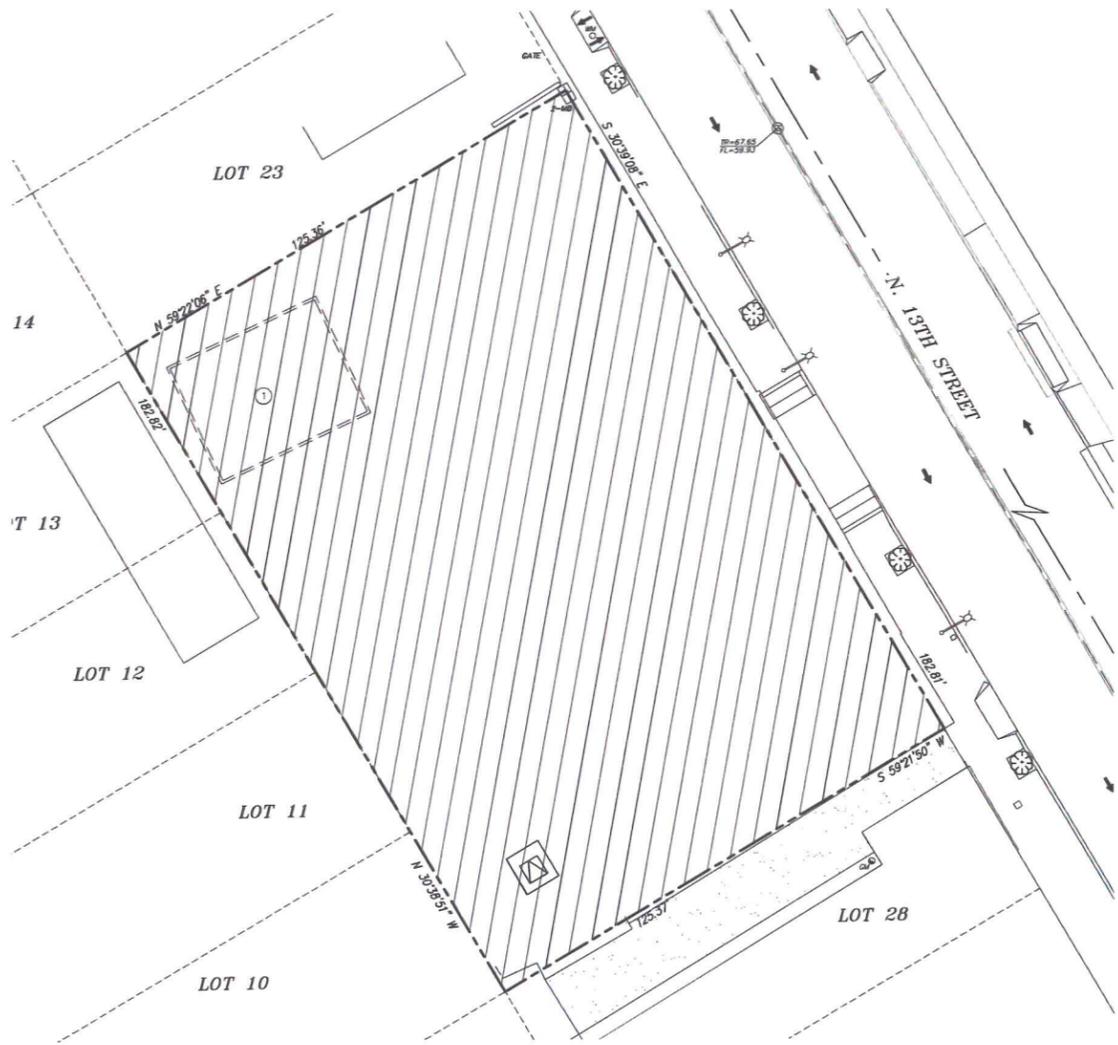
STANTEC REVIEW	INITIAL	DATE	DATE: 06/01/11
PRELIMINARY PLANNING			DR. BY: CRB
STEEL BID			APPR.: GMS
BLDG PERMIT			STANTEC#200711005
GENERAL BID			SHEET
PERMIT REV'S			1

CONSTRUCTION
Do not use drawing
for construction
unless initiated

DRAWING No. 200711005-1.dwg Dimcode: 1 LTSoctz:1 Xref: 200711005-2.dwg inofig: VAW-2.dwg Plot: [Time: Jun09,2012-12:17pm LogIn:mstdbook]

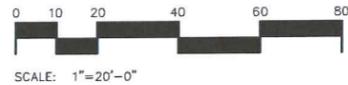
PDC11-022

F:\Project\A-B-C\01\A\A\300711005- Site - 13in - 5/16/11\DWG\3_000711005_2.dwg D:\Scale\1 L:\Scale\0.7 Plot[Time:Jun08,2012-12:17pm Login:rmadocsa]
 Pre-plot:[DEC 06, 2006 11:46-ANA] Xrefs: 2\200711005\2\24356A2\200711005_SITE image: MAP.BIG



GENERAL DEVELOPMENT PLAN – EXHIBIT "C"

LAND USE PLAN



VICINITY MAP



1" = 500'



TITLE LEGAL DESCRIPTION

PARCEL ONE:
 LOTS 24 AND 25 IN BLOCK 3, AS SHOWN AND DELINEATED UPON THAT CERTAIN MAP ENTITLED, "MAP OF BLOCKS 1 AND 2 AND 3 OF THE VESTAL SURVEY, SUBDIVISION BY X.E. BURNS AND COMPANY", MAP FILED ON SEPTEMBER 14, 1887, MAP BOOK B, PAGE 89, SANTA CLARA COUNTY RECORDS.
 APN: 249-11-033

PARCEL TWO:
 LOTS 26 AND 27 IN BLOCK 3, AS DELINEATED AND SO DESIGNATED UPON MAP ENTITLED, "MAP OF BLOCKS 1, 2 AND 3 OF THE VESTAL SURVEY", MAP FILED ON SEPTEMBER 14, 1887, VOLUME "B", AT PAGE 89, SANTA CLARA COUNTY RECORDS.
 APN: 249-11-034 AND 249-11-035

THE PROPERTY DESCRIBED HEREON IS THE SAME PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-487917-NAS, EFFECTIVE NOVEMBER 3, 2011.

LEGEND

- BOUNDARY OF PROPOSED REZONING
- EXISTING 1-STORY BUILDING TO BE DEMOLISHED
- COMMERCIAL (0.53 AC)

BUILDING AREA DATA

BUILDING AREA: 7,700 SF.

