

**STAFF REPORT**  
**PLANNING COMMISSION**

**FILE NO.:** CP11-002

**Submitted:** 1/7/11

**PROJECT DESCRIPTION:** Conditional Use Permit to allow the conversion of an existing, legal-nonconforming, single-family house into a residential care facility for the elderly with up to twelve (12) beds, and the conversion of the existing basement into living area on a 0.15 gross acre site in the CN Commercial Neighborhood Zoning District.

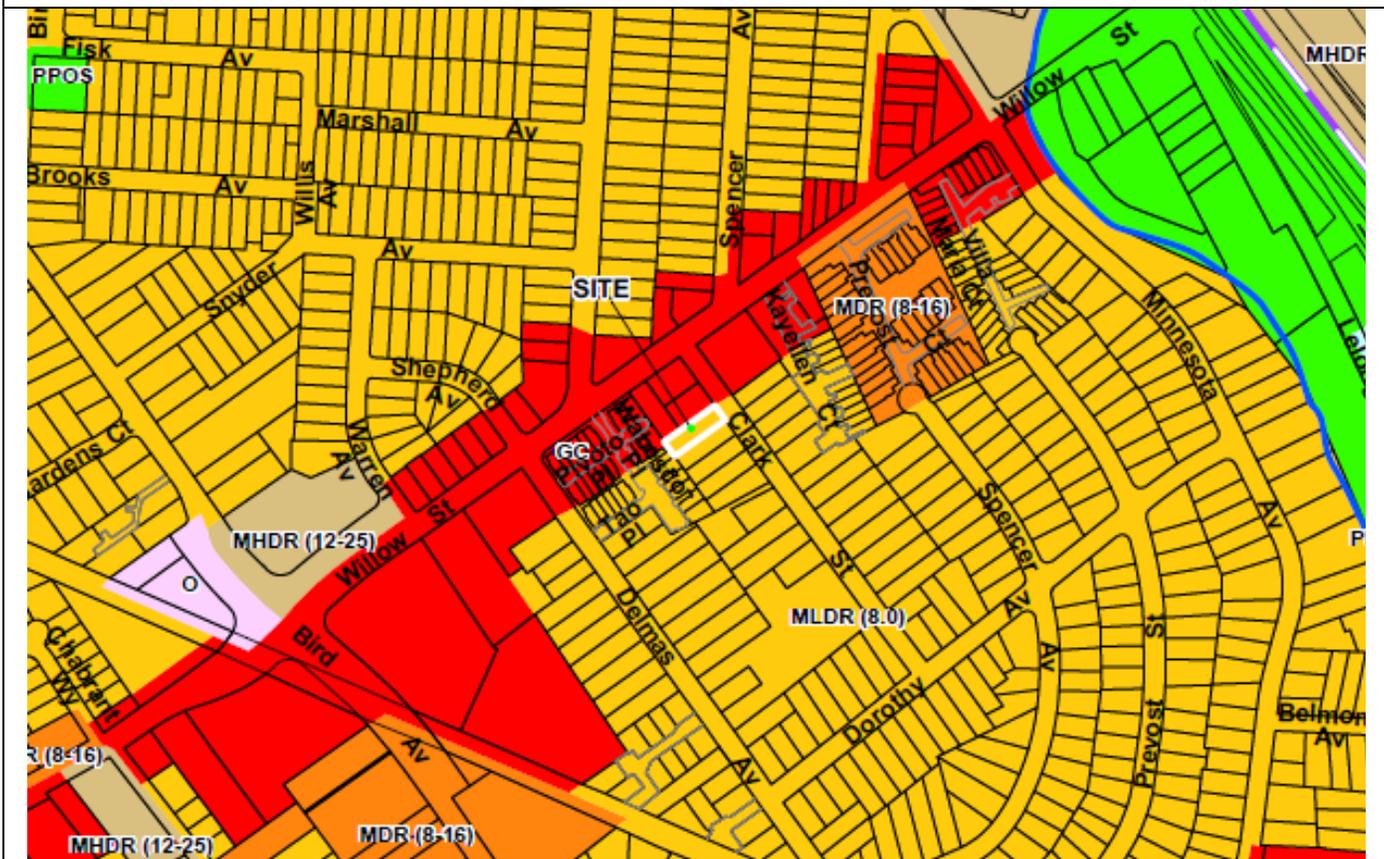
Zoning	CN Commercial Neighborhood
Envision 2040 General Plan	Neighborhood/Community Commercial
Council District	6
Annexation Date	October 1, 1936
SNI	No
Historic Resource	No
Redevelopment Area	No
Specific Plan	No

**LOCATION:** West side of Clark Street, approximately 180 feet southerly of Willow Street (1115 Clark Street)

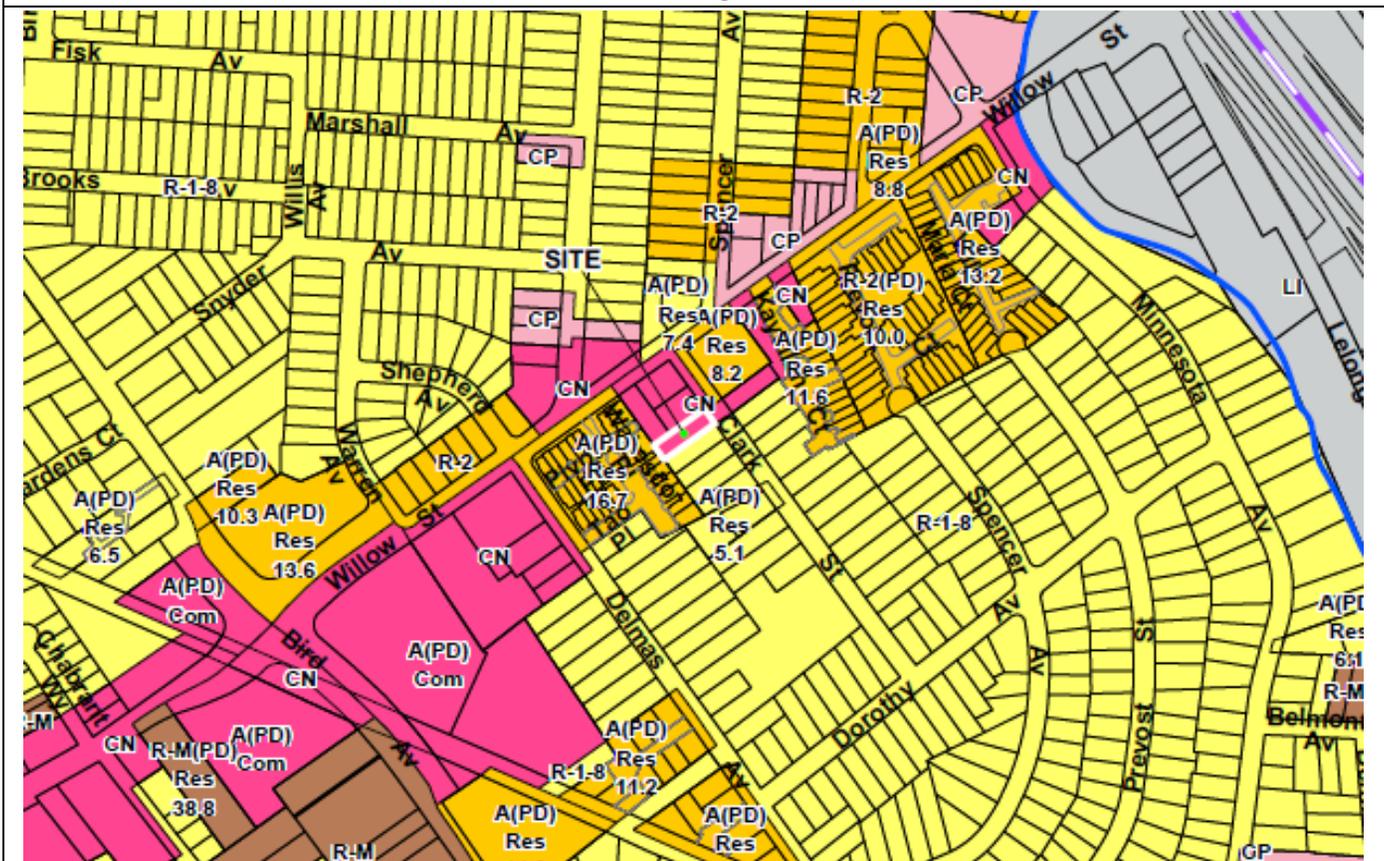
Aerial Photo



### Envision 2040 General Plan



### Zoning



## **RECOMMENDATION**

The Planning staff recommends that the Planning Commission approve the requested Conditional Use Permit for the following reasons:

1. The proposed project furthers the City's Envision San José 2040 General Plan Policies, such as the Goals and Policies for High-Quality Living Environments, which encourages the equitable distribution of residential social service programs (e.g., board and care facilities) throughout the City, especially in areas with access to transit, rather than concentrating them in a few areas.
2. The proposed project conforms to the regulations of the Zoning Ordinance.
3. The project is compatible with surrounding mix of commercial and residential land uses.

## **BACKGROUND & PROJECT DESCRIPTION**

On January 7, 2011, Timothy Jennings filed a Conditional Use Permit to allow the conversion of an existing, legal-nonconforming, single-family house into a twelve (12) bed residential care facility for the elderly and an approximately 1,200-square foot addition. The Zoning Ordinance allows such uses in the CN Commercial Neighborhood Zoning District with the issuance of a Conditional Use Permit.

The site is developed with a single-family residence that was built circa 1906. As a result of modifications to the exterior, the existing structure lacks its original integrity. The residence is a legal-nonconforming structure because the site was rezoned to a commercial designation after the structure was legally constructed.

In 2003, the applicant applied for a Special Use Permit (SP03-036) to allow the expansion of the legal non-conforming residence to facilitate a larger basement for the purpose of a second living unit. This request was denied. The Planning Director found that the proposed enlargement and structural alteration of the existing structure on the site did not conform to the San José Municipal Code in that it allowed for subsequent expansion of the legal nonconforming single-family use to include a second dwelling unit.



The proposed residential use is a commercial enterprise that is subject to commercial impact fees and taxes, therefore it would be considered a commercial use, and not the expansion of a legal-nonconforming residence.

## **ANALYSIS**

The project was analyzed with respect to the following: 1) Envision San José 2040 General Plan, 2) Zoning Ordinance, 3) area compatibility, and 4) CEQA.

### ***Envision San Jose 2040 General Plan Conformance***

Based on the information provided for the project, the proposed use furthers the City's Envision San Jose 2040 General Plan Goals and Policies for High-Quality Living Environments. The Policies

encourages the equitable distribution of residential social service programs (e.g., board and care facilities) throughout the City, especially in areas with access to transit, rather than concentrating them in a few areas. Also, the policy encourages care facilities for more than six persons to be located in areas with access to transit, retail, services, and other amenities. The proposed use is consistent with the General Plan policies in that the facility is located near the Number 25 bus route which travels along Willow Street and has a stop at the Tamien Light Rail and Caltrain stations. The facility is located within 1,000 feet of retail, services, and restaurants.

The Neighborhood/Community Commercial designation supports a very broad range of commercial activity, including commercial uses that serve the communities in neighboring areas. The uses typically have a strong connection to and provide services and amenities for the nearby community and should be designed to promote that connection with an appropriate urban form that supports walking, transit use and public interaction. A residential care facility for the elderly is consistent with this designation in that it provides an amenity and is within close proximity to transit and services.

### ***Zoning Ordinance***

#### **Parking**

The Zoning Ordinance requirement for a residential care facility is one (1) space for the first six (6) client beds, plus one (1) space for each additional four (4) client beds (or portion thereof), plus one (1) space for each employee or staff member. The proposed facility would house up to 12 clients, which requires 3 parking spaces. There are 4 parking spaces already being provided on-site, which allows for one (1) staff member at a time.

### ***Area Compatibility***

The proposed uses are compatible with the characteristics of the surrounding neighborhood and site. Land uses in the area surrounding the site are predominantly residential along Clark Street. The proposed project includes minor exterior modifications, such as the addition of a basement and front porch consistent with the surrounding houses. Therefore, the introduction of this use into this setting is not expected to negatively impact the area.

As a condition of this permit the applicant will be required to make a few subsequent modifications to the structure to facilitate proper handicap (ADA) access at the front porch for building access. This may require the integration of a lift next to the front porch. Additionally, the plans will need further modifications so that there is handicap access from the rear parking area to both levels of the building. Currently, the plan does not provide handicap access between the basement level and the upper living level of the house without exiting the building. To remedy this, a small building addition to the rear of the structure may be necessary to house the lift which is currently shown outside the building.