FAR: 33.6%

SITE DATA

SITE AREA: 22,918 SF. (.53 AC)
 CURRENT ZONING: CP-PEDESTRIAN COMMERCIAL
 PROPOSED ZONING: PDP-PLANNED DEVELOPMENT PERMIT
 BUILDING AREA: 7,700 SF.
 LANDSCAPE AREA: 5,222 SF. (22.7%)
 PARKING / LOADING: 8,274 SF. (36.1%)
 SIDEWALKS: 1,443 SF. (6.3%)

PARKING

PARKING REQUIRED:
 RETAIL SALES: BASED ON NET 85% OF GROSS BUILDING
 7,700 SF x .85 = 6,545 SF.
 6,545 SF./400 = 17 STALLS

PARKING PROPOSED: 21 STANDARD (8.5'x17')
 TOTAL: 1 ACCESSIBLE (9'x18')
 22 STALLS

PREPARED FOR: **AutoZone STORE DEVELOPMENT**

Store No.: 4096

761 & 777 N. 13th Street
 SAN JOSE CA 95112

LAND USE PLAN

SCALE: 1"=20'-0"

REVISIONS

1	PRE APP REVIEW	08/19/11
2	PDZ SUBMITTAL	11/08/11
3	PDZ RESUBMITTAL	01/30/12
4	PDZ RESUBMITTAL	06/08/12

5.
6.
7.

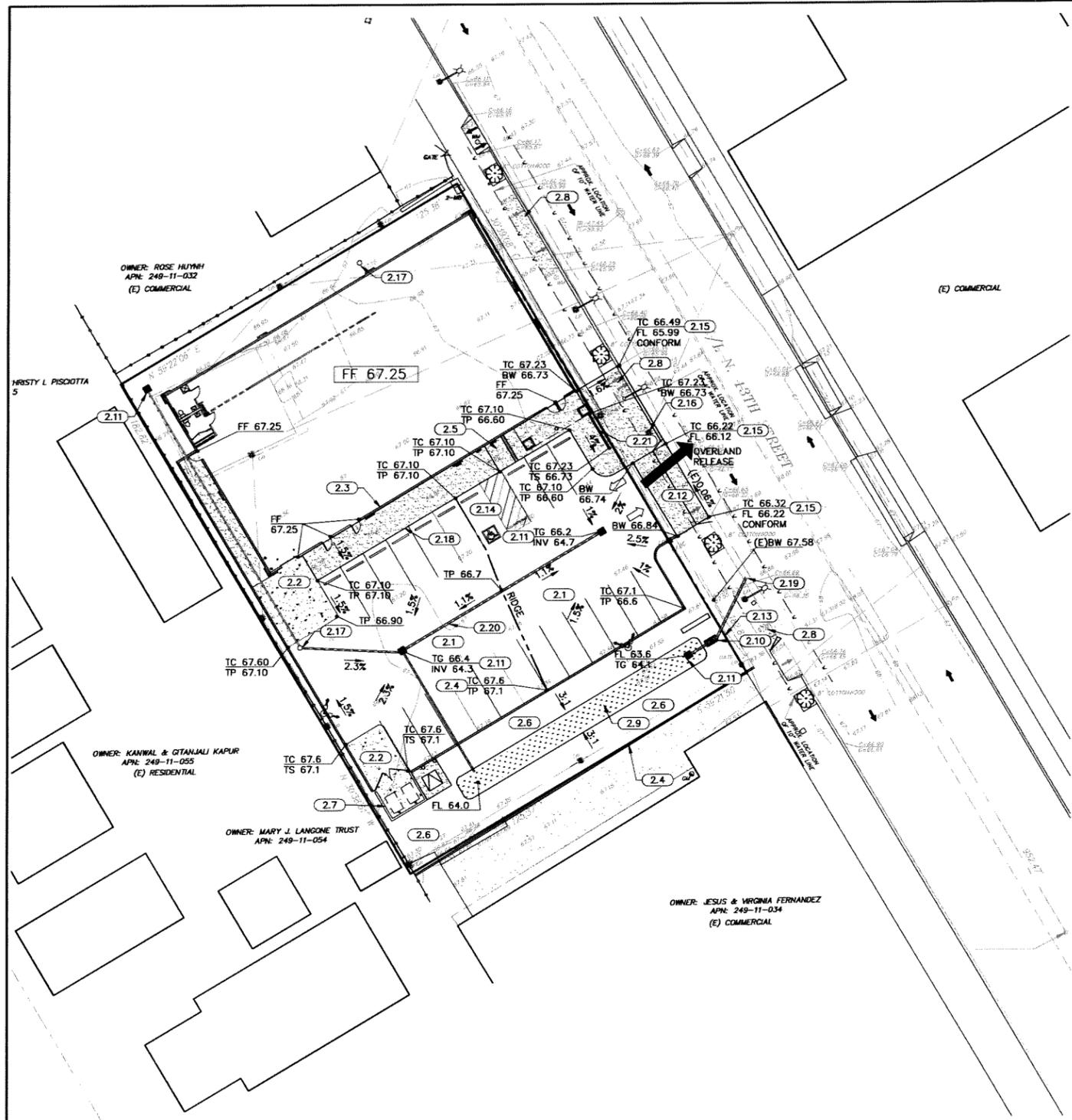
ARCHITECT: GMS

DRAFTSMAN: CRB

CHECKED BY:



Stantec Architecture Inc. | Tel. 707.765.1660
 1383 N. McDowell Blvd. | Fax. 707.765.9908
 Petaluma, CA U.S.A. 94954 | www.stantec.com



GRADING LEGEND

	EXISTING SPOT ELEVATION
	PROPOSED ELEVATION
	DIRECTION OF DRAINAGE FLOW
	PROPERTY LINE
	RIDGE
	DROP INLET
	SIDEWALK CONCRETE PAVEMENT
	NEW STORM DRAIN
	BIO-RETENTION SWALE

BW	BACK OF WALK	GB	GRADE BREAK
HP	HIGH POINT	TC	TOP OF CURB
FL	FLOW LINE	TG	TOP OF GRATE
INV	INVERT ELEVATION	TP	TOP OF PAVEMENT
LIP	EDGE OF SWALE OR GUTTER	FF	FINISHED FLOOR
TS	TOP OF SLAB		

KEY NOTES

- 2.1 NEW ASPHALT PAVEMENT.
- 2.2 NEW CONCRETE PAVEMENT.
- 2.3 NEW RAISED CONCRETE WALK.
- 2.4 NEW CONCRETE CURB.
- 2.5 ACCESSIBLE RAMP, 8.33% MAX. SLOPE, WITH A 2% MAXIMUM CROSS-SLOPE.
- 2.6 LANDSCAPE AREA.
- 2.7 TRASH ENCLOSURE.
- 2.8 NEW OFFSITE CONCRETE SIDEWALK, CURB & GUTTER PER CITY OF SAN JOSE STANDARDS.
- 2.9 BIO-RETENTION, DETAIL REFER TO SHEET 4c.
- 2.10 PUMP STATION.
- 2.11 24" X 24" DROP INLET.
- 2.12 NEW COMMERCIAL DRIVEWAY PER CITY OF SAN JOSE STANDARDS.
- 2.13 SCREEN WALL PER ARCHITECTURAL PLAN.
- 2.14 ACCESSIBLE PARKING SPACE, 2% MAX. SLOPE IN ALL DIRECTIONS.
- 2.15 LIMIT OF IMPROVEMENT, CONFORM TO EXISTING GRADES.
- 2.16 RELOCATE LIGHT POLE.
- 2.17 STORM DRAIN CLEANOUT.
- 2.18 0" FLUSH CURB. ADD TRUNCATED DOMES WHERE NECESSARY.
- 2.19 UNDER SIDEWALK DRAIN.
- 2.20 STORM DRAIN PVC PIPES.
- 2.21 HANDRAIL ON 6" CURB.