### ***Environmental Review***

The project was found to be exempt from environmental review under Section 15301(e)(2): Existing Facilities, of the CEQA Guidelines, which exempts the operation, licensing, or minor alteration of existing private facilities, involving negligible or no expansion of use. The project involves the construction of a 1,200 square-foot addition (basement) and the use of the building as a residential care facility for the elderly. The project is in an area where all public services and facilities are available, and the area in which the project is located is not environmentally sensitive.

**PUBLIC OUTREACH**

Notices of the public hearing for this project were sent to all property owners within 500 feet of the subject property. A sign describing the project has been displayed at the project site. The Planning Commission Agenda is posted on the City of San José website, which includes a copy of the staff report and staff has been available to discuss the project with members of the public. To date, no member of the public has made any comment or objection to the proposed project.

**Project Manager:** Lori Moniz

**Approved by:**



**Date:** 1-27-12

Owner/Applicant:	Attachments:
Timothy Jennings 1115 Clark Street San José, CA 95128	Draft Resolution Plan Set

## **RESOLUTION NO.**

Resolution of the Planning Commission of the City of San José granting a Conditional Use Permit to use certain real property described herein for the purpose of allowing the conversion of an existing, legal-nonconforming, single-family house into a residential care facility for the elderly with up to twelve (12) beds, and the conversion of the existing basement into living area on a 0.15 gross acre site in the CN Commercial Neighborhood Zoning District located on the west side of Clark Street, approximately 180 feet southerly of Willow Street (1115 Clark Street).

## **FILE NO. CP11-002**

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SAN JOSÉ:

WHEREAS, pursuant to the provisions of Chapter 20.100 of Title 20 of the San José Municipal Code, on January 7, 2011, an application (File No. CP11-002) was filed for a Conditional Use Permit for the purpose of allowing the conversion of an existing, legal-nonconforming, single-family house into a residential care facility for the elderly with up to twelve (12) beds, and the conversion of the existing basement into living area on that certain real property (hereinafter referred to as "subject property"), situate in the CN Commercial Neighborhood Zoning District, located at 1115 Clark Street, San José, and

WHEREAS, the subject property is all that real property described in Exhibit "A," which is attached hereto and made a part hereof by this reference as if fully set forth herein; and

WHEREAS, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San José Municipal Code, this Planning Commission conducted a hearing on said application, notice of which was duly given; and

WHEREAS, at said hearing, this Planning Commission gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

WHEREAS, at said hearing this Planning Commission received and considered the reports and recommendation of the Director of Planning, Building and Code Enforcement; and

WHEREAS, at said hearing, this Planning Commission received in evidence a development plan for the subject property entitled, "Conditional Use Permit Application for Basement and Change of Usage," dated December 1, 2011. Said plan is on file in the Department of Planning, Building and Code Enforcement and is available for inspection by

anyone interested herein, and said development plan is incorporated herein by this reference, the same as if it were fully set forth herein; and

WHEREAS, said hearing was conducted in all respects as required by the San José Municipal Code and the rules of this Planning Commission;

NOW, THEREFORE:

After considering evidence presented at the Public Hearing, the Planning Commission finds that the following are the relevant facts regarding this proposed project:

1. The applicant is requesting the subject Conditional Use Permit to allow a twelve (12) bed residential care facility for the elderly in an existing, legal-nonconforming, single-family residence.
2. The General Plan encourages the equitable distribution of residential social service programs (e.g., board and care facilities) throughout the City, especially in areas with access to transit, rather than concentrating them in a few areas.
3. The subject site is designated Neighborhood/Community Commercial on the Envision San José 2040 General Plan Land Use/Transportation Diagram.
4. The Neighborhood/Community Commercial designation supports a very broad range of commercial activity, including commercial uses that serve the communities in neighboring areas. Neighborhood/Community Commercial uses typically have a strong connection to and provide services and amenities for the nearby community and should be designed to promote that connection with an appropriate urban form that supports walking, transit use and public interaction.
5. The subject site is zoned CN Commercial Neighborhood and is 0.15 acres in size.
6. Residential care facilities for seven or more residents require a Conditional Use Permit in the CN Commercial Neighborhood Zoning District.
7. The site is developed with a single-family residence that was built circa 1906.
8. As a result of modifications to the exterior, the existing structure lacks its original architectural integrity.
9. The residence existed at the time the site was zoned for commercial uses and is legal non-conforming.
10. Special Use Permit (SP03-036) to allow the expansion of the legal-nonconforming residence was denied in 2004, because the proposed enlargement and structural alteration of the existing structure on the site did not conform to the San José Municipal Code in that it would have resulted in the conversion of legal non-conforming single-family use to a multi-family use.
11. The proposed residential care facility is a commercial use, and not the expansion of a legal-nonconforming residential use.
12. The existing structure is 1,196 square feet.

13. The proposal includes the addition of a new, 1,150 square-foot basement living area and a 51 square-foot front porch addition.
14. The total proposed square-footage is 2,397.
15. The project will include a condition for a subsequent Permit Adjustment to address appropriate ADA building access which may result in the need for a minor building addition to the rear of the existing structure.
16. The parking requirement for a residential care facility is one (1) space for the first six (6) client beds, plus one (1) space for each additional four (4) client beds (or portion thereof), plus one (1) space for each employee or staff member.
17. The project plans provide 4 on-site parking spaces.

The Planning Commission concludes and finds, based on the analysis of the above facts, that:

1. The proposed project is consistent with the adopted Envision San José 2040 General Plan Land Use Transportation Diagram.
2. The proposed project complies with all applicable provisions of the Zoning Ordinance.
3. The proposed project is in compliance with the California Environmental Quality Act.
4. The proposed use is compatible with the surrounding neighborhood.

Furthermore, the Planning Commission concludes and finds, based on the analysis of the above facts, that:

1. This Conditional Use Permit, as issued, furthers the policies of the General Plan, in that the project conforms to the General Plan Land Use/Transportation Diagram designation of Neighborhood/Community Commercial.
2. The interrelationship between the orientation, location and elevations of the proposed parking area and other uses on-site are mutually compatible and aesthetically harmonious in that:
  - a. Sufficient open space separates all structure(s) and uses.
  - b. Parking spaces are conveniently located in relation to the uses they support.
3. The orientation, location and elevation of the proposed building(s), structure(s) and other uses on the site are compatible with and are aesthetically harmonious with adjacent development or the character of the neighborhood in that:
  - a. The proposed structure's height, materials, and colors are similar to surrounding buildings and structures.
  - b. The proposed structure does not unreasonably interfere with the light and air available to adjacent sites.
4. The environmental impacts of the project will not have an unacceptable negative effect on adjacent property or properties in that:
  - a. Under the provisions of Section 15301(e)(2) of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project is exempt from the environmental review requirements of Title 21 of the San José Municipal Code,

- b. The proposed project will not individually or cumulatively have an adverse effect on wildlife resources, as defined in Section 711.2 of the California Department of Fish and Game Code.
5. Landscaping, irrigation systems, walls and fences, features to conceal outdoor activities, exterior heating, ventilating, plumbing, utility and trash facilities are sufficient to maintain the appearance of the neighborhood.
  6. Traffic access, pedestrian access and parking are adequate in that:
    - a. The proposed number, size and access of parking spaces comply with the requirements of the Zoning Ordinance.

Finally, based on the above-stated findings and subject to the conditions set forth below, the Planning Commission finds that:

1. The proposed use at the location requested will not:
  - a. Adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; or
  - b. Impair the utility or value of property of other persons located in the vicinity of the site; or
  - c. Be detrimental to public health, safety or general welfare; and
2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding areas; and
3. The proposed site is adequately served:
  - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quality of traffic such use would generate; and
  - b. By other public or private service facilities as are required.

In accordance with the findings set forth above, a Conditional Use Permit to use the subject property for said purpose specified above and subject to each and all of the conditions hereinafter set forth is hereby granted. This Planning Commission expressly declares that it would not have granted this permit except upon and subject to each and all of said conditions, each and all of which conditions shall run with the land and be binding upon the owner and all subsequent owners of the subject property, and all persons who use the subject property for the use conditionally permitted hereby.

## CONDITIONS

1. **Acceptance of Permit.** Per Section 20.100.290(B), should the applicant fail to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the

applicant shall be deemed to constitute all of the following on behalf of the applicant:

- a. Acceptance of the Permit by the applicant; and
  - b. Agreement by the applicant to be bound by, to comply with, and to do all things required of or by the applicant pursuant to all of the terms, provisions, and conditions of this permit or other approval and the provisions of Title 20 applicable to such Permit.
2. **Permit Expiration.** This Conditional Use Permit shall automatically expire two years from and after the date of adoption of the Resolution by the Planning Commission, or by the City Council on appeal, granting this Permit, if within such two-year period, the construction of improvements as well as the proposed use has not commenced, pursuant to and in accordance with the provisions of this Conditional Use Permit. The date of adoption is the date the Resolution granting this Conditional Use Permit is approved by the Planning Commission. The Director of Planning may approve a Permit Adjustment/Amendment extending the permit in accordance with Title 20.
  3. **Use Allowance.** This permit allows a residential care facility for the elderly for up to 12 beds.
  4. **Sewage Treatment Demand.** Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the applicant for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José-Santa Clara Water Pollution Control Plant to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approval authority.
  5. **Building Permit/Certificate of Occupancy.** Procurement of a Building Permit and/or Certificate of Occupancy from the Building Official for the structures described or contemplated under this permit shall be deemed acceptance of all conditions specified in this permit and the applicant's agreement to fully comply with all of said conditions. No change in the character of occupancy or change to a different group of occupancies as described by the "Building Code" shall be made without first obtaining a Certificate of Occupancy from the Building Official, as required under San José Municipal Code Section 24.02.610, and any such change in occupancy must comply with all other applicable local and state laws.
  6. **Conformance with Plans.** Except as noted with condition #7 below, construction and development shall conform to approved development plans entitled, "Conditional Use Permit Application for Basement and Change of Usage," dated December 1, 2011, on file with the Department of Planning, Building and Code Enforcement, and to the San José Building Code (San José Municipal Code, Title 24).
  7. **Permit Adjustment Required.** Prior to the issuance of a Building Permit, the applicant shall secure and agree to implement a Permit Adjustment to address the following:
    - a. The project shall be modified to facilitate proper handicap (ADA) access at both the front and rear of the building to facilitate convenient access to the street and rear parking area.
    - b. The project shall be modified to facilitate proper interior handicap (ADA) access between the basement level and main level of the house. A small addition to the rear of the house

that does not interfere with the parking area may be considered to facilitate compliance with this requirement.

8. **Nuisance.** This use shall be operated in a manner which does not create a public or private nuisance. Any such nuisance must be abated immediately upon notice by the City.
9. **Operational Restrictions.** There are 4 parking spaces on site available to the facility. Said facility shall comply with the parking requirements related to resident clients and staff per Table 20-190 of Title 20 of the San Jose Municipal Code as follows:

1-6 clients	3 on-site staff	4 parking spaces
7-10 clients	2 on-site staff	4 parking spaces
11-12 clients	1 on-site staff	4 parking
1-12 clients	No on-site staff	4 parking

10. **Other Permits Required.** The applicant shall secure and maintain full compliance with any and all permits or licenses required from the State or County for the subject use.
11. **Landscaping.** Planting and irrigation are to be provided, as indicated, on the final approved plan set. Landscaped areas shall be maintained and watered and all dead plant material is to be removed and replaced by the property owner. Irrigation is to be installed in accordance with Part 4 of Chapter 15.10 of Title 15 of the San José Municipal Code, Water Efficient Landscape Standards for New and Rehabilitated Landscaping and the City of San José Landscape and Irrigation Guidelines.
12. **Anti-Graffiti.** The applicant shall remove all graffiti from buildings, fences, and wall surfaces within 48 hours of defacement.
13. **Anti Litter.** The site and the adjoining street frontage shall be maintained free of litter, refuse, and debris.
14. **Lighting.** New on-site lighting shall use low-pressure sodium fixtures and be designed, controlled, and maintained so that no light source is visible from outside of the property. Lighting shall be designed and maintained to prevent light trespass onto adjacent properties.
15. **Outdoor Storage.** No outdoor storage is permitted.
16. **Refuse.** All trash shall be effectively screened from view and covered and maintained in an orderly state to prevent water from entering into the garbage container. Trash areas shall be maintained in a manner to discourage illegal dumping.
17. **Tree Removal.** No tree larger than 56 inches in circumference, at a height of 24 inches above grade, shall be removed without a Tree Removal Permit issued by the Director of Planning.
18. **Building Clearance for Issuing Permits.** Prior to the issuance of a Building Permit, the following requirements must be met to the satisfaction of the Chief Building Official:

- a. *Construction Plans.* This permit file number, CP11-002, shall be printed on all construction plans submitted to the Building Division.
- b. *ADA access.* The developer shall comply with condition #8 of this permit.

**19. Public Works Clearance for Building Permit(s):** Prior to the issuance of Building Permits, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.

- a. *Sewage Fees:* In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
- b. *Minor Improvement Permit:* The public improvements conditioned as part of this permit require the execution of a Minor Street Improvement Permit that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This permit includes privately engineered plans, insurance, surety deposit, and engineering and inspection fees.
- c. *Transportation:* The projected traffic for this project was reviewed and found to be minimal; therefore no further traffic analysis is required.
- d. *Stormwater Runoff Pollution Control Measures:* This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of Best Management Practices (BMPs) that include site design measures, source controls, and stormwater treatment controls to minimize stormwater pollutant discharges. Post-construction treatment control measures, shown on the project's Stormwater Control Plan, shall meet the numeric sizing design criteria specified in City Policy 6-29.
- e. *Parks:* This residential project is subject to the payment of park fees in-lieu of land dedication under either the requirements of the City's Park Impact Ordinance (Chapter 14.25 of Title 14 of the San Jose Municipal Code) or the Parkland Dedication Ordinance (Chapter 19.38 of Title 19 of the San Jose Municipal Code).
- f. *Street Improvements:*
  - 1) Applicant shall be responsible to remove and replace curb, gutter, and sidewalk damaged during construction of the proposed project.
  - 2) Remove and replace broken or uplifted curb, gutter, and sidewalk along project frontage.
  - 3) Remove pavers within existing parkstrip area and provide ground cover.
- g. *Electrical:* Existing electroliers along the project frontage will be evaluated at the public improvement stage and any street lighting requirements will be included on the public improvement plans

- h. *Street Trees*: Install street trees within public right-of-way along entire project street frontage per City standards; refer to the current “Guidelines for Planning, Design, and Construction of City Streetscape Projects”. Street trees shall be installed park strip. Obtain a DOT street tree planting permit for any proposed street tree plantings.

20. **Revocation, Suspension, Modification.** This Conditional Use Permit may be revoked, suspended or modified by the Planning Commission, or by the City Council on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing in accordance with Part 3, Chapter 20.44, Title 20 of the San José Municipal Code it finds:

- a. A violation of any conditions of the Conditional Use Permit was not abated, corrected or rectified within the time specified on the notice of violation; or
- b. A violation of any City ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation; or
- c. The use as presently conducted creates a nuisance

21. **Compliance Review.** A Compliance Hearing may be required at the discretion of the Director of Planning.

**APPROVED** and issued this **8<sup>th</sup> day of February 2012**, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

---

Chairperson

ATTEST:

Joseph Horwedel, Secretary

Deputy

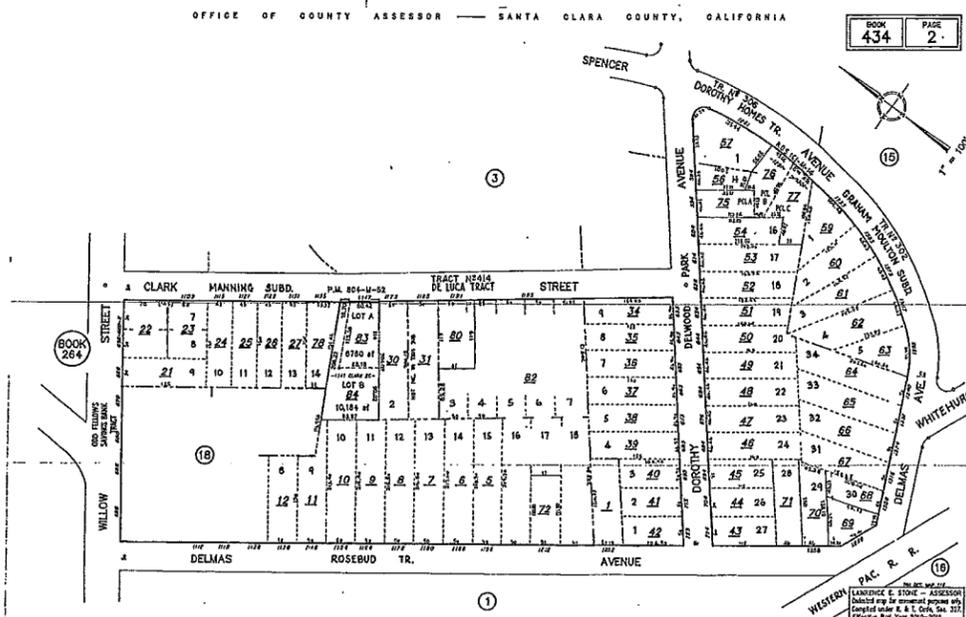
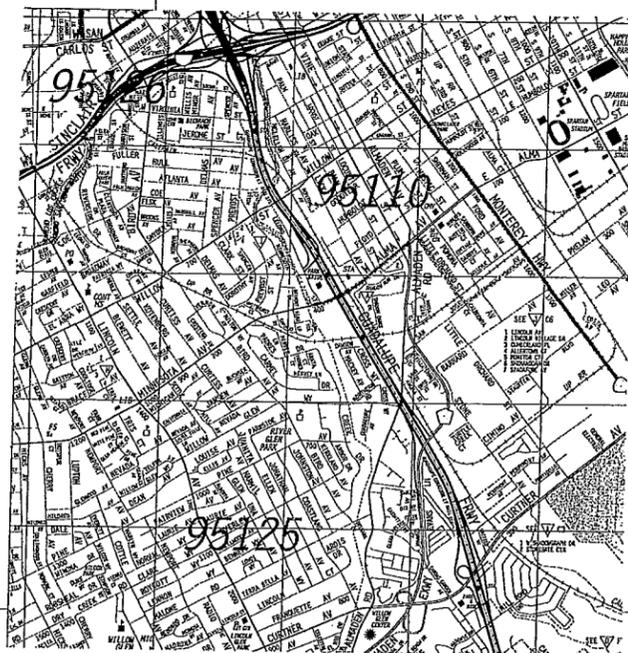
### **NOTICE TO PARTIES**

*The time within which judicial review must be sought to review this decision is governed by the provisions of the California Code of Civil Procedure Section 1094.6.*

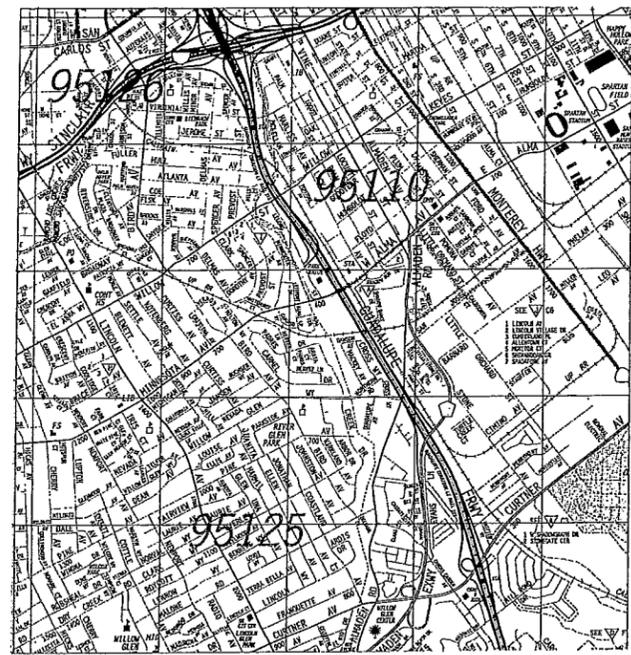
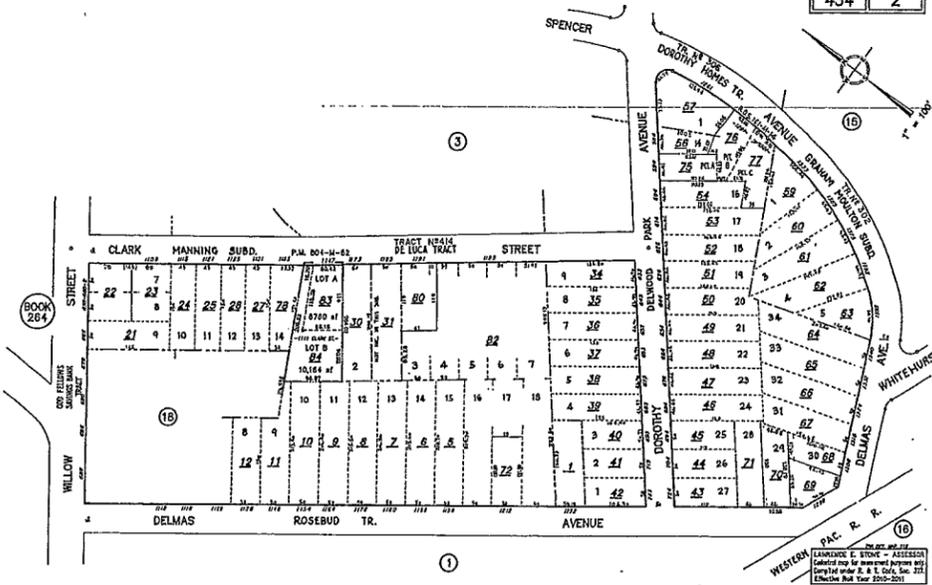
# CONDITIONAL USE PERMIT

## APPLICATION

# FOR BASEMENT AND CHANGE OF USAGE



PROJECT INFORMATION CITY OF SAN JOSE	
<b>PROJECT DESCRIPTION:</b> 1) CONVERT (E) SINGLE FAMILY RESIDENCE TO 12 BED RESIDENTIAL CARE FACILITY FOR THE ELDERLY IN THE CN COMMERCIAL / NEIGHBORHOOD ZONING DISTRICT	
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDINGS CODES	
A) 2010 CALIFORNIA BUILDING CODE (CBC 2010) BASED ON THE 2009 EDITION OF THE IRC	
B) 2010 CALIFORNIA RESIDENTIAL CODE BASED ON 2009 EDITION OF THE IRC	
C) 2010 CALIFORNIA PLUMBING CODE, BASED ON 2009 UPC	
D) 2010 CALIFORNIA MECHANICAL CODE, BASED ON 2009 UMC	
E) 2010 CALIFORNIA ELECTRICAL CODE BASED ON 2008 NEC	
F) 2010 CALIFORNIA EXISTING BUILDING CODE	
G) 2009 INTERNATIONAL EXISTING BUILDING CODE	
H) 2008 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS	
I) 2010 CALIFORNIA GREEN BUILDINGS STANDARDS CODE	
(AND ALL STATE OF CALIFORNIA CITY COUNTY & MUNICIPAL CODES)	
A. PROJECT OWNER:	TIM JENNINGS
B. PROJECT PROPOSAL:	CONVERT (E) SINGLE FAMILY RESIDENCE TO 12 BED RESIDENTIAL CARE FACILITY FOR THE ELDERLY IN THE CN COMMERCIAL / NEIGHBORHOOD ZONING DISTRICT
C. PROJECT LOCATION:	1115 CLARK STREET SAN JOSE, CA 95125
D. ASSESSOR'S PARCEL NUMBER:	434-02-024
E. ZONING DISTRICT:	CN (COMMERCIAL)
F. LOT SIZE:	6,450 S.F.
G. TOTAL NEW BUILDING AREA:	2,346 S.F.
	a) 1,196 S.F. 1ST Floor
	b) 1,160 S.F. Basement
	c) 51 S.F. Front Porch
H. (E) BUILDING AREA (MAIN FLOOR):	1,196 S.F.
I. NEW BASEMENT AREA:	1,160 S.F.
J. NEW FRONT PORCH:	51 S.F.
K. FIRE SPRINKLERS:	REQUIRED
L. NUMBER OF STORIES:	ONE
M. OCCUPANCY LOAD:	20
N. TYPE OF CONSTRUCTION:	TYPE V-B
O. EXIT REQUIREMENTS:	2 MINIMUM EXITS
P. GROUP OCCUPANCY:	R-4
Q. BUILDING CODES:	C.B.C. 2010
R. GENERAL PLAN:	MLDR (8.0)
S. PARKING:	2 SPACES PROVIDED