SCALE: 1"=20'-0"

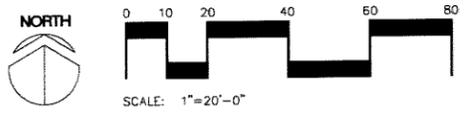
REVISIONS

1	PRE APP REVIEW	08/19/11
2	SUBMITTAL	11/08/11
3	POZ RESUBMITTAL	01/30/12
4	OPTION C	05/31/12
5		
6		
7		

ARCHITECT: GMS
DRAFTSMAN: CRB
CHECKED BY:

FLOOD ZONE NOTE

- 1. THIS PROJECT IS IN FLOOD ZONE X FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) ON IN COMMUNITY - PANEL NO: 06085C 0232H



© COPYRIGHT 1993

Stantec
Stantec Architecture Inc. | Tel: 707.765.1680
1383 N. McDowell Blvd. | Fax: 707.765.9908
Petaluma, CA U.S.A. 94954 | www.stantec.com
Stantec# - 2007111005

AutoZone STORE DEVELOPMENT

PREPARED FOR: AutoZone
Store No: 4096
761 & 777 N. 13th Street
SAN JOSE CA 95112

CONCEPTUAL GRADING AND DRAINAGE PLAN



SCALE: 1"=20'-0"

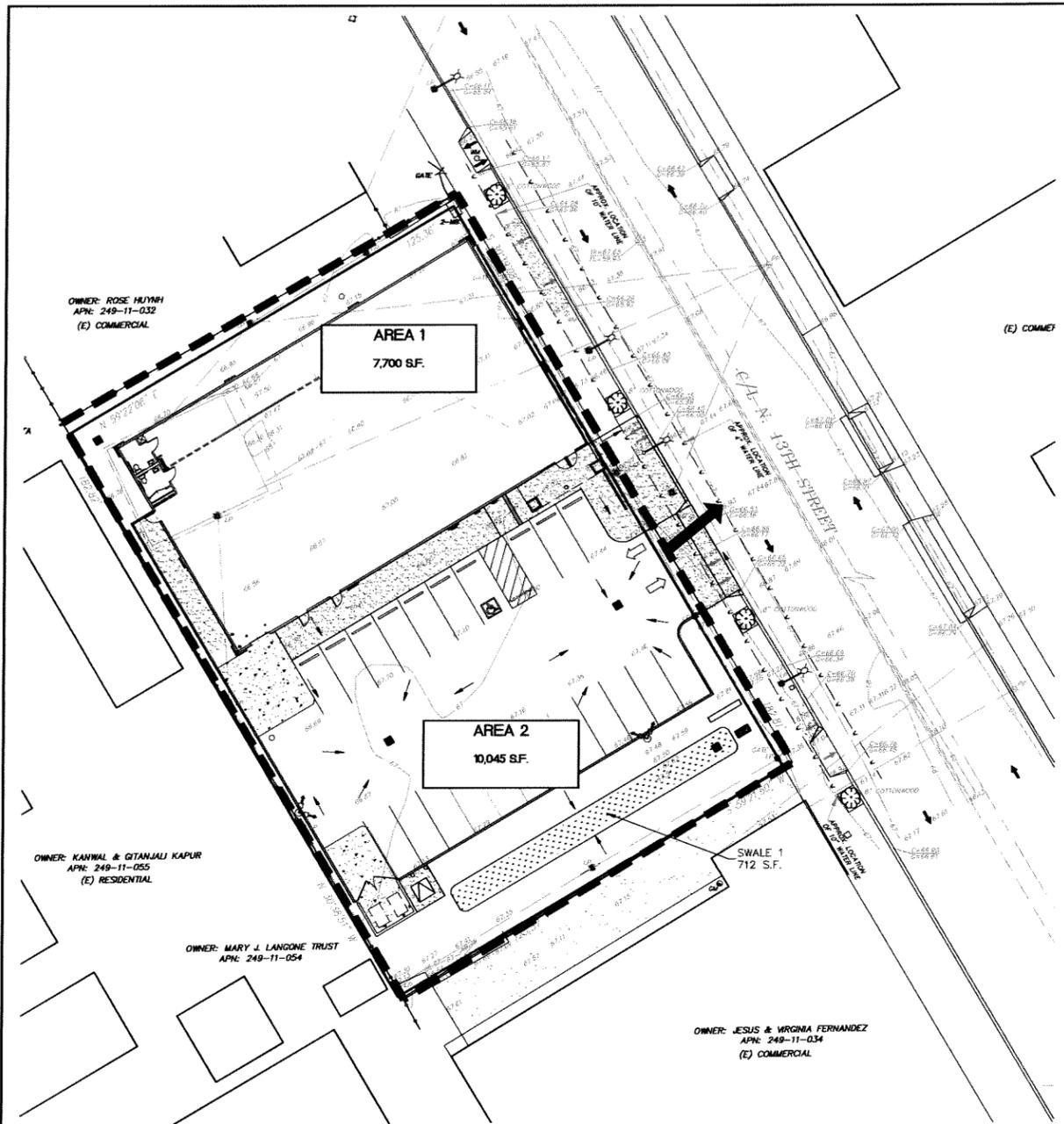
REVISIONS

1	PRE APP REVIEW	08/19/11
2	SUBMITTAL	11/08/11
3	POZ RESUBMITTAL	01/30/12
4	OPTION C	05/31/12
5		
6		
7		

ARCHITECT: GMS
DRAFTSMAN: CRB
CHECKED BY:

4

PRELIMINARY



Page 4
INSTRUCTIONS FOR FILING A PLANNED DEVELOPMENT ZONING

Sheet Number 6 - "Conceptual Landscape Architectural Plan"
Plan of site to include, but not be limited to the following:

- Overall conceptual landscape architectural plan the same scale as the conceptual site plan, showing lawn, ground cover, tree plantings. **Note: This is to include street tree plantings as required by the City of San Jose.** Where landscaping is to serve a particular function, such as a screen or buffer of something specific, a compensation for some site deficiency, or as a focal point or frame.
- The landscape architectural plans shall include a general list of plant materials indicating type of material (canopy tree, screen shrub), and size of material. **Note: Conceptual landscape plans are not typically required for single-family detached residential projects.**

Please include this table on the stormwater/grading plan.