SHEET INDEX		
NO.	DATE	DESCRIPTION
A.	06/15/2011	COVER SHEET
1.	06/15/2011	SITE PLAN
2.	06/15/2011	FIRE HYDRANT LOCATION & REQUIRE FIRE FLOW INFO. SHEET
3.	06/15/2011	LANDSCAPING PLAN
4.	06/15/2011	ELEVATIONS
5.	06/15/2011	(E) FLOOR PLAN / FOUNDATION PLAN
6.	06/15/2011	PROPOSED FLOOR PLAN
7.	06/15/2011	PROPOSED BASEMENT PLAN
8.	06/15/2011	CROSS SECTIONS
9.	06/15/2011	ADA DETAILS SHEET
10.	06/15/2011	ADA DETAILS SHEET
C-1	06/15/2011	GRADING & DRAINAGE PLAN
S1.	06/15/2011	STRUCTURE
S2.	06/15/2011	STRUCTURE
S3.	06/15/2011	STRUCTURE

**GENERAL NOTES**

- THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES:
  - A) 2010 CALIFORNIA BUILDING CODE BASED ON THE 2009 EDITION OF THE IBC
  - B) 2010 CALIF. RESIDENTIAL CODE BASED ON THE 2009 EDITION OF THE IRC
  - C) 2010 (CALGREEN) CALIFORNIA GREEN BUILDING STANDARDS CODE
  - D) 2010 CALIF. MECHANICAL CODE, BASED ON 2009 UMC
  - E) 2010 CALIF. PLUMBING CODE, BASED ON 2009 UPC
  - F) 2010 CALIF. ELECTRICAL CODE BASED ON 2008 NEC
  - G) 2010 CALIF. EXISTING BUILDING CODE
  - H) 2009 INTERNATIONAL (E) BUILDING CODE
  - I) 2008 CALIF. BUILDING ENERGY EFFICIENCY STANDARDS

(AND ALL STATE OF CALIFORNIA CITY, COUNTY AND MUNICIPAL CODES)
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS. SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORKING OF SPECIFICATIONS AND LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS OR SPECIFICATIONS BECOMES APPARENT, THE CONTRACTOR SHALL REFER THEM TO THE DRAFTSMAN DESIGNER FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS). DRAWINGS DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ERRORS AND OMISSIONS: IN THE EVENT THAT AN ACUTE ERRORS OR OMISSIONS MAY EXIST ON THE PLAN, IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER/DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK, FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY COMMENCEMENT OF WORK, FAILURE TO DO SUCH WILL RELIEVE DESIGNER OF RESPONSIBILITY.

**PROJECT INFORMATION  
CITY OF SAN JOSE**

**PROJECT DESCRIPTION: 1) CONVERT (E) SINGLE FAMILY RESIDENCE TO 12 BED RESIDENTIAL CARE FACILITY FOR THE ELDERLY IN THE CN COMMERCIAL / NEIGHBORHOOD ZONING DISTRICT**

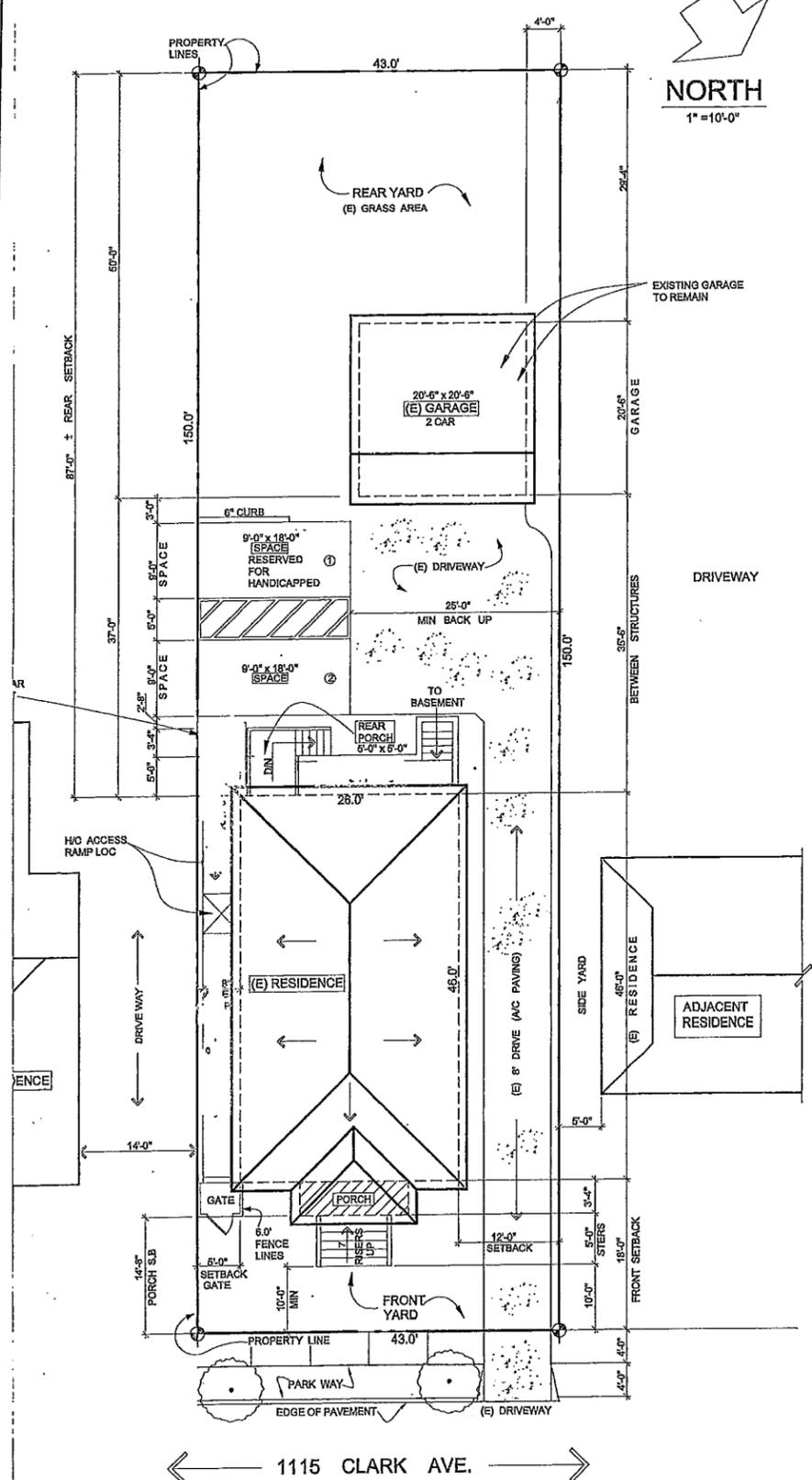
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDINGS CODES

- A) 2010 CALIFORNIA BUILDING CODE (CBC 2010) BASED ON THE 2009 EDITION OF THE IBC
  - B) 2010 CALIFORNIA RESIDENTIAL CODE BASED ON 2009 EDITION OF THE IRC
  - C) 2010 CALIFORNIA PLUMBING CODE, BASED ON 2009 UPC
  - D) 2010 CALIFORNIA MECHANICAL CODE, BASED ON 2009 UMC
  - E) 2010 CALIFORNIA ELECTRICAL CODE BASED ON 2008 NEC
  - F) 2010 CALIFORNIA EXISTING BUILDING CODE
  - G) 2009 INTERNATIONAL EXISTING BUILDING CODE
  - H) 2008 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
  - I) 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE
- (AND ALL STATE OF CALIFORNIA CITY COUNTY & MUNICIPAL CODES)

- A. PROJECT OWNER: ..... TIM JENNINGS
- B. PROJECT PROPOSAL: ..... CONVERT (E) SINGLE FAMILY RESIDENCE TO 12 BED RESIDENTIAL CARE FACILITY FOR THE ELDERLY IN THE CN COMMERCIAL / NEIGHBORHOOD ZONING DISTRICT
- C. PROJECT LOCATION: ..... 1115 CLARK STREET SAN JOSE, CA 95125
- D. ASSESSOR'S PARCEL NUMBER: ..... 434-02-024
- E. ZONING DISTRICT: ..... CN (COMMERCIAL)
- F. LOT SIZE: ..... 6,450 S.F.
- G. TOTAL NEW BUILDING AREA: ..... 2,346 S.F.
  - a) 1,196 S.F. 1ST Floor
  - b) 1,150 S.F. Basement
  - c) 51 S.F. Front Porch
- H. (E) BUILDING AREA (MAIN FLOOR) : ..... 1,196 S.F.
- I. NEW BASEMENT AREA: ..... 1,150 S.F.
- J. NEW FRONT PORCH: ..... 51 S.F.
- K. FIRE SPRINKLERS: ..... REQUIRED
- L. NUMBER OF STORIES: ..... ONE
- M. OCCUPANCY LOAD: ..... 20
- N. TYPE OF CONSTRUCTION: ..... TYPE V-B
- O. EXIT REQUIREMENTS: ..... 2 MINIMUM EXITS
- P. GROUP OCCUPANCY: ..... R-4
- Q. BUILDING CODES: ..... C.B.C. 2010
- R. GENERAL PLAN: ..... MLDR (8.0)
- S. PARKING: ..... 2 SPACES PROVIDED

**SCOPE OF WORK**

- A) PROPOSED NEW BASEMENT WITH LIVING SPACE
- B) NEW HANDICAP RAMP
- C) NEW FRONT PORCH



**SITE PLAN**  
SCALE: 1"=10'-0"

Commercial Consulting Group Civil/Structural/Seismic Engineering  
Jaime P. Arafiles, P.E., P. E.

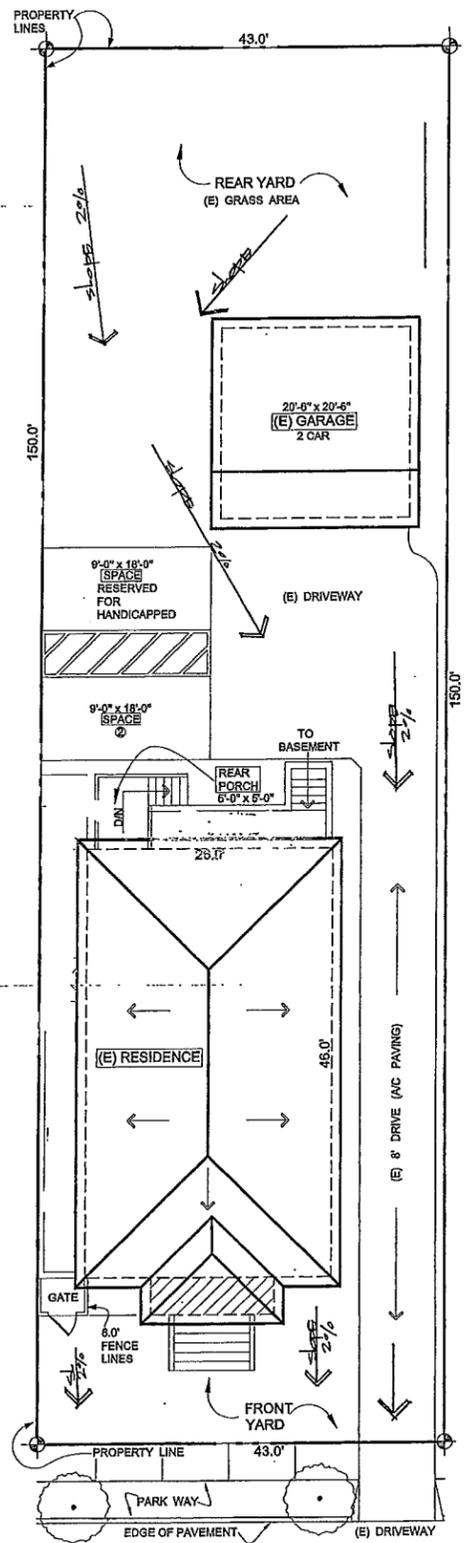
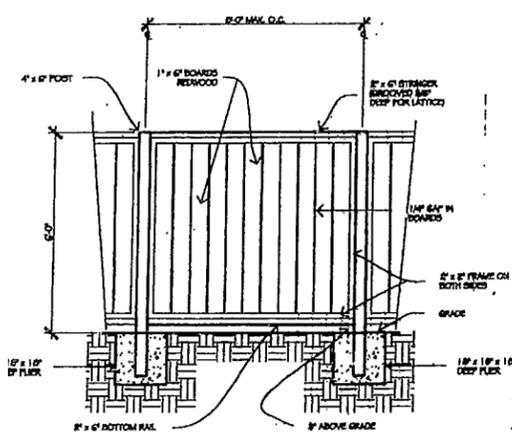
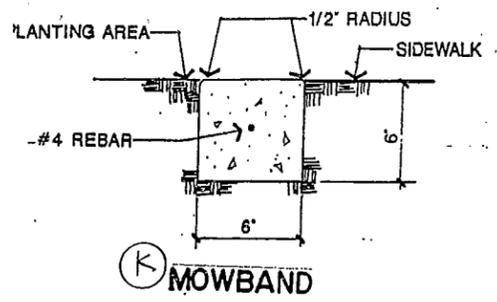
Tel: (510) 386-5899  
Fax: (510) 429-1430  
3228 San Lucas Way  
Union City, CA 94587