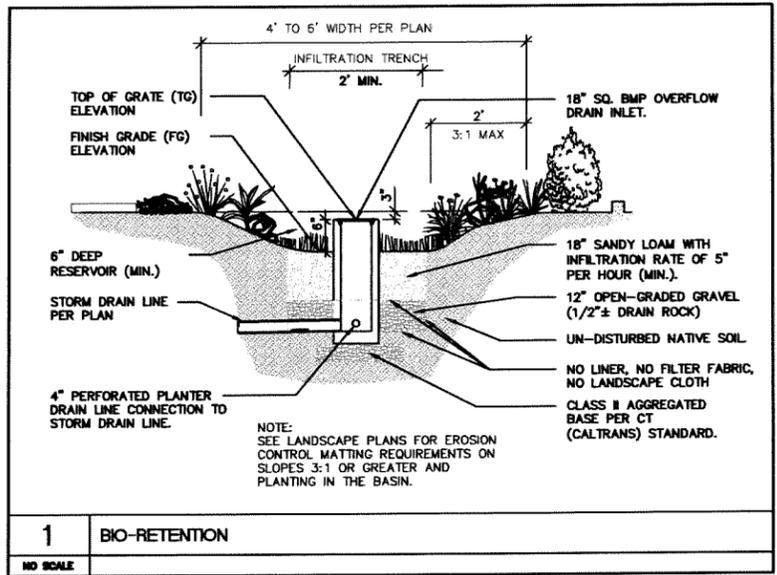
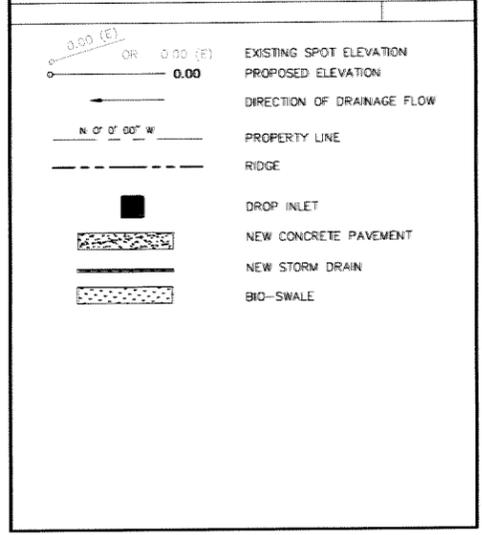
PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE		
	Existing Condition of Site Area Disturbed (square feet)	Proposed Condition of Site Area Disturbed (square feet)
Total Site (acres)	53 ACRES	N/A 53 ACRES
Impervious Surfaces		
Roof Areas	0	7,700
Parking	21,850	10,245
Streets, Patios, Paths, etc.	0	1,184
Streets (public)	0	0
Streets (private)	0	0
Total Impervious Surfaces:	22,915	19,134
Pervious Surfaces		
Landscaped Areas	0	3,784
Pervious Paving	0	0
Other Pervious Surfaces (green roof, etc.)	0	0
Total Pervious Surfaces:	0	3,784
Total Proposed Replaced + New Impervious Surfaces:		19,134
Total Proposed Replaced + New Pervious Surfaces:		3,784

Regulated Project: Any project that disturbs one or more adjacent properties or a total of 10,000 square feet or more of impervious surface area, or any project that disturbs one or more adjacent properties or a total of 10,000 square feet or more of impervious surface area and is subject to the provisions of the California Public Resources Code, Section 26100 or 26101 (99% compliance level as per 2009-2010).

Permitted Project: Any project that disturbs one or more adjacent properties or a total of 10,000 square feet or more of impervious surface area, or any project that disturbs one or more adjacent properties or a total of 10,000 square feet or more of impervious surface area and is not subject to the provisions of the California Public Resources Code, Section 26100 or 26101 (99% compliance level as per 2009-2010).

PLEASE CALL THE APPOINTMENT DESK AT (408) 535-3555 FOR AN APPLICATION APPOINTMENT.

GRADING LEGEND



BMP NUMERIC SIZING CALCULATION

AREA ID	SURFACE	TOTAL AREA (S.F.)	BMP TO BE USED	DESIGN FACTOR	TREATMENT AREA REQUIRED (S.F.)	TREATMENT AREA PROVIDED (S.F.)
AREA 1	ROOF	7,700 (0.18 ACRE)	BIO-RETENTION	0.04	709	712
AREA 2	CONCRETE, ASPHALT PAVING	10,045 (0.23 ACRE)	BIO-RETENTION	0.04		
TOTAL		17,745			709	712

Stantec
Stantec Architecture Inc.
Tel: 707.765.1660
1383 N. McDowell Blvd.
Petaling, CA, U.S.A. 94954
www.stantec.com
Fax: 707.765.9908
Stantec #: 200711005

PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No: 4096
761 & 777 N. 13th Street
SAN JOSE CA 95112
CONCEPTUAL STORMWATER CONTROL PLAN



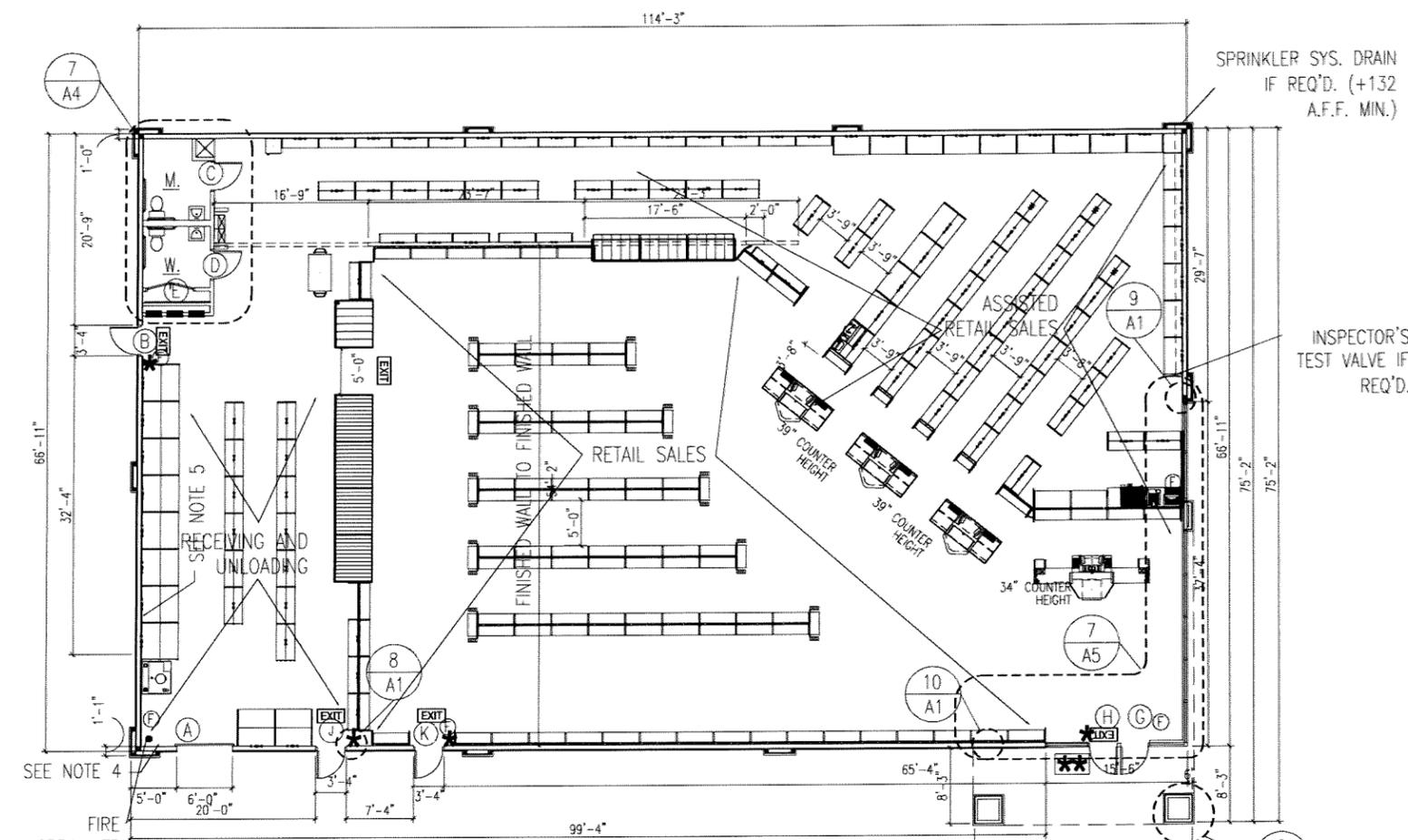
SCALE: 1"=20'-0"

REVISIONS	
1. PRE APP	08/19/11
2. REVIEW	11/08/11
3. SUBMITTAL	01/30/12
4. OPTION C	05/31/12
5.	
6.	
7.	

ARCHITECT: GMS
DRAFTSMAN: CRB
CHECKED BY:
4a

PRELIMINARY

© COPYRIGHT 2007



NOTE:
 2A 10BC FIRE EXTINGUISHER. G.C. INSTALL EITHER ON WALL SURFACE, COLUMN, OR ALUM. MULLION. MTC. HT.=3'-6" A.F.F TO TOP OF EXTINGUISHER.
 EXIT DENOTES LOCATION OF LIGHTED EXIT SIGNS. SEE NOTES COVER SHEET AND LIGHTING PLAN SHEET E-3
 * REFER TO DETAIL 8 SHEET A-3.1 FOR TACTILE EXIT SIGN DETAIL
 ** REFER TO DETAIL 9 SHEET A-3.1 FOR INTERNATIONAL ACCESS SIGN

1/8" = 1'-0"
FLOOR PLAN

- REFER TO STRUCTURAL DRAWINGS FOR ALL DETAILS AND REQUIREMENTS REGARDING FOUNDATIONS, WALL REINFORCING, BOND BEAMS, LINTELS, AND ROOF FRAMING.
- REFER TO CIVIL DRAWINGS FOR LOCATIONS AND DETAILS OF SIDEWALKS, PIPE GUARDS, ETC., AS WELL AS FINISH FLOOR ELEVATION AND EXTERIOR FINISHED GRADES AROUND THE BUILDING.
- INSTALL 6" WIDE, 20 GAUGE GALVANIZED SHEET METAL STRIP BETWEEN THE BACK OF THE GYPSUM BOARD AND THE FACE OF THE METAL STUD AROUND THE ENTIRE PERIMETER OF THE BUILDING, AS WELL AS BOTH SIDES OF THE CURTAIN WALL. TOP OF STRIP TO BE 93" A.F.F. REFER TO SHEET A-4 FOR DETAILS OF CURTAIN WALL.
- SEE SHEET M-2 FOR LOCATION OF NON FREEZE YARD HYDRANT AND INSTALLATION REQUIREMENTS.
- INSTALL 1/2" X 4'-0" X 8'-0" AC PLYWOOD HORIZONTALLY WITH THE LONG EDGE ON THE FLOOR AND THE END JOINT CENTERING ON A STUD. APPLY PLYWOOD TO THE FACE OF GYPSUM BOARD WITH SCREWS TO FACILITATE FUTURE REPLACEMENT. SEE INTERIOR ELEVATIONS SEE 3/A4.
- SEE SPECIFICATIONS FOR INFORMATION ON ITEMS NOT COMPLETELY DELINEATED ON THE DRAWINGS.

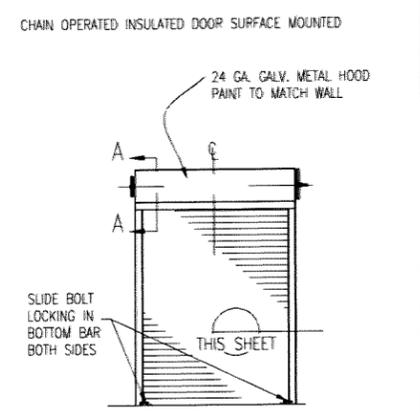
2 FLOOR PLAN NOTES

LOCATION	FLOOR	BASE	WALLS	CLG.	REM.				
	SEALED CONG.	VINYL COMPOSITION TILE	VINYL	QUARRY TILE	GYP. BD.	F.R.P.	PLYWOOD DECK	GYP. BD.	
SALES AREA	●	●	●		●		●		SEE SHEET A-4
REST ROOMS	●		●			●			

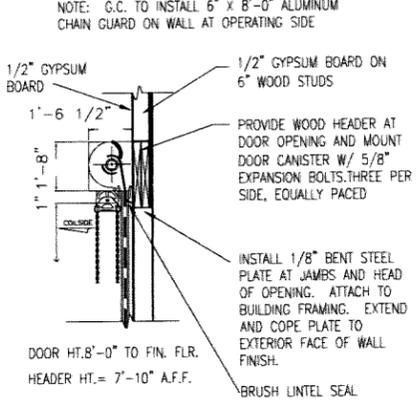
3/16" = 1'-0"
3 ROOM FINISH SCHEDULE

MK	SIZE	TYPE	FRAME	JAMB DET.	HEAD DET.	ADA / EXIT HARDWARE
A	6'-0" x 8'-0"	STEEL OVERHEAD ROLL-UP	STEEL ANGLE	6&7&8/A1	6&7/A1	
B	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	EXIT DEVICE FOR THIS DOOR WILL HAVE AN INTEGRAL SOUNDER, OTHER MAIN DOORS WILL NOT
C	3'-0" x 6'-8" x 1-3/4"	S.C. WOOD UNDERCUT DOOR 1"	HOLLOW METAL	8/A1	8/A1	LEVER HANDLE PRIVACY SETS
D	3'-0" x 6'-8" x 1-3/4"	S.C. WOOD UNDERCUT DOOR 1"	HOLLOW METAL	8/A1	8/A1	LEVER HANDLE PRIVACY SETS
E	2'-6" x 6'-8" x 1-3/4"	S.C. WOOD PAIR REQUIRED	HOLLOW METAL	8/A1	8/A1	UNDERCUT DOOR 1" (PAIR REQUIRED)
G	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM SEE SHEET A-5	ALUMINUM			SEE MANUFACTURER'S SHOP DRAWINGS
H	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM SEE SHEET A-5	ALUMINUM			SEE MANUFACTURER'S SHOP DRAWINGS
J	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	
K	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	