OWNER:  
**TIMOTHY JENNINGS**  
1115 CLARK STREET  
SAN JOSE, CA  
PHONE: (408) 287-7111

**PROPOSED NEW BASEMENT WITH LIVING SPACE & NEW HANDICAP RAMP PLUS NEW FRONT PORCH**

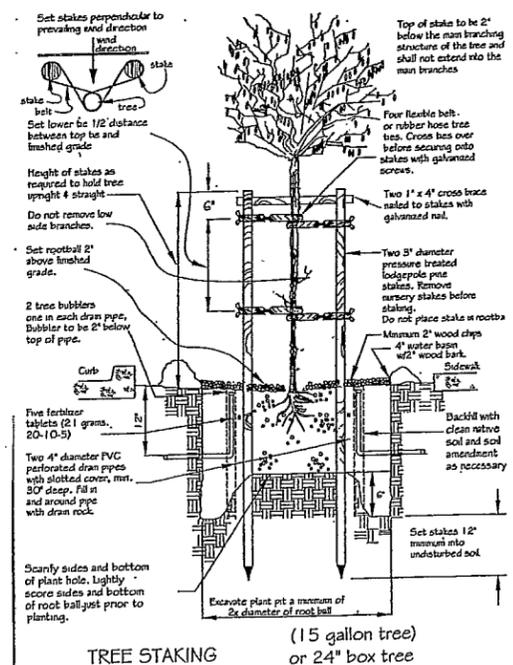
DATE: \_\_\_\_\_  
SCALE: 1/4" = 1'-0"  
DRAWN: JJG  
JOB: \_\_\_\_\_



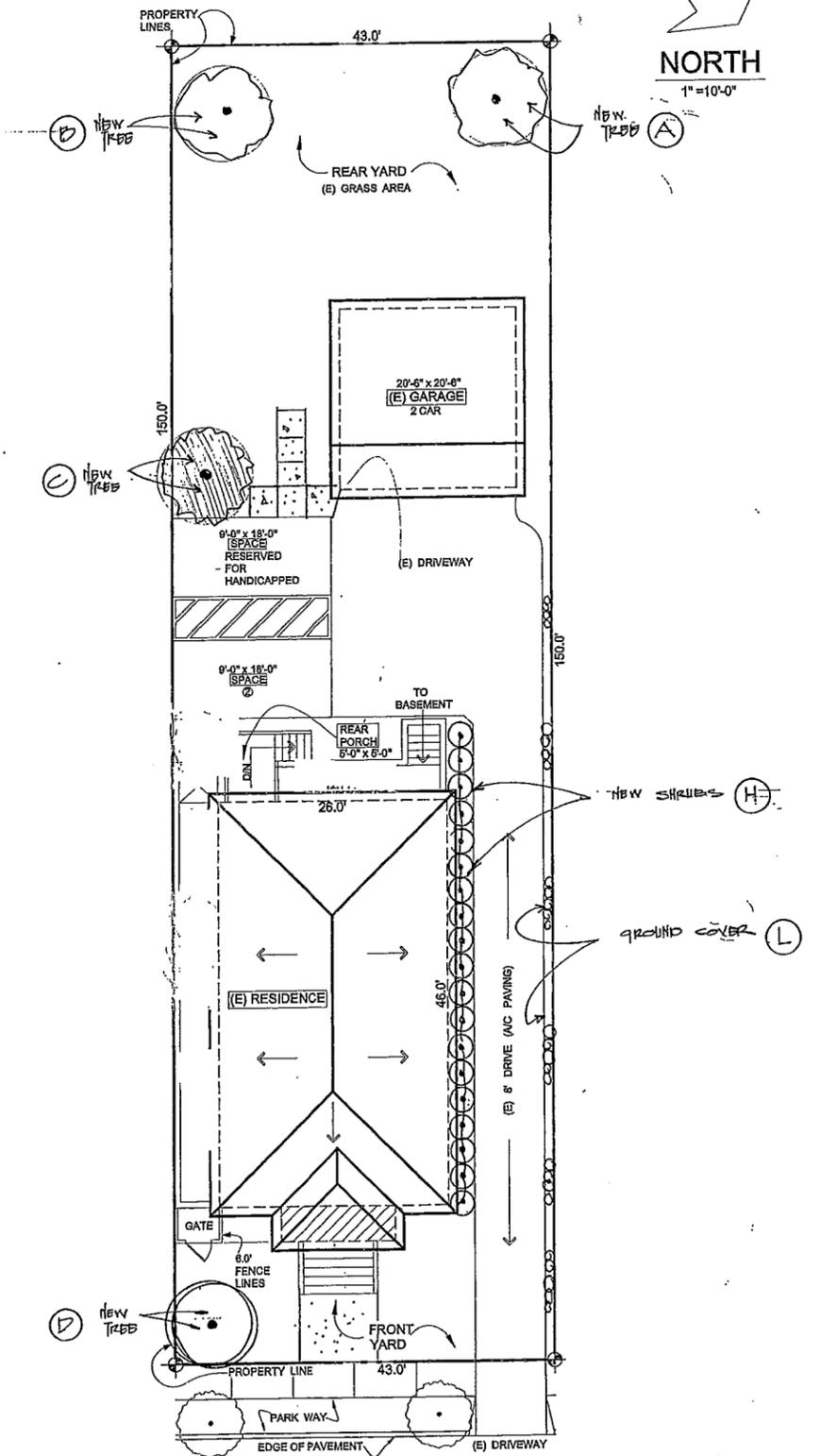


**GRADING NOTE**  
 THIS LOT IS FAIRLY FLAT WITH A SLOPE TOWARDS STREET WITH NO LESS THAN A 2% SLOPE

LANDSCAPE LEGEND				
NO.	LOCATION	BOTANICAL DESCRIPTION	SIZE	AMOUNT
(A)	FRONT / REAR YARD (TREE)	CHIONANTHUS VIRGINICUS FRINGE TREE OLEACEAE	20 GALLON OR 36" CONTAINER	
(B)	FRONT / REAR YARD (TREE)	EUCALYPTUS LEMON-FLOWERED GUM WOODWARDII	20 GALLON OR 36" CONTAINER	
(C)	FRONT / REAR YARD (TREE)	LABURNUM GOLDENCHAIN TREE FABACEAE	20 GALLON OR 36" CONTAINER	
(D)	FRONT / REAR YARD (TREE)	MAGNOLIA MAJESTIC BEAUTY MAGNOLIACEAE	20 GALLON OR 36" CONTAINER	
(E)	FRONT / REAR YARD (SHRUB)	JASMINUM JASMINE OLEACEAE	5 GALLON	
(F)	FRONT / REAR YARD (SHRUB)	HIBISCUS MALVACEAE	5 GALLON	
(G)	FRONT / REAR YARD (SHRUB)	ROSA ROSE ROSACEAE	5 GALLON	
(H)	FRONT / REAR YARD (SHRUB)	TIBOUCHINA URVILLEANA PRINCESS FLOWER, FLEROMA MELASTOMATACEAE	5 GALLON	
(I)	GROUND COVER	ICE PLANT AIZOACEAE	FLATS	
(J)	GROUND COVER	GELSEMIUM SEMPERVIRENS CAROLINA JESSAMINE LOGANIACEAE	FLATS	
(K)	GROUND COVER	OSTEOSPERMUM FRUTICOSUM TRAILING AFRICAN DAISY ASTERACEAE	FLATS	
(L)	GROUND COVER	DISTICTIS TRUMPET VINE BIGNONIACEAE	FLATS	



- TREE PROTECTION NOTES**
- Tree branches that will interfere with construction equipment shall be properly pruned prior to beginning construction. Pruning shall be as approved by the City and shall comply with City approved practices.
  - A protective fence shall be placed at the dripline of the existing trees during the entire construction period. No work shall occur within the dripline except under the direct supervision of a certified arborist approved by the City.
  - Soil compaction and grading shall be avoided under the dripline of the trees. Maintain a positive drainage away from tree trunk. Irrigation shall be avoided under native oak trees.
  - No storage of materials or equipment shall occur within 25 feet of the dripline of the trees.
  - All roots 1" or larger that must be severed shall be cut manually to produce a clean cut and treated with a tree sealant. Boring, rather than trenching shall be required where it is unavoidable for piping to cross through the dripline of a tree.
  - Contractor shall be responsible for providing comparable replacement trees for any existing trees that are found by the City to be irreparably damaged due to construction activity.

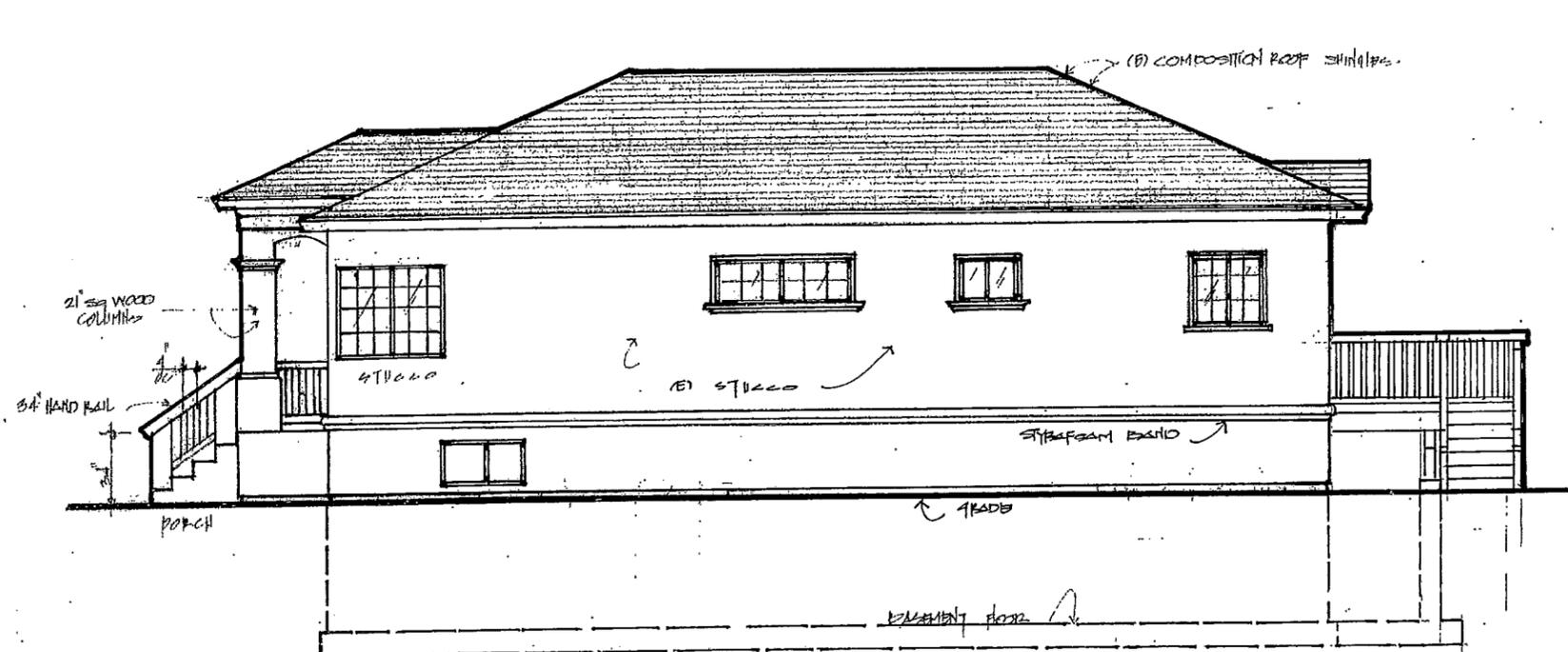


Commercial Consulting Group Civil/Structural/Seismic Engineering  
 Jaime P. Arariles, P.E., P. E.  
 Tel. (510) 386-5899  
 3228 San Lucas Way  
 Union City, CA 94587