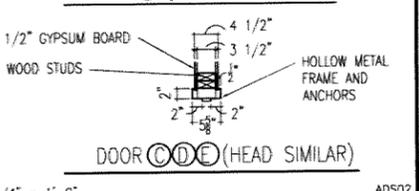
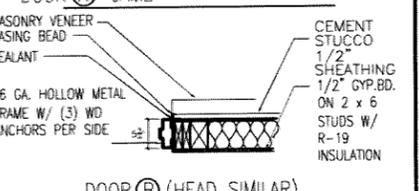
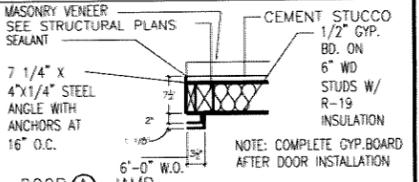
3/32" = 1'-0"
4 DOOR SCHEDULE - HOLLOW METAL DOORS & FRAMES



6 OVERHEAD DOOR ELEVATION



5/16" = 1'-0"
7 OVERHEAD DELIVERY DOOR (A)



3/4" = 1'-0"
8 JAMB DETAILS

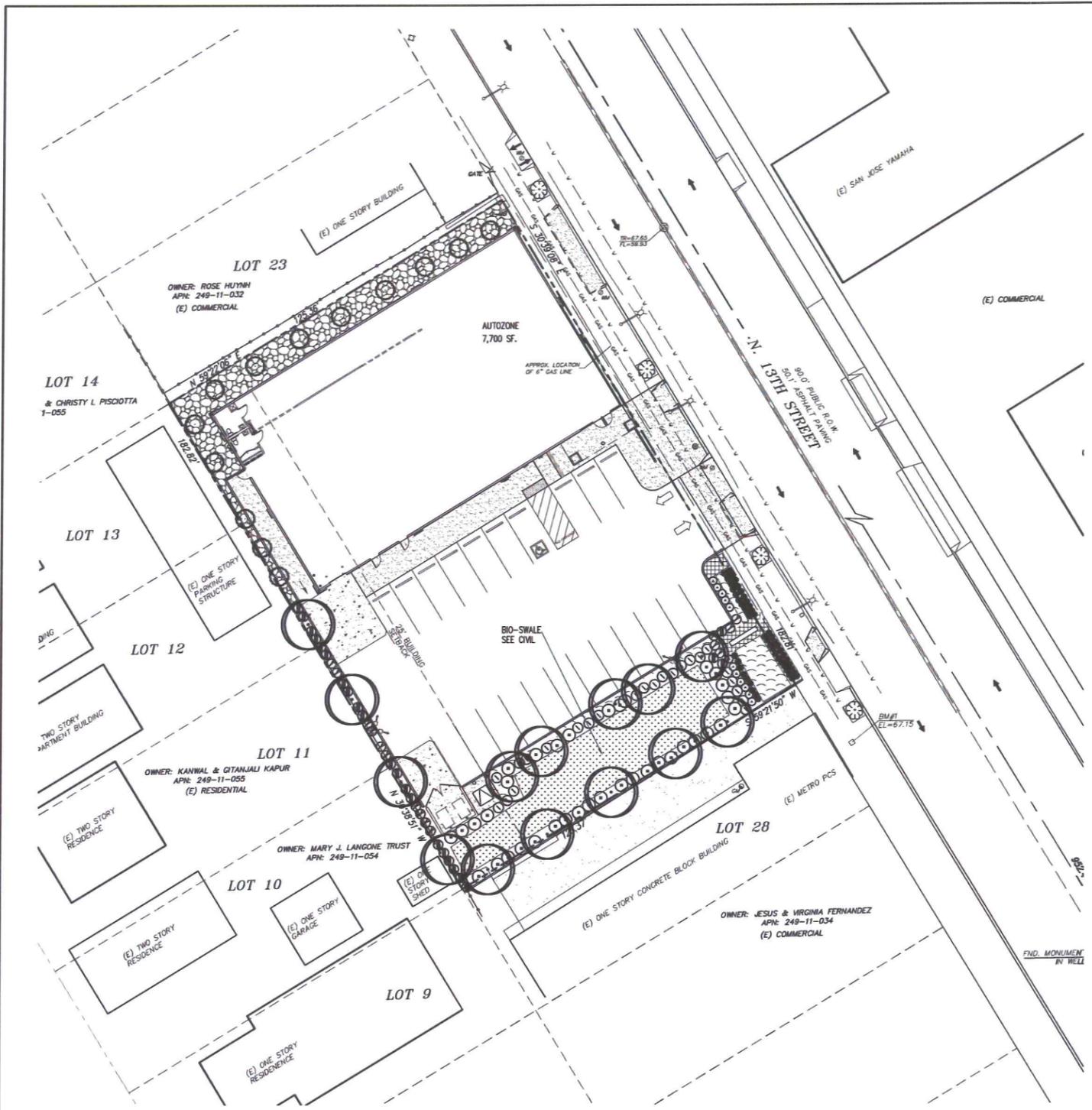
REVISIONS	1	2	3	4	5	6

AutoZone Store No. 4096
 777 N 13TH STREET
 SAN JOSE CA 95112

Architect: **QUIN WICHMANN**
 123 South Front Street
 Memphis, Tennessee 38103
 TEL: 901-495-8706 FAX: (901) 495-8969
 For Bidding & Contractor Information Contact:
 F. W. Dodge Plan Room Tel. 615-884-1017

10/25/11
 7N2-L
5





GENERAL DEVELOPMENT PLAN
EXHIBIT "C"
PRELIMINARY LANDSCAPE PLAN

PLANTING LEGEND

SYMBOL	SIZE	QTY.	NATURE	BOTANICAL NAME	WATER	COMMON NAME
					RESIST	
					HIGH, LOW, MEDIUM	
TREES						
○	15 GAL	13	22'	LAGERSTROEMIA INDICA 'MUSKOGEE' STD.	L	STD. CREPE MYRTLE
○	15 GAL	13	20'	JUNIPERUS VIRGINIANA 'PRAIRIE PILLAR'	L	COLUMNAR JUNIPER
○	-	4	-	E. STREET TREES TO REMAIN	-	SYCAMORE
SHRUBS						
○	5 GAL	24	3'	COLEONEMA 'SUNSET GOLD'	L	BREATH OF HEAVEN
○	5 GAL	23	3'	CISTUS 'DORIS HIBBERSON'	L	ROCK ROSE
○	5 GAL	25	5'	LAVATERA MARITIMA 'RED RUM'	L	TREE MALLOW
○	5 GAL	35	6'	GREVILLEA LANIGERA	L	WOOLY GREVILLEA
○	5 GAL	15	4'	NANDINA DOMESTICA 'COMPACTA'	L	HEAVENLY BAMBOO
○	1 GAL	51	16"	NANDINA DOMESTICA 'FIREPOWER'	L	HEAVENLY BAMBOO
VINES						
○	5 GAL	2	-	PARTHENOISSUS TRICUSPIDATA	L	BOSTON IVY
GROUNDCOVERS / MASS PLANTINGS						
■	1 GAL.	255	24"	DIETES IRRIDODES	L	FORTNIGHT LILY
■	1 GAL.	401	24"	LANTANA MONTEVIDEENSIS	L	LANTANA
■	500	1919	24"	BIO-SWALE SOO (FESTUCA RUBRA)	L	-