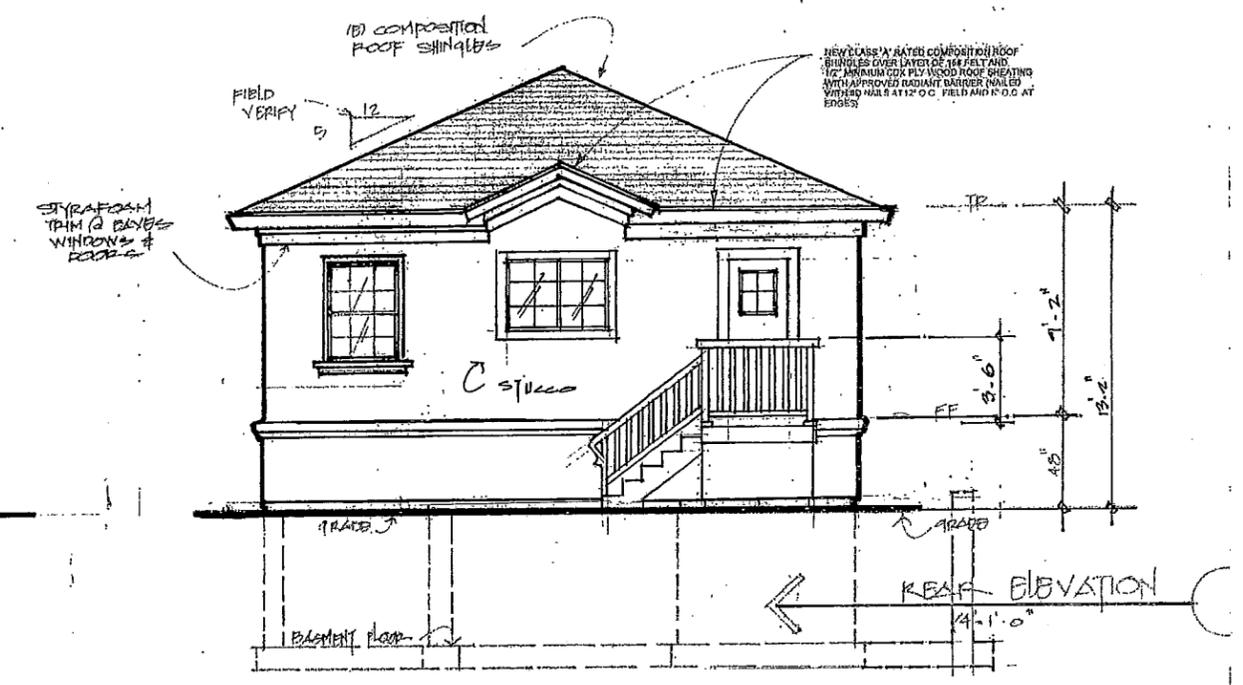
OWNER:  
**TIMOTHY JENNINGS**  
**1115 CLARK STREET**  
**SAN JOSE, CA**

**PROPOSED NEW BASEMENT**  
**WITH LIVING SPACE & NEW**  
**HANDICAP RAMP PLUS NEW**  
**FRONT PORCH**

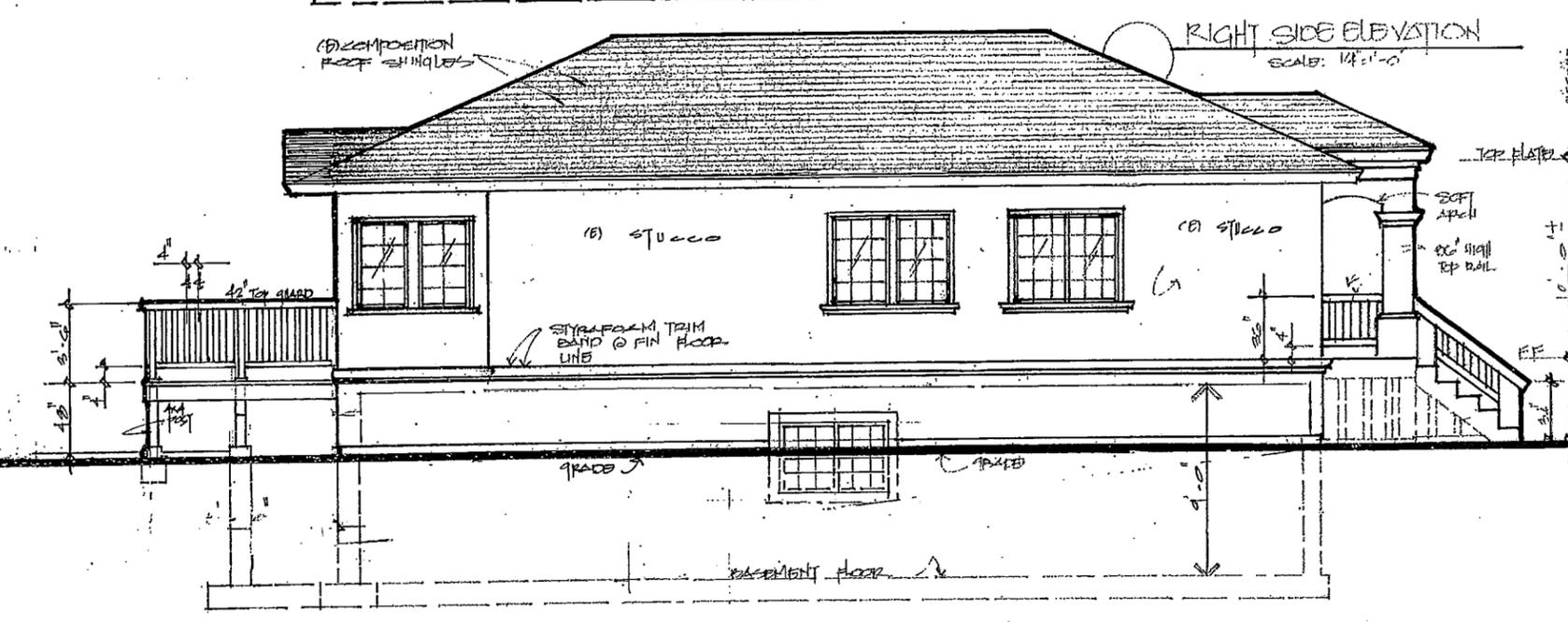
DATE:  
 SCALE: 1/4" = 1'-0"  
 DRAWN: JGG  
 JOB:



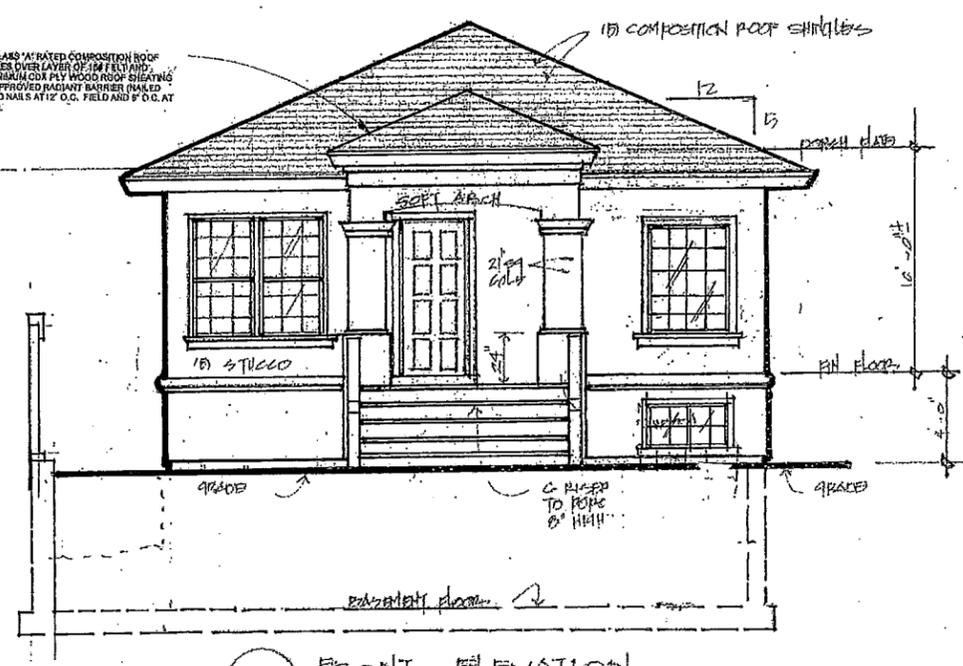
LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

Commercial Consulting Group Civil/Structural/Seismic Engineering  
 Jaime P. Araffiles, P.E., P. E.  
 3228 San Lucas Way  
 Union City, CA 94587  
 Tel. (510) 386-5899  
 Fax. (510) 429-1430

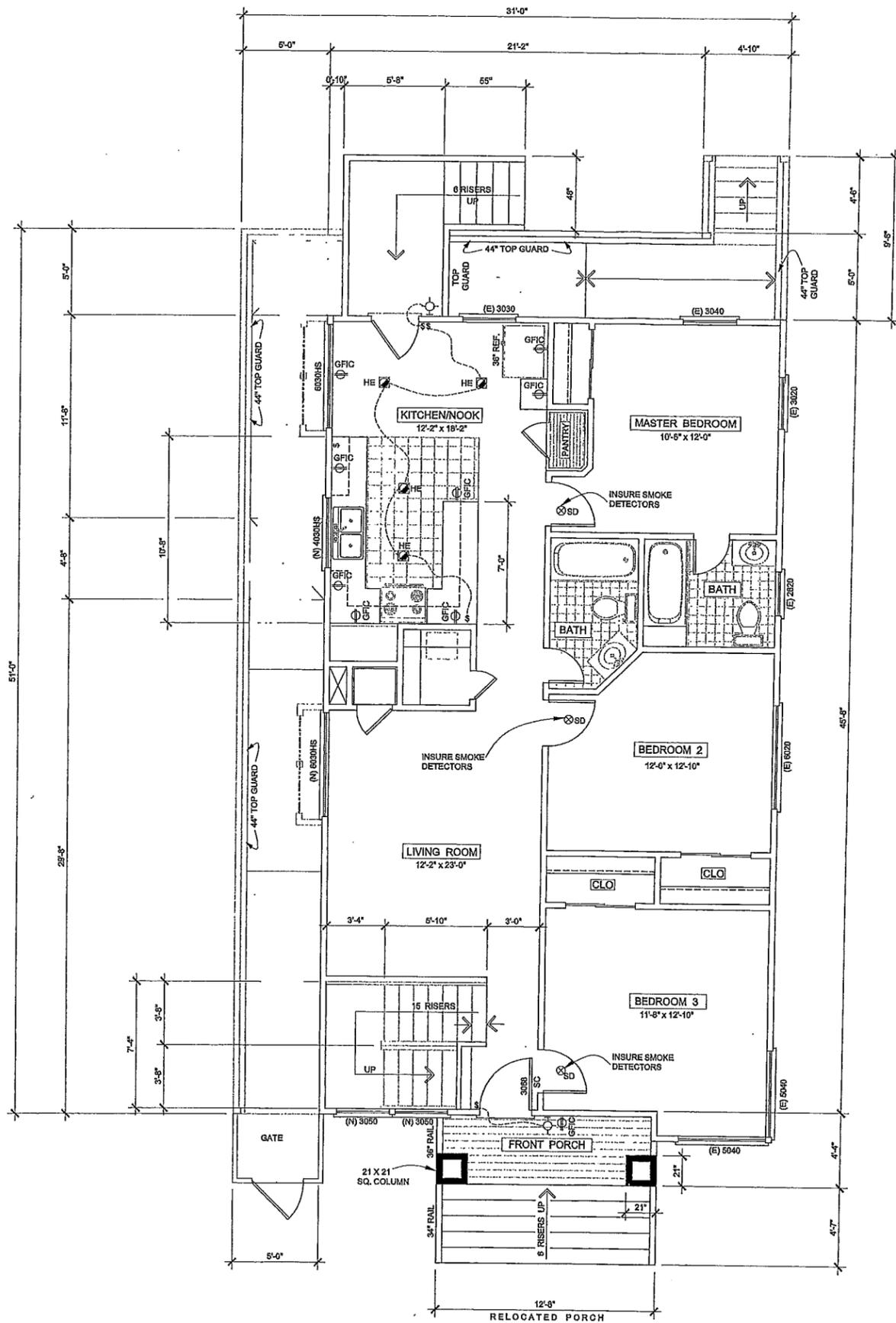
OWNER:  
**TIMOTHY JENNINGS**  
 1115 CLARK STREET  
 SAN JOSE, CA  
 PHONE: (408) 287-7111