CITY SPECIFIC REQUIREMENTS

- ✓ THE MINIMUM DIMENSION IS NOT LESS THAN TEN FEET.
- ✓ TURF COVERAGE DOES NOT EXCEED 25% OF THE TOTAL PROJECT LANDSCAPE AREA.
- ✓ NEW LANDSCAPING USED WATER-CONSERVING PLANT MATERIALS IN HYDROZONE GROUPS THAT ARE NATIVE TO, OR ADAPT TO A HOT DRY SUMMER/COOL WET WINTER CLIMATE. PLANT SPECIES LISTED IN SAN JOSE CITY GUIDELINES HAVE BEEN USED.
- ✓ TURF PERIMETER TO AREA RATIO= 0%
- ✓ NO OVERHEAD UTILITY LINES ON SITE.
- ✓ PROJECT EXCEEDS CITY REQUIREMENT FOR MAWA TO BE LIMITED TO 22.5 GAL/S.F. OR 48,712 GAL/YR. ESTIMATED PROJECT WATER USE IS 25,099 GAL/YR. OR 12 GAL/S.F. EQUALING 53% OF CITY MAWA.

SUSTAINABLE DESIGN CHECKLIST GOING GREEN

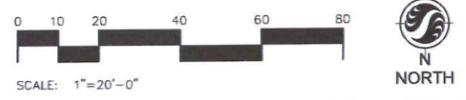
- ✓ GROUND COVER DESIGNED TO PROVIDE 100% VEGETATED COVER IN 2-3 YRS. ON AT LEAST 50% OF THE LANDSCAPE AREA.
- ✓ PLANTS SUPPORT IPM
- ✓ VEGETATION USED TO REDUCE POLLUTANTS/CONTAMINANTS
- ✓ LAWNS MINIMIZED
- ✓ PLANTS SELECTED BASED ON AVAILABLE PLANTER AREA
- ✓ WATER CONSERVING PLANTING DESIGN
- ✓ DEEP TILLING REQUIRED TO REDUCE COMPACTION
- ✓ MULCH DEPTH 3" TO REDUCE EVAPOTRANSPIRATION
- ✓ IRRIGATION DESIGN TO BE WATER CONSERVING
- ✓ SOILS TEST REQUIRED FOR IMPROVING SOILS

CITY OF SAN JOSE AND STATE OF CALIF. ESTIMATED WATER USE (BY HYDROZONE)

HYDROZONE	LANDSCAPE AREA (S.F.)	ESTIMATED WATER USE (GAL/YR.)	PERCENTAGE OF CITY MAWA
HYDROZONE 1	1,245	1,245	0.5%
HYDROZONE 2	1,245	1,245	0.5%
HYDROZONE 3	1,245	1,245	0.5%
HYDROZONE 4	1,245	1,245	0.5%
HYDROZONE 5	1,245	1,245	0.5%
HYDROZONE 6	1,245	1,245	0.5%
HYDROZONE 7	1,245	1,245	0.5%
HYDROZONE 8	1,245	1,245	0.5%
HYDROZONE 9	1,245	1,245	0.5%
HYDROZONE 10	1,245	1,245	0.5%
HYDROZONE 11	1,245	1,245	0.5%
HYDROZONE 12	1,245	1,245	0.5%
HYDROZONE 13	1,245	1,245	0.5%
HYDROZONE 14	1,245	1,245	0.5%
HYDROZONE 15	1,245	1,245	0.5%
HYDROZONE 16	1,245	1,245	0.5%
HYDROZONE 17	1,245	1,245	0.5%
HYDROZONE 18	1,245	1,245	0.5%
HYDROZONE 19	1,245	1,245	0.5%
HYDROZONE 20	1,245	1,245	0.5%
HYDROZONE 21	1,245	1,245	0.5%
HYDROZONE 22	1,245	1,245	0.5%
HYDROZONE 23	1,245	1,245	0.5%
HYDROZONE 24	1,245	1,245	0.5%
HYDROZONE 25	1,245	1,245	0.5%
HYDROZONE 26	1,245	1,245	0.5%
HYDROZONE 27	1,245	1,245	0.5%
HYDROZONE 28	1,245	1,245	0.5%
HYDROZONE 29	1,245	1,245	0.5%
HYDROZONE 30	1,245	1,245	0.5%
HYDROZONE 31	1,245	1,245	0.5%
HYDROZONE 32	1,245	1,245	0.5%
HYDROZONE 33	1,245	1,245	0.5%
HYDROZONE 34	1,245	1,245	0.5%
HYDROZONE 35	1,245	1,245	0.5%
HYDROZONE 36	1,245	1,245	0.5%
HYDROZONE 37	1,245	1,245	0.5%
HYDROZONE 38	1,245	1,245	0.5%
HYDROZONE 39	1,245	1,245	0.5%
HYDROZONE 40	1,245	1,245	0.5%
HYDROZONE 41	1,245	1,245	0.5%
HYDROZONE 42	1,245	1,245	0.5%
HYDROZONE 43	1,245	1,245	0.5%
HYDROZONE 44	1,245	1,245	0.5%
HYDROZONE 45	1,245	1,245	0.5%
HYDROZONE 46	1,245	1,245	0.5%
HYDROZONE 47	1,245	1,245	0.5%
HYDROZONE 48	1,245	1,245	0.5%
HYDROZONE 49	1,245	1,245	0.5%
HYDROZONE 50	1,245	1,245	0.5%
HYDROZONE 51	1,245	1,245	0.5%
HYDROZONE 52	1,245	1,245	0.5%
HYDROZONE 53	1,245	1,245	0.5%
HYDROZONE 54	1,245	1,245	0.5%
HYDROZONE 55	1,245	1,245	0.5%
HYDROZONE 56	1,245	1,245	0.5%
HYDROZONE 57	1,245	1,245	0.5%
HYDROZONE 58	1,245	1,245	0.5%
HYDROZONE 59	1,245	1,245	0.5%
HYDROZONE 60	1,245	1,245	0.5%
HYDROZONE 61	1,245	1,245	0.5%
HYDROZONE 62	1,245	1,245	0.5%
HYDROZONE 63	1,245	1,245	0.5%
HYDROZONE 64	1,245	1,245	0.5%
HYDROZONE 65	1,245	1,245	0.5%
HYDROZONE 66	1,245	1,245	0.5%
HYDROZONE 67	1,245	1,245	0.5%
HYDROZONE 68	1,245	1,245	0.5%
HYDROZONE 69	1,245	1,245	0.5%
HYDROZONE 70	1,245	1,245	0.5%
HYDROZONE 71	1,245	1,245	0.5%
HYDROZONE 72	1,245	1,245	0.5%
HYDROZONE 73	1,245	1,245	0.5%
HYDROZONE 74	1,245	1,245	0.5%
HYDROZONE 75	1,245	1,245	0.5%
HYDROZONE 76	1,245	1,245	0.5%
HYDROZONE 77	1,245	1,245	0.5%
HYDROZONE 78	1,245	1,245	0.5%
HYDROZONE 79	1,245	1,245	0.5%
HYDROZONE 80	1,245	1,245	0.5%
HYDROZONE 81	1,245	1,245	0.5%
HYDROZONE 82	1,245	1,245	0.5%
HYDROZONE 83	1,245	1,245	0.5%
HYDROZONE 84	1,245	1,245	0.5%
HYDROZONE 85	1,245	1,245	0.5%
HYDROZONE 86	1,245	1,245	0.5%
HYDROZONE 87	1,245	1,245	0.5%
HYDROZONE 88	1,245	1,245	0.5%
HYDROZONE 89	1,245	1,245	0.5%
HYDROZONE 90	1,245	1,245	0.5%
HYDROZONE 91	1,245	1,245	0.5%
HYDROZONE 92	1,245	1,245	0.5%
HYDROZONE 93	1,245	1,245	0.5%
HYDROZONE 94	1,245	1,245	0.5%
HYDROZONE 95	1,245	1,245	0.5%
HYDROZONE 96	1,245	1,245	0.5%
HYDROZONE 97	1,245	1,245	0.5%
HYDROZONE 98	1,245	1,245	0.5%
HYDROZONE 99	1,245	1,245	0.5%
HYDROZONE 100	1,245	1,245	0.5%