**PROPOSED NEW BASEMENT  
 WITH LIVING SPACE & NEW  
 HANDICAP RAMP PLUS NEW  
 FRONT PORCH**

DATE: \_\_\_\_\_  
 SCALE: 1/4" = 1'-0"  
 DRAWN: JJG  
 JOB: \_\_\_\_\_

**GENERAL NOTES**

- PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2010 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES (i.e., 2009 IRC, IBC, UMC, UPC, AND 2008 NEC, CBC, CMC, CPG AND CEC AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SEISMIC DESIGN CATEGORY E).
  - INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS, SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACTOR TO INFORM DRAFTSMAN DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS).
  - ERRORS AND OMISSIONS. IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY.
  - SMOKE DETECTORS. PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.
    - POWER SOURCE: IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW, WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS OR IN BUILDINGS WITHOUT COMMERCIAL POWER OR IN BUILDING WHICH UNDER GO ALTERATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CBC 2010
    - LOCATION WITHIN DWELLING UNITS: IN DWELING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT IN DWELLING UNITS WHERE A STORY OR BASEMENT IS SPLIT INTO TWO OR MORE LEVELS. THE SMOKE DETECTOR SHALL BE INSTALLED IN THE UPPER LEVEL, EXCEPT THAT WHEN THE LOWER LEVEL CONTAINS A SLEEPING AREA A DETECTOR SHALL BE INSTALLED ON EACH LEVEL WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL. IN CLOSE PROXIMITY TO THE STAIRWAY IN DWELLING UNITS WHERE THE CEILING HEIGHT OR A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (610 MM) OR MORE. SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.
- INSULATION: CEILING ..... R-30 BATT INSULATION (NEW CONST. ONLY)  
 WALLS ..... R-13 BATT INSULATION (NEW CONST. ONLY)  
 FLOOR ..... R-19 FLOOR INSULATION
- ACCESS: UNDERFLOOR ..... 18" x 24" MIN. SQ. (IF WOOD FLOOR)  
 CEILING ..... 22" x 30" MIN. W/30" CLEAR HEIGHT.  
 WINDOW ..... APPROVED DOUBLE GLAZED
- NOTE: ALL OPENING, ALL DOORS, WINDOWS, ETC. TO BE CALKED OR FULLY WEATHER STRIPPED.
- SUPPLEMENT TO TITLE 24 FOR RESIDENTIAL ADDITIONS.
    - ROOF SHEATHING WITH RADIANT BARRIER ON UNDERSIDE OF SHEATHING SHALL BE INSTALLED.
    - ALL WINDOWS SHALL HAVE A SOLAR HEAT GAIN COEFFICIENCY OF .40 OR BETTER.
    - WALL SHEATHING @ GABLE ENDS (ABOVE CEILING) SHALL HAVE RADIANT BARRIER PER MFRG. INSTALLATION INSTRUCTIONS.
    - ALL SEALING TAPE ON HEAT AC DUCTS SHALL BE UL181 (LISTED AND LABELED).
    - THE WRAPS (FOR DUCTS) MUST BE UV RESISTANT AND HAVE 150 LBS. OF BURST STRENGTH.
  - WINDOWS / BATHROOM NOTES
    - ALL NEW WINDOW TO BE APPROVED DOUBLE GLAZED (WITH BEDROOM WINDOWS HAVING A MIN. 24" x 24" SQ. OPENING) WINDOWS IN SLEEPING ROOM SHALL MEET EGRESS INGRESS REQUIREMENTS WITH OPENINGS TO BE MINIMUM 5.7 SQ.FT. MINIMUM WIDTH 20" MINIMUM HEIGHT 24" AND MAXIMUM OF 44" ABOVE FINISHED FLOOR TO BOTTOM OF WINDOW.
    - ALL HEADERS USED OVER DOORS, WINDOW AND ANY NECESSARY OPENINGS TO BE 4 x 12 DF# 1 OR BETTER, UNLESS OTHERWISE SPECIFIED.
    - ALL GLAZING IN OR WITHIN 24" OF DOORS, OVER 9 SQUARE FEET AND WITHIN 18" OF FLOOR AND ALL GLAZING IN SHOWERS OR BATHTUBS TO BE SAFETY GLASS.
    - BATHROOM FINISH NOTE ..... ENSURE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HT. OF 1" ABOVE THE DRAIN INLET FOR SHOWER PER CBC 1210.3
    - WATER CLOSETS IN ALL BATHROOMS TO BE MAXIMUM 1.8 GALLONS PER FLUSH.



ELECTRICAL/ MECHANICAL LEGEND			
[Symbol]	EXISTING WALLS	[Symbol]	CHIME
[Symbol]	NEW WALLS	[Symbol]	DOORBELL PUSHBUTTON
[Symbol]	WALLS TO BE REMOVED	[Symbol]	COMB. EXHAUST & LIGHT FIXT
[Symbol]	CLOSE WALLS	[Symbol]	ELECT. FAN
[Symbol]	DUPLEX RECEPTABLE OUTLET	[Symbol]	HEAT LAMP
[Symbol]	GROUND FAULT INTERRUPT CIRCUIT	[Symbol]	HEATER REGIST.
[Symbol]	DUP. REG. OUTLET W/GROUND	[Symbol]	CEILING AIR REGISTER
[Symbol]	FOUR PLEX RECEPTICLE	[Symbol]	WATER HEATER
[Symbol]	220 V RECEPTABLE OUTLET	[Symbol]	FURNACE
[Symbol]	RECESSED CEILING LIGHT	[Symbol]	HOSE BIBB
[Symbol]	HIGH EFFICACY LIGHT	[Symbol]	CARBON MONOXIDE ALARMS
[Symbol]	WALL LIGHT	[Symbol]	INTERCOM
[Symbol]	WATERPROOF WALL LIGHT FIXTURE	[Symbol]	ELECT. METER & MAIN PANEL
[Symbol]	FLUORESCENT LIGHT	[Symbol]	ELECTRICAL SUB-PANEL
[Symbol]	SMALL FLUORESCENT FIXTURE	[Symbol]	RECESSED LIGHT
[Symbol]	SPOTLIGHT	[Symbol]	DISPOSAL
[Symbol]	WALL SWITCH	[Symbol]	CONCRETE
[Symbol]	THREE-WAY SWITCH	[Symbol]	STUCCO
[Symbol]	FOUR-WAY SWITCH	[Symbol]	EXISTING
[Symbol]	SMOKE DETECTOR	[Symbol]	H.S. HORIZONTAL SLIDER
[Symbol]	TELEPHONE OUTLET	[Symbol]	S.H. SINGLE HUNG
[Symbol]	TV/ CABLE OUTLET	[Symbol]	FIX. FIXED GLASS

**PROPOSED MAIN FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

DATE: \_\_\_\_\_

Commercial Consulting Group Civil/Structural/Seismic Engineering  
**Jaime P. Aratiles, P.E.**  
 3228 San Lucas Way  
 Union City, CA 94587  
 Tel. (510) 386-5899  
 Fax. (510) 429-1430

---

**OWNER**  
**MIR. TIMOTHY JENNINGS**  
**1115 CLARK STREET**  
**SAN JOSE, CALIFORNIA**  
**PHONE (408) 287 7111**

---

**PROPOSED NEW BASEMENT**  
**WITH LIVING SPACE & NEW**  
**HANDICAP RAMP PLUS NEW**  
**FRONT PORCH**

---

DATE: \_\_\_\_\_  
 SCALE: 1/4" = 1'-0"  
 DRAWN: Gam  
 JOB: \_\_\_\_\_

**6**  
 psp02a\_option2.dwg

**GENERAL NOTES**

PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2010 CBC, CMG, CPG AND CEG ALSO 2010 UMC, UPC, & NEC AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED IN SEISMIC ZONE 4)

INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH, AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS, SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACTOR TO INFORM DRAFTSMAN DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS).

ERRORS AND OMISSIONS, IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY.

**SMOKE DETECTORS**  
 PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.

**A) POWER SOURCE:** IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW, WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS OR IN BUILDINGS WITHOUT COMMERCIAL POWER OR IN BUILDING WHICH UNDER GO ALTERATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CBC 2007

**B) LOCATION WITHIN DWELLING UNITS:** IN DWELLING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT IN DWELLING UNITS WHERE A STORY OR BASEMENT IS SPLIT INTO TWO OR MORE LEVELS. THE SMOKE DETECTOR SHALL BE INSTALLED IN THE UPPER LEVEL, EXCEPT THAT WHEN THE LOWER LEVEL CONTAINS A SLEEPING AREA A DETECTOR SHALL BE INSTALLED ON EACH LEVEL WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY IN DWELLING UNITS WHERE THE CEILING HEIGHT OR A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (610 MM) OR MORE. SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.

**INSULATION:** CEILING ..... R-30 BATT INSULATION (NEW CONST. ONLY)  
 WALLS ..... R-13 BATT INSULATION (NEW CONST. ONLY)  
 FLOOR ..... R-19 FLOOR INSULATION

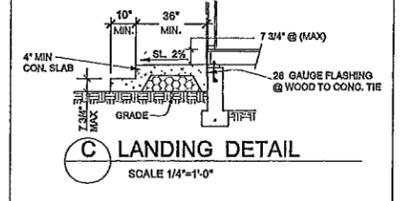
**ACCESS:** UNDER FLOOR ..... 1" x 24" MIN. SQ. (IF WOOD FLOOR)  
 CEILING ..... 22" x 30" MIN. W/30" CLEAR HEIGHT.  
 WINDOW ..... APPROVED DOUBLE GLAZED

**NOTE:** ALL OPENING, ALL DOORS, WINDOWS, ETC. TO BE CALKED OR FULLY WEATHER STRIPPED. SUPPLEMENT TO TITLE 24 FOR RESIDENTIAL ADDITIONS.

1. ROOF SHEATHING WITH RADIANT BARRIER ON UNDERSIDE OF SHEATH SHALL BE INSTALLED.
2. ALL WINDOWS SHALL HAVE A SOLAR HEAT GAIN COEFFICIENT OF .49 OR BETTER.
3. WALL SHEATHING @ GABLE ENDS (ABOVE CEILING) SHALL HAVE RADIANT BARRIER PER MFR. INSTALLATION INSTRUCTIONS.
4. ALL SEALING TAPE ON HEAT/AC DUCTS SHALL BE UL181 (LISTED AND LABELED).
5. THE WRAPS (FOR DUCTS) MUST BE UV RESISTANT AND HAVE 150 LBS. OF BURST STRENGTH.

**WINDOWS / BATHROOM NOTES**

1. ALL NEW WINDOW TO BE APPROVED DOUBLE GLAZED (WITH BEDROOM WINDOWS HAVING A MIN. 24" x 24" EQ. OPENING) WINDOWS IN SLEEPING ROOM SHALL MEET EGRESS INGRESS REQUIREMENTS WITH OPENINGS TO BE MINIMUM 5.0 SQ.FT. MINIMUM WIDTH 20" MINIMUM HEIGHT 24" AND MAXIMUM OF 44" ABOVE FINISHED FLOOR TO BOTTOM OF WINDOW.
2. ALL HEADERS USED OVER DOORS, WINDOW AND ANY NECESSARY OPENINGS TO BE 4 X 12 DFP 1 OR BETTER, UNLESS OTHERWISE SPECIFIED.
3. ALL GLAZING IN OR WITHIN 24" OF DOORS, OVER 8 SQUARE FEET AND WITHIN 18" OF FLOOR AND ALL GLAZING IN SHOWERS OR BATHTUBS TO BE SAFETY GLASS.
4. BATHROOM FINISH NOTE ..... ENSURE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HT. OF 70" ABOVE THE DRAIN INLET FOR SHOWER PER CBC 1210.3
5. WATER CLOSETS IN ALL BATHROOMS TO BE MAXIMUM 1.6 GALLONS PER FLUSH.



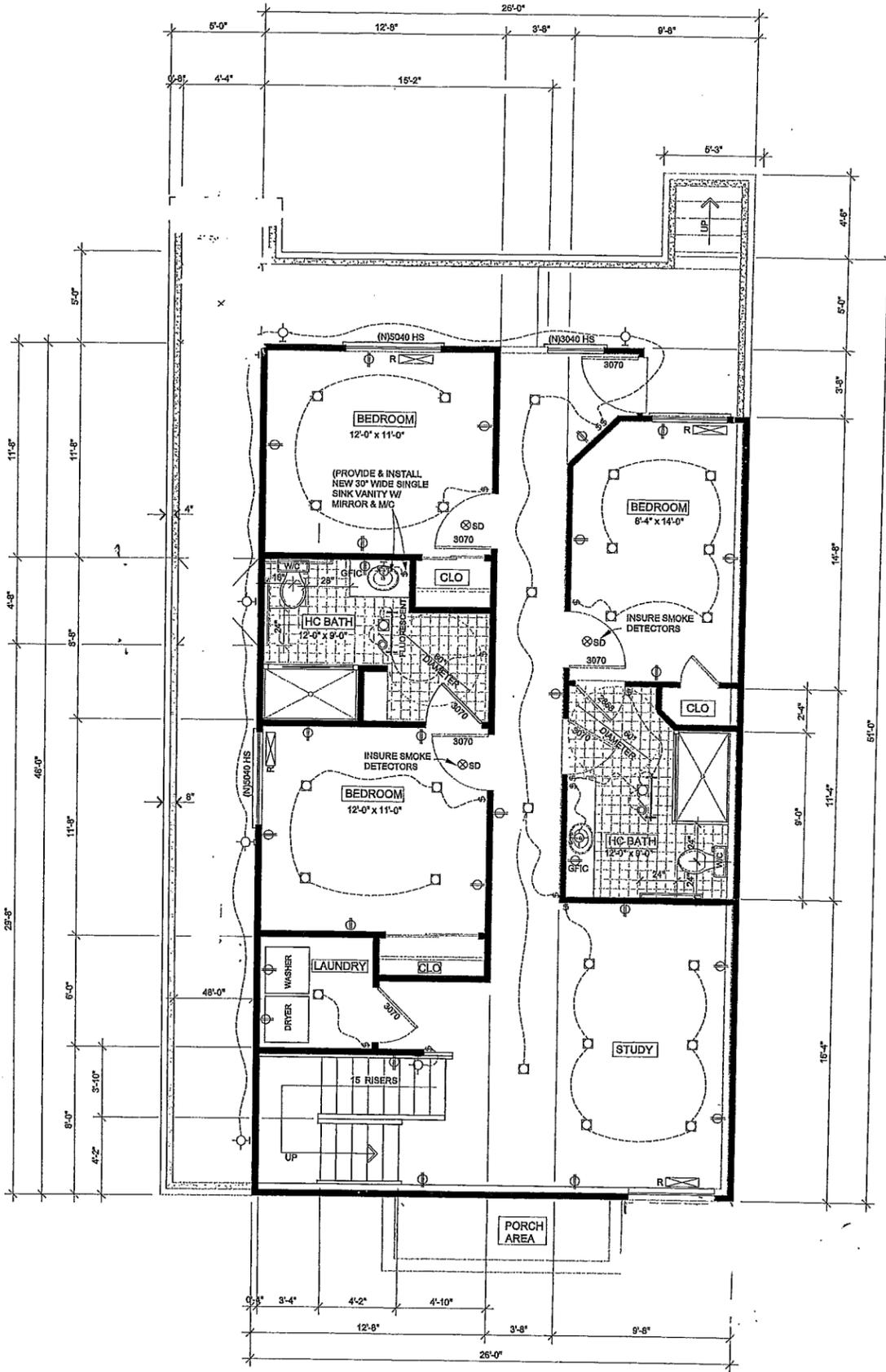
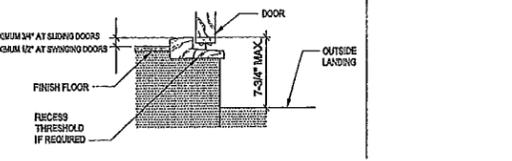
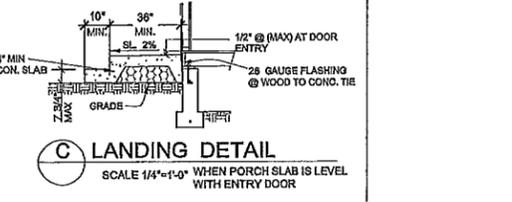
**ELECTRICAL NOTE: (CIRCUITS AND BEDROOMS TO BE AFCI)**  
 ALL BEDROOMS CIRCUITS SHALL BE LISTED COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTERS PROTECTED AT THE PANEL. CIRCUITS INCLUDE LUMINARY CIRCUITS, HARD-WIRED SMOKE DETECTORS, AND RECEPTACLE OUTLETS. ROOMS WITHIN BEDROOMS (SUCH AS CLOSETS AND OPEN BATHROOMS/VANITIES) SHALL ALSO BE INCLUDED, PER SECTION 210.12 (B) OF 2007 CEC.

**NOTE:**  
 WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE 'U' AND 'SHGC' FACTORS THAT REQUIRED BY THE ENERGY DOCUMENTATION. SEE THE ENERGY COMPLIANCE INFORMATION LOCATED ON SHEET T24 FOR THE REQUIRED VALUES

All lights in the kitchen to be high efficacy luminaires or comply with the exceptions as follows:

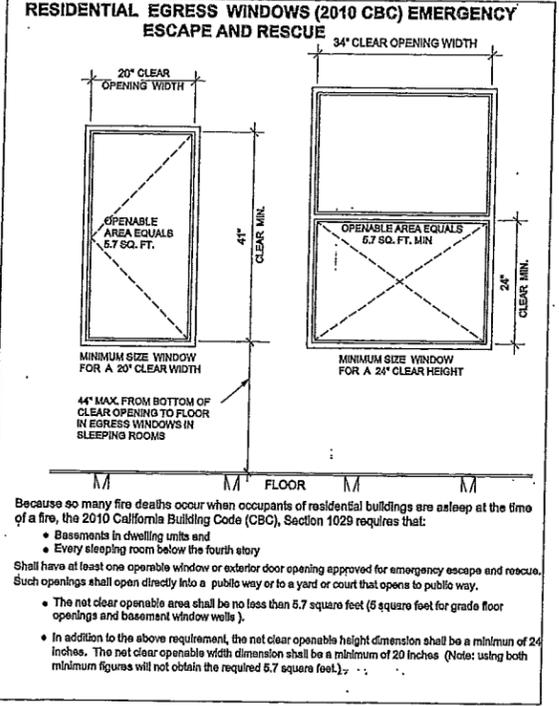
At least 50% of the installed wattage must be high efficacy. Provide completed CF-6R-LTG-01 form confirming required wattage clearly identify on the plans the location and type of lighting fixtures in the kitchen, corresponding to the fixtures specified on the CF-6R-LTG-01. High efficacy lighting must be switched separately from low efficacy lighting. Clearly show and identify switch types and locations on the plans.

SW ELECTRICAL LIGHTING IN GARAGE, KITCHEN & LAUNDRY ROOM TO BE HIGH EFFICIENCY LUMINARIES PER TITLE 24



**PROPOSED BASEMENT PLAN**

ELECTRICAL/ MECHANICAL LEGEND			
[Symbol]	EXISTING WALLS	[Symbol]	CHIME
[Symbol]	NEW WALLS	[Symbol]	DOORBELL PUSHBUTTON
[Symbol]	WALLS TO BE REMOVED	[Symbol]	COMB. EXHAUST & LIGHT FIXT
[Symbol]	CLOSE WALLS	[Symbol]	ELECT. FAN
[Symbol]	DUPLEX RECEPTACLE OUTLET	[Symbol]	HEAT LAMP
[Symbol]	GROUND FAULT INTERRUPT CIRCUIT	[Symbol]	HEATER REGIST.
[Symbol]	DUP. REC. OUTLET W/GROUND	[Symbol]	CEILING AIR REGISTER
[Symbol]	FOUR PLEX RECEPTACLE	[Symbol]	WATER HEATER
[Symbol]	220 V RECEPTACLE OUTLET	[Symbol]	FURNACE
[Symbol]	RECESSED CEILING LIGHT	[Symbol]	HOSE BIBB
[Symbol]	HIGH EFFICACY LIGHT	[Symbol]	CARBON MONOXIDE ALARMS
[Symbol]	WALL LIGHT	[Symbol]	INTERCOM
[Symbol]	WATERPROOF WALL LIGHT FIXTURE	[Symbol]	ELECT. METER & MAIN PANEL
[Symbol]	FLUORESCENT LIGHT	[Symbol]	ELECTRICAL SUB-PANEL
[Symbol]	SMALL FLUORESCENT FIXTURE	[Symbol]	RECESSED LIGHT
[Symbol]	SPOTLIGHT	[Symbol]	DISPOSAL
[Symbol]	WALL SWITCH	[Symbol]	CONCRETE
[Symbol]	THREE-WAY SWITCH	[Symbol]	STUCCO
[Symbol]	FOUR-WAY SWITCH	[Symbol]	EXISTING
[Symbol]	SMOKE DETECTOR	[Symbol]	H.S. HORIZONTAL SLIDER
[Symbol]	TELEPHONE OUTLET	[Symbol]	S.H. SINGLE HUNG
[Symbol]	TV CABLE OUTLET	[Symbol]	FIX. FIXED GLASS



**SPECIAL ENERGY NOTES**  
 (TYPICAL ALL DRAWINGS)

All electrical plans, to be in compliance with CA Energy Code for lighting, which include the following:

A ... All lights in the kitchen to be high efficacy luminaires or comply with the exceptions as follows:

- 1) At least 50% of the installed wattage must be high efficacy.
- 2) Provide completed CF-6R-LTG-01 form confirming required wattage clearly identify on the plans the location and type of lighting fixtures in the kitchen, corresponding to the fixtures specified on the CF-6R-LTG-01.
- 3) High efficacy lighting must be switched separately from low efficacy lighting. Clearly show and identify switch types and locations on the plans.

(Note: Lighting in areas adjacent to the kitchen, including but not limited to dining and nook areas are considered kitchen lighting if they are not separately switched for kitchen lighting)

B ... Bathrooms, garages, laundry rooms, and utility room lighting, in these rooms to be high efficacy luminaires or comply with the exception as follows:

- 1) Provide a manual-on occupancy sensor and motion sensor that complies CEC Section 119(d) and shall not have a control that allows the luminaires to be turned on automatically or that has an override allowing the luminaires to be always on.

C ... All other rooms (i.e. bedrooms, hallways, stairs dining rooms, etc.), to show all lights in these rooms are high efficacy luminaires or comply with the exceptions as follows:

- 1) Provide dimmer switch.
- 2) Provide a manual-on occupancy sensor and motion sensor that complies CEC Section 119(d) and shall not have a control that allows the luminaires to be turned on automatically or that has an override allowing the luminaires to be always on.
- 3) Closets less than 70 SF are exempt from lighting requirements.

D ... The outdoor lighting, to show all lights permanently mounted to the residential building or to other building on the same lot are high efficacy luminaires or comply with the exceptions as follows:

- 1) Lights are to be controlled by a motion sensor with integral photo control.
- 2) Lighting not attached to the building (i.e. landscape lighting) are exempt.

E ... For recessed luminaires in insulated ceilings. Specify IC rated, electronic ballast Air-light(AI).

If all kitchen luminaires are not to be fluorescent, provided, on plan sheets, fully completed and signed CF-6R-LTG-01 energy compliance. Title 24 form

REVISIONS

DATE:

Commercial Consulting Group Civil/Structural/Seismic Engineering  
 Jaime P. Araffles, P.E., P. E.  
 Tel. (510) 386-5899  
 Fax. (510) 429-1430

3228 San Lucas Way  
 Union City, CA 94587

**OWNER**  
**MR. TIMOTHY JENNINGS**  
**1115 CLARK STREET**  
**SAN JOSE, CALIFORNIA**  
**PHONE (408) 287 7111**

**PROPOSED NEW BASEMENT WITH LIVING SPACE & NEW HANDICAP RAMP PLUS NEW FRONT PORCH**

DATE: 05/19/11  
 SCALE: 1/4" = 1'-0"  
 DRAWN: Gam  
 JOB:

7