CITY MAXIMUM APPLIED WATER ALLOWANCES (ETO) (5) (LANDSCAPE AREA) (62) = M.A.W.A. 45.3 (5) 2165 (62) = 30,403 GAL/YR. ESTIMATED WATER USE @ 53% OF CITY MAWA.

NO EXISTING TREES/PLANTS ON SITE



SITE FEATURES - TYPICAL

1245 S.F.	3" GRADED GRAVEL OVER MIRAFI 70 N FABRIC
NOT SHOWN	ROOT BARRIER: INSTALL AT TREES (EXCEPT PALMS) PLANTED 4' OR LESS FROM CURBS, BUILDINGS, OR PAVEMENT. HOWARD WIRE CLOTH COMPANY, HAYWARD, CA. (510)887-8787 OR 24" LINEAR PLASTIC PANEL FROM DEEP ROOT OR EQUAL.

TOTAL PLANTED LANDSCAPED AREA: 4353 S.F. (NOTE: WITH BIO-SWALE AREA AND WITHOUT GRAVEL AREA)

LINEAR ROOT BARRIER SPECIFIED. DO NOT USE PLASTIC BOX BARRIERS.

PROJECT IS EXCLUDED FROM AB 1881 BEING UNDER 2500 SF OF LANDSCAPE AREA, HOWEVER, WATER CONSERVATION DESIGN EMPLOYED. ALL PLANTS IN LOW HYDROZONE

NOT FOR CONSTRUCTION
THESE DRAWINGS ARE UNDER REVIEW AND SUBJECT TO REVISIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL DRAWINGS, (INITIALED IN TITLE BLOCK), BEFORE FINALIZING BIDS OR BEGINNING CONSTRUCTION.

WATER CONSERVATION CONCEPT

CONCEPT STATEMENT
A COMBINATION OF DRIP, BUBBLERS, AND SUB-SURFACE DRIP IRRIGATION SHALL BE INSTALLED IN ALL PLANTERS. IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH A CONTROLLER CAPABLE OF DUAL PROGRAMMING. PLANTS SHALL BE GROUPED INTO "HYDROZONES" AND IRRIGATED SEPARATELY FROM THOSE WITH DIFFERENT WATER REQUIREMENTS.

GENERAL NOTES

- ALL PLANTING AREAS, EXCEPT LAWNS AND ANNUAL FLOWER BEDS, SHALL BE TOP DRESSED WITH A 3" (MINIMUM) DEEP LAYER OF 1/2"-1" WESTERN FIR BARK OR EQUAL. ANNUAL FLOWER BEDS SHALL BE MULCHED WITH A 1" LAYER OF NITROGENIZED REDWOOD SAWDUST.
- REFER TO ARCHITECTURAL AND CIVIL PLANS FOR DESCRIPTIONS OF ELEMENTS NOT IDENTIFIED ON THIS PLAN.
- OBSERVE THE FOLLOWING MINIMUM SETBACK DISTANCES FOR PLANTING:
 - BETWEEN STREET TREES = 30 FT.
 - DRIVEWAY CUTS AND FIRE HYDRANTS = 7 FT.
 - UTILITY BOXES, MANHOLE AND OTHER UTILITY VAULTS, TELEPHONE AND OTHER UTILITY POLES, GAS AND WATER METER, AND MAINS = 5 FT.
- ALL SURFACE AND SUB-SURFACE SWALES, DRAINAGE STRUCTURES AND PATTERNS SHALL BE MAINTAINED.
- A LICENSED LANDSCAPE MAINTENANCE CONTRACTOR WILL BE RETAINED TO PERFORM ROUTINE MAINTENANCE DUTIES.
- LOCATIONS AND QUANTITIES OF EXISTING LANDSCAPE MATERIALS ARE APPROXIMATE.
- PLANTER SOIL SHALL BE AMENDED AS DESCRIBED BY A LABORATORY SOIL ANALYSIS.

© COPYRIGHT 1993

Stantec Architecture Inc.
1383 N. McDowell Blvd.
Petaluma, CA U.S.A. 94954
Tel: 707.765.1660
Fax: 707.765.9908
www.stantec.com
Stantec# 200711005

PREPARED FOR: **AutoZone STORE DEVELOPMENT**
Store No.: 4096
761 & 777 N. 13th Street
SAN JOSE CA 95112
PRELIMINARY LANDSCAPE PLAN

SCALE: 1"=20'-0"

REVISIONS

1	PRE APP REVIEW	08/19/11
2	POZ SUBMITTAL	11/08/11
3	POZ RESUBMITTAL	01/30/12
4	POZ RESUBMITTAL	06/08/12
5		
6		
7		

ARCHITECT: GMS
DRAFTSMAN: CRB
CHECKED BY: