

STAFF REPORT
PLANNING COMMISSION

FILE NO.: CP11-034

Submitted: May 10, 2011

PROJECT DESCRIPTION:

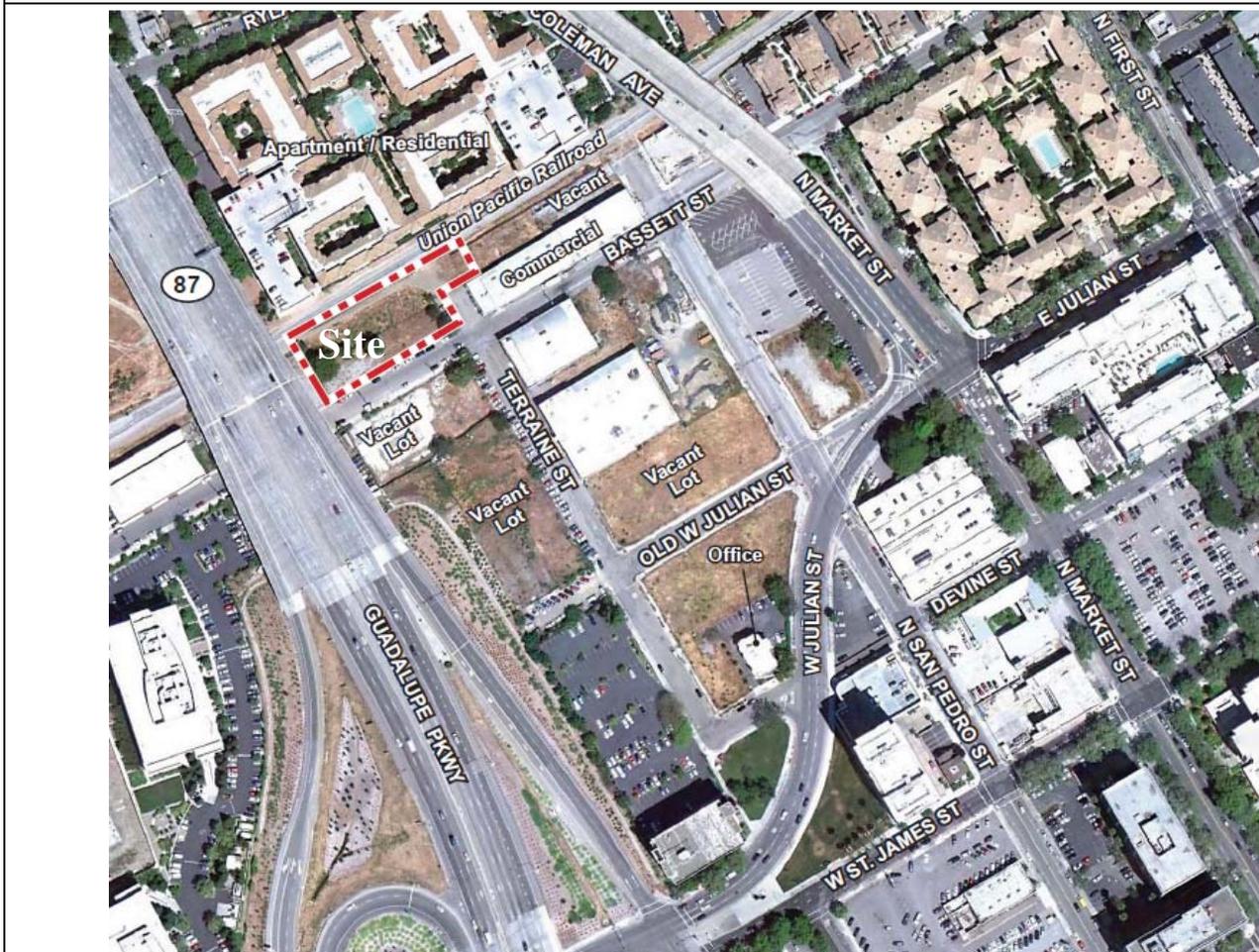
A Conditional Use Permit to allow for a 100% affordable Residential Service Facility, senior housing, and multi-family apartments for up to 135 residents within a new six (6) story building on a 0.73 gross acre site.

LOCATION:

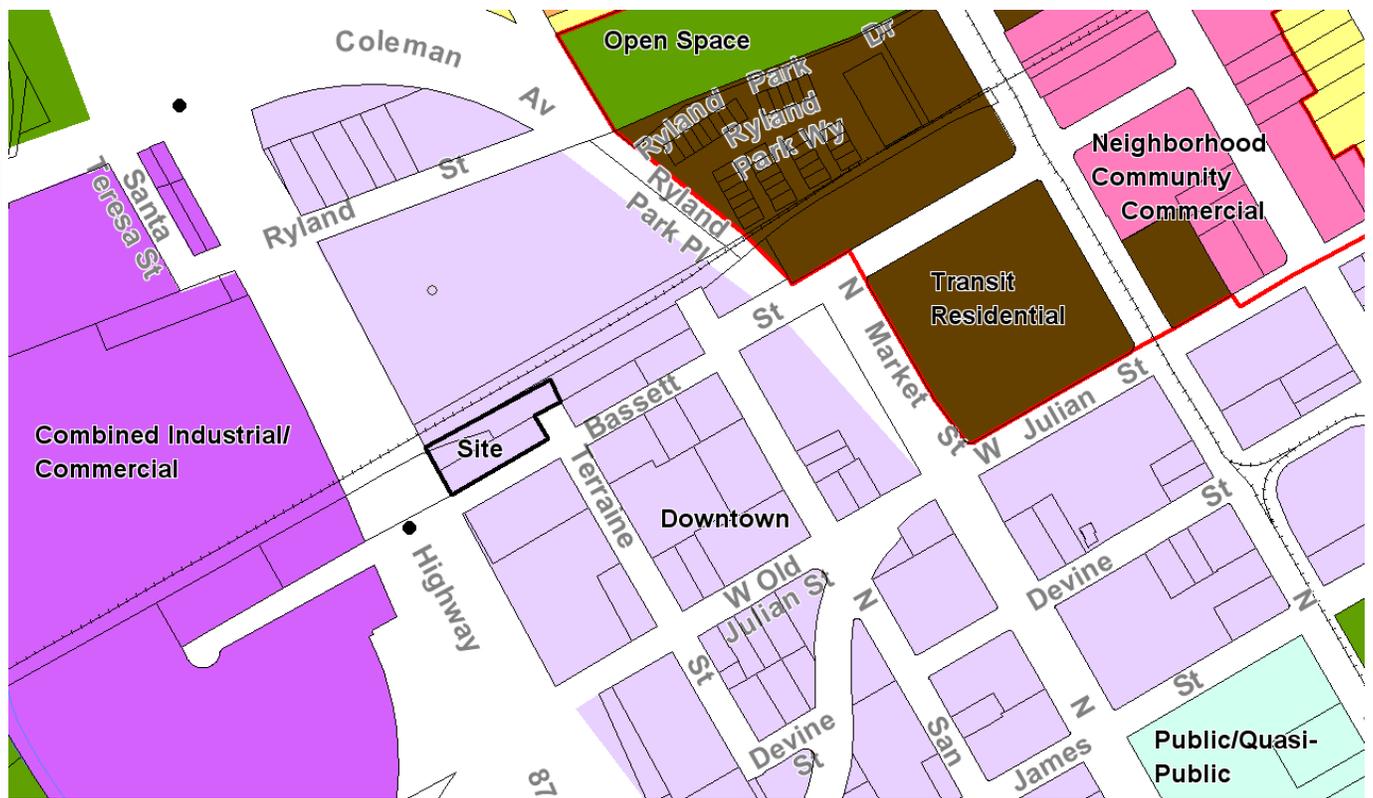
North side of Bassett Street between Highway 87 and N. San Pedro Street.

Zoning	DC - Downtown Primary Commercial
Envision San Jose 2040 General Plan	Downtown
Council District	3
Annexation Date	March 27, 1850 (Original City)
SNI	NA
Historic Resource	NA
Redevelopment Area	Julian Stockton
Specific Plan	NA

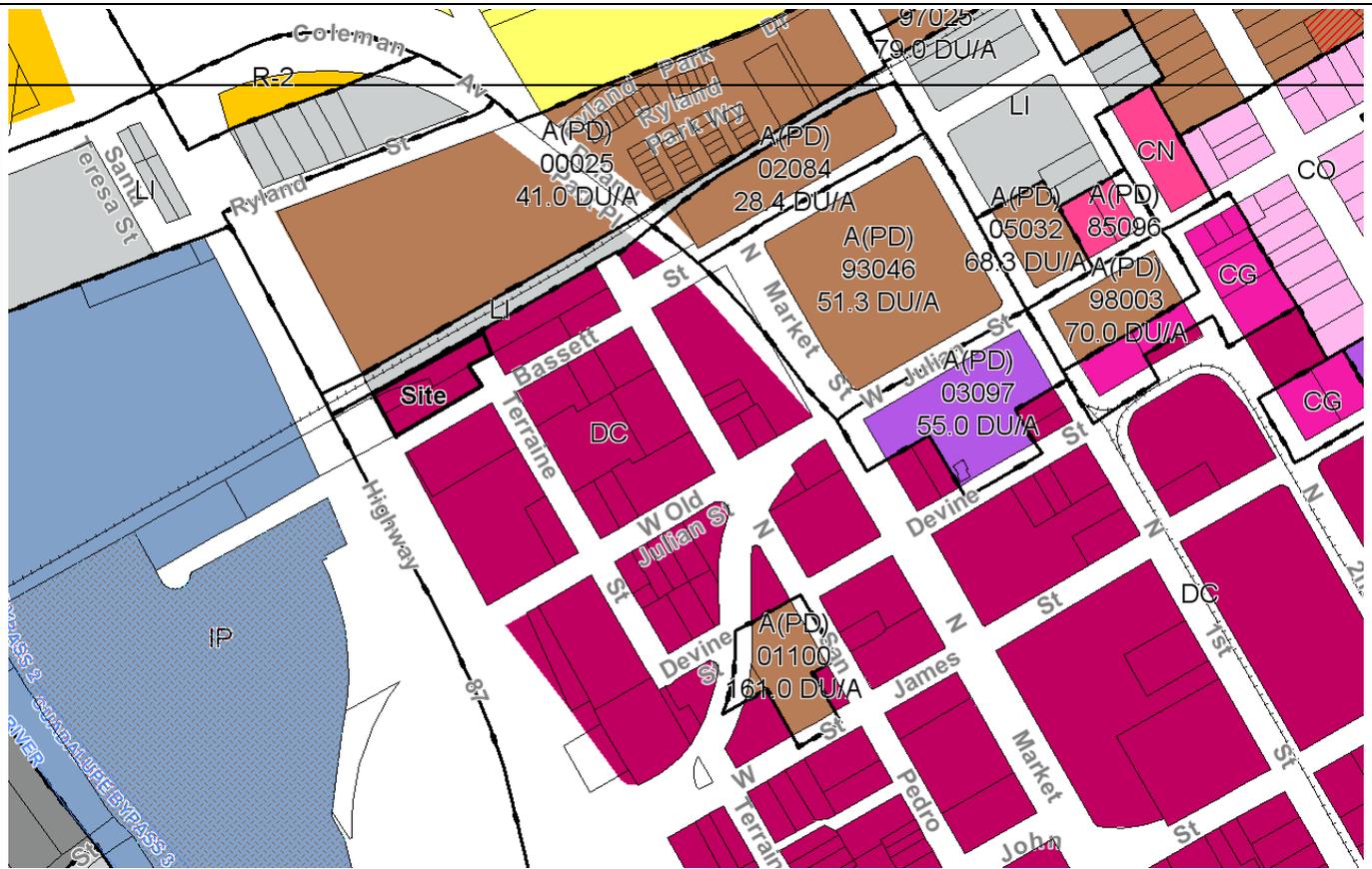
Aerial Map



ENVISION SAN JOSE 2040 GENERAL PLAN



ZONING



RECOMMENDATION

The staff recommends **APPROVAL** of the proposed Conditional Use Permit, with the inclusion of the following special condition:

1. The developer shall secure and agree to implement a Permit Adjustment within 60 days of the issuance of this permit to improve the design quality of the highly visible west (side) and north (rear) elevations of the proposed building to include better articulation and material details to break up the long horizontal plane and add visual interest. There shall be greater diversity and use of finish materials consistent with those proposed on the front building elevation.

Based on the inclusion of the above noted condition, staff recommends approval of the proposed Conditional Use Permit for the following reasons:

1. There is no substantial evidence that the project will have a significant effect on the environment. An Addendum to the Brandenburg Mixed-Use Project/North San Pedro Housing Sites Final Environmental Impact Report (EIR), which was certified by the Planning Commission and adopted by the City Council by Resolution No. 72170 on June 15, 2004, was approved by the Director of Planning, Building, and Code Enforcement for the proposed project in conformance with the California Environmental Quality Act (CEQA).
2. The proposed Conditional Use Permit is consistent with the goals and policies of the Envision San Jose 2040 General Plan, specifically:
 - a. The very high density residential project comply with site's the Land Use/Transportation Diagram land use designation of Downtown.
 - b. The Focused Growth Major Strategy, as the project is located in downtown, which is an identified growth area.
 - c. The Destination Downtown Major Strategy, as the project is located in downtown and will develop a vacant site with affordable housing.
 - d. The Community Design – Downtown Urban Design Policies (CD-6.2, CD-6.5, and CD-6.6) as the project will be of a design that is aesthetically pleasing and visually interesting.
3. The proposed development conforms to the applicable use and development regulations in the Zoning Ordinance.
4. The project is consistent with the Downtown Design Guidelines and Residential Design Guidelines.

Without the recommended special condition of approval noted above, staff would recommend **DENIAL** of the proposed Conditional Use Permit as it would significantly depart from General Plan Community Design – Downtown Urban Design Policies (CD-6.2, CD-6.5, and CD-6.6) and the Downtown Design Guidelines.

BACKGROUND & DESCRIPTION

On May 10, 2011, First Community Housing, applied for a Conditional Use Permit to allow for the construction of a 100% affordable Residential Service Facility, senior housing, and multi-family apartments for up to 135 residents in the DC Downtown Primary Commercial Zoning District on the subject 0.73 gross acre site.

The proposed project would develop the subject site with 135 affordable for-rent residential units in a 75,626 square foot, six-story podium building. The proposed project would accommodate low to very

low-income individuals, earning 30 to 50 percent of the area's median income. The 135 residential units would include 10 one-bedroom units, 124 studio units, and 1 two-bedroom unit for the building manager. The building will also include a community room, gym, laundry area, computer lounge, a social services office, and a manager's office. Approximately 35% of the residents in the building are expected to be disabled and will receive social services on site and approximately 50% of the residents are anticipated to be seniors. Parking will be provided in a common at-grade parking garage below the podium.

Brandenburg Mixed-Use Project Area

The project site is located within the Brandenburg Mixed-Use Project area for which a set of General Plan Amendments were approved in June 2004. An Environmental Impact Report (EIR) was prepared for this project and included analysis for a group of related actions, including San José 2020 General Plan amendments, rezoning, associated land use permits, development agreements between the Redevelopment Agency and various developers of the site, appropriate acquisition and assembly of property, and street abandonment and infrastructure improvements. The proposed project is the first to move forward under this area plan.

Site and Surrounding Uses

The subject site is located on the north side of Bassett Street between Highway 87 and N. San Pedro Street at the southeast corner of Bassett and Terraine Streets in downtown San José. The project site is bounded by the Union Pacific Railroad line to the north (with multi-family residential uses located on the north side of the tracks), a segment of Terraine Street to the east (with a commercial building that houses a semiconductor equipment supplier), Bassett Street to the south and State Route (SR) 87 to the west.

The subject site is flat and undeveloped and contains a total of seven (7) trees, none of which are ordinance size. The southern portion of the site along Bassett Street consists of an unpaved lot surrounded by chain link fencing. The northern and easternmost portions of the site along the Union Pacific Railroad line consist of an unpaved dirt lot with an asphalt road that intersects with the end of Terraine Street. There is a public sidewalk along Bassett Street along the southern edge of the project site.

ANALYSIS

The proposed rezoning was analyzed with respect to: 1) conformance with the Envision San Jose 2040 General Plan, 2) conformance the Zoning Ordinance, 3) consistency with the Downtown Design Guidelines, 4) sustainability, and 5) the California Environmental Quality Act (CEQA).

Envision San Jose 2040 General Plan Conformance

The subject site has an Envision San Jose 2040 land use designation of Downtown. This land use designation includes office, retail, service, residential, and entertainment uses in the Downtown area. Redevelopment should be at very high intensities, unless incompatibility with other major policies within the *Envision 2040 General Plan* (such as Historic Preservation Policies) indicates otherwise.

Consistent with the land use designation for the site, the project propose residential apartment units at a very high density of 185 DU/AC. The design of the project supports pedestrian and bicycle circulation, and transit ridership as it is within walking distance of bus and light rail transit, and all residents will be provided with an ECO Pass yearly.

Additionally, the proposed project on the subject site is also consistent or inconsistent with the following General Plan Major Strategies and Policies as discussed in the following:

- Major Strategy #3 - Focused Growth: This strategy strategically focuses new growth into areas of San José that will enable the achievement of City goals. While the Focused Growth strategy directs and promotes growth within identified Growth Areas, it also strictly limits new residential development through neighborhood infill outside of these Growth Areas to preserve and enhance the quality of established neighborhoods, to reduce environmental and fiscal impacts, and to strengthen the City's Urban Growth Boundary.

Consistent with this strategy, the proposed residential project is located in downtown, which is an identified growth area and the project will add affordable housing near transit and jobs.

- Major Strategy #7 - Measurable Sustainability / Environmental Stewardship: This strategy supports the minimization of impacts on resource consumption, reduction in contribution to global warming, and preservation and enhancement of the natural environment as the City grows.

The proposed residential project is consistent with this strategy in that it is located within an identified growth area in downtown where urban services are already provided. Additionally, the project will meet the City's green building policies and be LEED Certified.

- Major Strategy #9 - Destination Downtown: This strategy supports the continued growth in the Downtown as the City's cultural center and as a unique and important employment and residential neighborhood. Focusing growth within the Downtown will support the Plan's economic, fiscal, environmental, and urban design/ placemaking goals. As San José's largest urban area, Downtown contributes towards the positive identity of the City to the region, the nation and abroad.

Consistent with this strategy, the proposed residential project is located in downtown and will develop a vacant site with affordable housing that is in close proximity to transit and jobs.

- Community Design – Downtown Urban Design Policy CD-6.2: Design new development with a scale, quality, and character to strengthen Downtown's status as a major urban center.

As proposed, the project is not consistent with this policy. The north elevation, adjacent to the railroad, is a long blank wall and not at all consistent with the quality of the design on other sides of the building. Staff has recommended a special condition, as noted at the beginning of this report, to require a Permit Adjustment to address the blank wall and submit a design that is more articulated and detailed. This will result in an aesthetically pleasing and visually interesting design, which would make the project better conform to this policy.

- Community Design – Downtown Urban Design Policy CD-6.5: Promote iconic architecture and encourage and incorporate innovative, varied, and dynamic design features (e.g., appearance, function, sustainability aspects) into sites, buildings, art, streetscapes, landscapes, and signage to make Downtown visually exciting and to attract residents and visitors.

As proposed, the project is not consistent with this policy. The design of the front (south elevation) of the building is distinctive and includes variations in building massing, form, and materials. That same level of design detail is not carried over to the north and west elevations, that are highly visible from Highway 87 as the freeway approaches Downtown. Although, it is recognized that there are some challenges in that significant noise attenuation is required to address impacts from the freeway, airplane and railroad, these elevations should include varied and dynamic design features, even if the amount of windows is limited. With staff's recommended conditional

approval to require a Permit Adjustment to address the design on the north and west building elevations, the project would be in conformance with this design policy.

- Community Design – Downtown Urban Design Policy CD-6.6: Promote development that contributes to a dramatic urban skyline. Encourage variations in building massing and form, especially for buildings taller than 75 feet, to create distinctive silhouettes for the Downtown skyline.

As proposed, the project is not consistent with this policy. While the building is not quite 75 feet tall, at 67 feet and given the prominent location, to be seen by many living in, and visiting San Jose, the side and rear elevations of the building does not offer a distinctive positive silhouette and will block views of other prominent buildings. The design of the front (south elevation) of the building is distinctive and includes variations in building massing and form. That same level of design detail is not carried over to the north and west elevations, particularly at the roof level, which is flat and primarily at a consistent height. The top floors and roof are highly visible and should be afforded distinctive architecture. With staff's recommended conditional approval to require a permit adjustment to address the design on the north and west building elevations, the project would be in conformance with this policy

Zoning Ordinance

The proposed project is an affordable multi-family residential development with 35% of the units dedicated to disabled residents receiving social services, which is defined as a Residential Service Facility under the Zoning Ordinance. Multi-family residential is a permitted use and a Residential Service Facility is conditional within the DC- Downtown Primary Commercial Zoning District.

Setbacks

Properties located in the DC Zoning Districts are not subject to any minimum setback requirements. The building generally extends to edge of the property lines, with a 3-foot setback along the back side (north) and a 10-foot setback along the east side.

Parking

The project includes a unit mix of 16 one-bedroom units, 118 studio units, and 1 two-bedroom unit for the building manager, and the residential service facility will have up to three (3) employees on the site at any one time. The project provides 52 parking spaces on the first floor, podium, of the building. The Zoning Ordinance requires a Residential Service Facility to have 0.75 parking spaces per employee, senior units to have 0.5 parking spaces per unit and multi-family residential units to have 1 parking space per unit.

Additionally, the Zoning Ordinance allows for the Director to grant up to a fifteen percent reduction in the number of spaces required as part of the issuance of a development permit where the reduced number of spaces will be adequate to meet the parking demand generated by the project when the following findings are made:

1. The project has developed a travel demand management (TDM) program that provides evidence that a TDM program will reduce parking demand and identifies the percentage of parking demand that will be reduced through the TDM program. The TDM program will incorporate one or more elements of TDM including, but not limited to measures such as Ecopass, parking cash-out, alternate work schedules, ride sharing, transit support, carpool/ vanpools, shared parking, or any other reasonable measures; and

2. The project demonstrates that it can maintain the TDM program for the life of the project and it is reasonably certain that the parking shall continue to be provided and maintained at the same location for the services of the building or use for which such parking is required, during the life of the building or use.

The project will provide a travel demand management (TDM) program in the form of free Eco-Passes to all of its tenants annually, which will be a condition of this permit. Additionally, the project area is served by local, community, express, and limited stop bus routes. Local bus routes include Lines 66, 72, 73, and 82. Line 65 serves as a community bus route, and Lines 181 and 304 serve as express and limited stop bus routes, respectively. The St. James Light Rail Transit (LRT) station, located on First Street just south of St. James Street and 0.6 miles southeast of the project site, is the one VTA LRT station within the project vicinity.

With the 15 % reduction for the TDM program, the projects 52 parking spaces are provided in conformance with the Zoning Ordinance requirements.

Height

The building is 67 feet in height, plus approximately 12 additional feet at the building's three stair cores. The Zoning Ordinance requires that the maximum building height is subject to the height limitations necessary for the safe operation of San José International Airport as prescribed under Federal Aviation Regulations Part 77 (14 C.F.R. Part 77), as amended. The Federal Aviation Administration issued a Determination of No Hazard to Air Navigation on March 2, 2011 for the proposed building. Therefore, the building height is in conformance with the Zoning Ordinance.

Downtown Design Guidelines

This Conditional Use Permit application proposes a maximum of 135 residential units in a new 75,626 square foot, six-story podium building within the Downtown Core area. The Downtown Design Guidelines are applicable to the proposed project. The goal of the Guidelines is to define expectations, predictability and allow flexibility, adhere to value-added design quality, and respect the community of downtown San Jose. The Guidelines address the context, architecture and humanizing scale of the building. They take into account tall, mid-rise and low-rise buildings, with adjustments made to achieve design excellence.

The site is located within the North San Pedro Area Overlay within the Guidelines. The goal within this area is to encourage variety in development rather than uniformity and to provide opportunities for livability through the form and materials of the buildings, including a minimum standard of quality for materials in the development's exterior finishes.

Context

Each building site within the downtown lies within a larger physical context having various and distinct features and characteristics to which the building design should respond. For this project, the site has the following characteristics:

- Adjacent to the Union Pacific Railroad tracks to the north.
- Adjacent to an elevated portion of State Route (SR) 87, from which going southbound there is clear view of downtown.
- Located at the northerly most boundary of the Downtown Core area.

- Located across the railroad tracks from a four-story residential townhome project.
- Adjacent to Bassett Street, which is planned as an urban residential/pedestrian street.

The design of the proposed building appropriately responds to the Bassett Street context as discussed below in the “Street Level Design” section of this report. However, the building length along the railroad tracks is very long and proposed to be mostly a blank wall with a few minor, staggered punctuations through the wall. This elevation is highly visible as one is driving into downtown along Highway 87 from the north. Currently, the view is of the taller buildings downtown, but with the proposed building this view will be blocked, and it will be blocked with a very long length of blank wall. (See the comparison photos below, existing view vs. the view with the proposed building.) While a more solid than open wall is necessary on both the buildings elevation adjacent to the railroad tracks and the one adjacent to SR 87 for noise attenuation, these elevations can be more richly articulated with color and material changes, and height variations or roof elements, particularly at the corners.



Additionally, as shown below, the existing residential townhome project, although a shorter building, provides a more interesting and articulated building elevation adjacent to the railroad tracks than the proposed project, and yet is able to appropriately address the same noise impacts.



For this reason, staff is recommending that the subject permit be approved with a condition requiring the approval of a Permit Adjustment prior to the issuance of a building permit for revised north and west building elevations that provides additional articulation through the use of color and material changes and/or building height variations or roof elements.

Materials

The Guidelines recommend that exterior materials should be durable, low maintenance, and resistant to the urban setting. Consistent with this Guideline, the project provides concrete at the base of the building along with glass and green screens.

Street Level Design

The Guidelines state that for unavoidable programmatic reasons facades may have few entries or windows, but that the façade should receive special design treatment to increase pedestrian safety, comfort, and interest. Given that the subject site is located immediately adjacent to Highway 87 and the railroad tracks, there is no opportunity to locate building entrances anywhere other than on Bassett Street. The building at the street level includes the use of concrete wall, glass, and green screens that break up the wall's surface. Reveals, small setbacks, and indentations, also break up the wall surface.

Facade

The Guidelines recommend that a minimum 2 foot distance between the face of the concrete structure to the finished building facade be provided at all elevations facing the public realm for greater flexibility for exterior modulations, finish, and signage. The proposed building is not built to the property line at the public realm, Bassett Street, but varies in setback between 2 and 7 feet for most of the façade with the exception of the building entrance which is setback further. Therefore, the proposed façade has ample space for the proposed finish materials and any future signage.

Building Entries

The Guidelines recommend that building entries be clearly identifiable by a horizontal projection (such as a canopy) visible from 100 feet along the adjacent sidewalk and that the main entrance is off the street and not from a parking area. While the project does not provide a horizontal projection, it does provide a main entrance directly off of the street central to the building that is identifiable by a large recess in the building and a rock garden.

Open Space

The Guidelines encourage buildings downtown to incorporate useable private and common open space, but it is not required. The project provides 100 square feet per unit of common open space in the form of a landscaped courtyard, community room, and gym. The one-bedroom units have 60 square feet of private open space in the form of a balcony. The studio and two-bedroom units do not have private open space.

Sustainability

This project is subject to the City of San Jose Green Building Ordinance for New Construction Private Development. The subject Conditional Use Permit includes a condition that the project is LEED Certified prior to issuance of a final building permit. At this time, it is known that the project is pursuing LEED

Platinum certification from the United States Green Building Council and proposes to implement the following green building measures:

- Green roof
- Rain garden
- Passive solar lighting
- Recycled building materials
- Energy efficient windows.

California Environmental Quality Act (CEQA)

An Initial Study (IS) and Addendum to the Brandenburg Mixed-Use Project/North San Pedro Housing Sites Final Environmental Impact Report (EIR), which was certified by the Planning Commission and adopted by the City Council by Resolution No. 72170 on June 15, 2004, was approved by the Director of Planning, Building, and Code Enforcement for the proposed project.

The Initial Study (IS) and Addendum concluded that the proposed residential project was anticipated and is within the development envelope analyzed in the Brandenburg Mixed-Use Project/North San Pedro Housing Sites EIR. With implementation of the standard measures and mitigation measures included in the project and described in the Initial Study, the proposed project would not result in new or more significant environmental impacts than those addressed in the certified Brandenburg EIR.

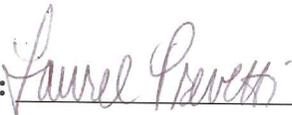
The mitigation measures identified in the IS and EIR will be included in the project as permit conditions in the Conditional Use Permit. The entire Initial Study and Addendum are available for review on the Planning web site at: www.sanjoseca.gov/planning/eir/MND.asp

PUBLIC OUTREACH/INTEREST

Community Meetings were held several years ago as part of the approval process for the Brandenburg Mixed-Use Project area and related General Plan Amendments 2004. More recently, a community meeting was held on December 5, 2010 at City Hall. Those in attendance were generally supportive of the project and the questions raised centered around the adequacy of on-site parking, timing of project construction, and what was happening with the vacant development sites in the larger area, as well as, the Julian Street realignment project.

The property owners and occupants within a 1000-foot radius were sent public hearing notices for the Planning Commission and City Council hearings. This staff report has been posted on the City's website. Signage has been posted at the site to inform the public about the proposed change. Staff has been available to discuss the proposal with interested members of the public.

Project Manager: Lesley Xavier

Approved by: 

Date: 12-7-11

Owner/Applicant:	Attachments:
<p>Owner: City of San Jose Redevelopment Agency 200 E. Santa Clara Street San Jose, CA 95113</p> <p>Applicant: First Community Housing 75 W. Santa Clara Street, Suite 1300 San Jose, CA 95113</p>	<p>Plan set</p>

RESOLUTION NO.

Resolution of the Planning Commission of the City of San Jose granting, subject to conditions, a Conditional Use Permit to use certain real property described herein for the purpose of a 100% affordable residential service facility, senior housing and multi-family apartments located within a proposed new residential building for up to 135 residents on a 0.73 gross acre site located at 201 Bassett Street.

FILE NO. CP11-034

BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF SAN JOSE:

WHEREAS, pursuant to the provisions of Chapter 20.100 of Title 20 of the San Jose Municipal Code, on May 10, 2011, an application (File No. CP11-034) was filed for a Conditional Use Permit to allow a 100% affordable residential service facility, senior housing and multi-family apartments located within a proposed new residential building for up to 135 residents, on that certain real property (hereinafter referred to as "subject property"), situate in the DC-Downtown Primary Commercial Zoning District, located on the north side of Bassett Street between Highway 87 and N. San Pedro Street (201 Bassett Street), San Jose, and

WHEREAS, the subject property is all that real property described in Exhibit "A," which is attached hereto and made a part hereof by this reference as if fully set forth herein; and

WHEREAS, pursuant to and in accordance with Chapter 20.100 of Title 20 of the San Jose Municipal Code, this Planning Commission conducted a hearing on said application, notice of which was duly given; and

WHEREAS, at said hearing, this Planning Commission gave all persons full opportunity to be heard and to present evidence and testimony respecting said matter; and

WHEREAS, at said hearing this Planning Commission received and considered the reports and recommendation of the Director of Planning, Building and Code Enforcement; and

WHEREAS, at said hearing, this Planning Commission received in evidence a development plan for the subject property entitled, "A Development for First Community Housing, North San Pedro Apartments, San Jose, CA" dated **November 3, 2011**. Said plan is on file in the Department of Planning, Building and Code Enforcement and is available for inspection by anyone interested herein, and said development plan is incorporated herein by this reference, the same as if it were fully set forth herein; and

WHEREAS, said hearing was conducted in all respects as required by the San Jose Municipal Code and the rules of this Planning Commission;

NOW, THEREFORE:

After considering evidence presented at the Public Hearing, the Planning Commission finds that the following are the relevant facts regarding this proposed project:

1. The applicant, First Community Housing, is requesting the subject Conditional Use Permit to allow for a residential service facility for up to 35% of the residents of the proposed 135 unit residential apartment building and up to 3 employees.
2. All social service activities will be conducted indoors.
3. The proposal will include up senior housing units for up to 50% of the units.
4. Approximately 15% of the units will be multi-family attached units.
5. This site has a designation of Downtown on the adopted Envision San José 2040 General Plan Land Use/Transportation Diagram.
6. The project site is located in the DC – Downtown Primary Commercial Zoning District. Residential Service Facility uses for more than seven (7) people are a Conditional Use in the DC - Downtown Primary Commercial Zoning District.
7. The Conditional Use Permit would allow the construction of a 75,626 square foot, six-story podium building that will include 135 affordable for-rent residential units of which 35 % of the units will be dedicated to the residential service facility.
8. The project includes a unit mix of 16 one-bedroom units, 118 studio units, and 1 two-bedroom unit for the building manager, and the residential service facility will have up to three (3) employees on the site at any one time.
9. The Zoning Ordinance requires a Residential Service Facility to have 0.75 parking spaces per employee, senior units to have 0.5 parking spaces per unit and multi-family residential units to have 1 parking space per unit.
10. The Zoning Ordinance allows for the Director to grant up to a fifteen percent reduction in the number of spaces required as part of the issuance of a development permit where the project has developed a travel demand management (TDM) program that provides evidence that a TDM program will reduce parking demand through the use of measures such as the issuance of Ecopasses, parking cash-out, alternate work schedules, ride sharing, transit support, carpool/ vanpools, shared parking, or any other reasonable measures.
11. The developer of this project will provide free Eco-Passes to all of its tenants annually.
12. With the inclusion of TDM measures, the total parking spaces needed for the proposed unit mix is 49. The project provides 52 parking spaces on the first floor of the building.
13. The subject site is bounded by the Union Pacific Railroad line to the north (with multi-family residential uses located on the north side of the tracks), a segment of Terraine Street to the east (with a commercial building that houses a semiconductor equipment supplier), Bassett Street to the south and State Route (SR) 87 to the west.

14. The Downtown Design Guidelines state that each building site within the downtown lies within a larger physical context having various and distinct features and characteristics to which building design should respond.
15. The General Plan's Community Design – Downtown Urban Design Policy CD-6.2 states that new development should be designed with a scale, quality, and character to strengthen Downtown's status as a major urban center.
16. As proposed, the project is not consistent with the Downtown Design Guidelines and certain General Plan policies. The north elevation, adjacent to the railroad, is a long blank wall and not at all consistent with the quality of the design on other sides of the building.
17. A Permit Adjustment is required as a condition of this permit to address the blank wall and submit a design that is more articulated and detailed. This will result in an aesthetically pleasing and visually interesting design, which would make the project better conform to the Downtown Design Guidelines and General Plan policies.
18. In accordance with the State Guidelines for Implementation of the California Environmental Quality Act, an Initial Study (IS) and Addendum to the Brandenburg Mixed-Use Project/North San Pedro Housing Sites Final Environmental Impact Report (EIR), which was certified by the Planning Commission and adopted by the City Council by Resolution No. 72170 on June 15, 2004, was approved by the Director of Planning, Building, and Code Enforcement for the proposed project.

The Planning Commission concludes and finds, based on the analysis of the above facts, that:

1. The interrelationship between the orientation, location, and elevations of proposed buildings and structures and other uses on-site are mutually compatible and aesthetically harmonious.
2. The orientation, location and elevation of the proposed buildings and structures and other uses on the site are compatible with and are aesthetically harmonious with adjacent development or the character of the neighborhood.
3. Landscaping, irrigation systems, walls and fences, features to conceal outdoor activities, exterior heating, ventilating, plumbing, utility and trash facilities are sufficient to maintain or upgrade the appearance of the neighborhood.
4. Traffic access, pedestrian access and parking are adequate.
5. The application is consistent with the General Plan.

Further, the Planning Commission concludes and finds, based on the analysis of the above facts, that:

1. The proposed project is consistent with the adopted Envision San José 2040 General Plan Land Use Transportation Diagram.
2. The proposed project complies with all applicable provisions of the Zoning Ordinance.
3. The proposed project is in compliance with the California Environmental Quality Act.
4. The proposed use is compatible with the surrounding neighborhood.

Finally, based on the above-stated findings and subject to the conditions set forth below, the Planning Commission finds that:

1. The proposed use at the location requested will not:
 - a. Adversely affect the peace, health, safety, morals or welfare of persons residing or working in the surrounding area; or
 - b. Impair the utility or value of property of other persons located in the vicinity of the site; or
 - c. Be detrimental to public health, safety or general welfare; and
2. The proposed site is adequate in size and shape to accommodate the yards, walls, fences, parking and loading facilities, landscaping and other development features prescribed in this title, or as is otherwise required in order to integrate said use with the uses in the surrounding areas; and
3. The proposed site is adequately served:
 - a. By highways or streets of sufficient width and improved as necessary to carry the kind and quality of traffic such use would generate; and
 - b. By other public or private service facilities as are required.

In accordance with the findings set forth above, a Conditional Use Permit to use the subject property for said purpose specified above and subject to each and all of the conditions hereinafter set forth is hereby granted. This Planning Commission expressly declares that it would not have granted this permit except upon and subject to each and all of said conditions, each and all of which conditions shall run with the land and be binding upon the owner and all subsequent owners of the subject property, and all persons who use the subject property for the use conditionally permitted hereby.

CONDITIONS

1. **Acceptance of Permit.** Per Section 20.100.290(B), should the applicant fail to file a timely and valid appeal of this Permit within the applicable appeal period, such inaction by the applicant shall be deemed to constitute all of the following on behalf of the applicant:
 - a. Acceptance of the Permit by the applicant; and
 - b. Agreement by the applicant to be bound by, to comply with, and to do all things required of or by the applicant pursuant to all of the terms, provisions, and conditions of this permit or other approval and the provisions of Title 20 applicable to such Permit.
2. **Permit Expiration.** This Conditional Use Permit shall automatically expire two years from and after the date of adoption of the Resolution by the Planning Commission, or by the City Council on appeal, granting this Permit, if within such two-year period, the proposed building construction has not commenced, pursuant to and in accordance with the provisions of this Conditional Use Permit. The date of adoption is the date the Resolution granting this Conditional Use Permit is approved by the Planning Commission. The Director of Planning

may approve a Permit Adjustment/Amendment extending the permit in accordance with Title 20.

3. **Sewage Treatment Demand.** Chapter 15.12 of Title 15 of the San José Municipal Code requires that all land development approvals and applications for such approvals in the City of San José shall provide notice to the applicant for, or recipient of, such approval that no vested right to a Building Permit shall accrue as the result of the granting of such approval when and if the City Manager makes a determination that the cumulative sewage treatment demand of the San José-Santa Clara Water Pollution Control Plant to treat such sewage adequately and within the discharge standards imposed on the City by the State of California Regional Water Control Board for the San Francisco Bay Region. Substantive conditions designed to decrease sanitary sewage associated with any land use approval may be imposed by the approval authority.
4. **Building Permit/Certificate of Occupancy.** Procurement of a Building Permit and/or Certificate of Occupancy from the Building Official for the structures described or contemplated under this permit shall be deemed acceptance of all conditions specified in this permit and the applicant's agreement to fully comply with all of said conditions. No change in the character of occupancy or change to a different group of occupancies as described by the "Building Code" shall be made without first obtaining a Certificate of Occupancy from the Building Official, as required under San José Municipal Code Section 24.02.610, and any such change in occupancy must comply with all other applicable local and state laws.
5. **Conformance with Plans.** Except as noted under condition #6, construction and development shall conform to approved development plans entitled, "A Development for First Community Housing, North San Pedro Apartments, San Jose, CA" dated **November 3, 2011**, on file with the Department of Planning, Building and Code Enforcement, and to the San José Building Code (San José Municipal Code, Title 24).
6. **Permit Adjustment Required.** Prior to the issuance of a Building Permit, the developer shall secure and agree to implement a Permit Adjustment to improve the design quality of the highly visible west (side) and north (rear) elevations of the proposed building to include better articulation and material details to break up the long horizontal plane and add visual interest. There shall be greater diversity and use of finish materials consistent with those proposed on the front building elevation.
7. **Conformance with Municipal Code.** No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code.
8. **Nuisance.** This use shall be operated in a manner which does not create a public or private nuisance. Any such nuisance must be abated immediately upon notice by the City.
9. **Operational Restrictions.**
 - a. *Clients.* No more than 35% of the residents shall be clients of the residential service facility, which shall have up to three (3) employees present at the facility at any one time.
 - b. *Travel Demand Management (TDM) Program.* The operator of this facility shall provide a TDM program for its residents in the form of free Eco-Passes to all of its tenants annually.

10. **Compliance with Local and State Laws.** The subject use shall be conducted in full compliance with all local and state laws. No part of this approval shall be construed to permit a violation of any part of the San José Municipal Code. The Permit shall be subject to revocation if the subject use is conducted in such a manner as to cause a nuisance.
11. **Public Works Clearance for Building Permit(s) or Map Approval:** Prior to the approval of the Tract or Parcel Map (if applicable) by the Director of Public Works, or the issuance of Building permits, whichever occurs first, the applicant will be required to have satisfied all of the following Public Works conditions. The applicant is strongly advised to apply for any necessary Public Works permits prior to applying for Building permits.
 - a. **Construction Agreement:** The public improvements conditioned as part of this permit require the execution of a Construction Agreement that guarantees the completion of the public improvements to the satisfaction of the Director of Public Works. This agreement includes privately engineered plans, bonds, insurance, a completion deposit, and engineering and inspection fees.
 - b. **Transportation:** This project is located in the expanded Downtown Core and is covered under the new San Jose Downtown Strategy 2000 EIR; therefore, no further traffic analysis is required. We conclude that the subject project will be in conformance with the City of San Jose Transportation Level of Service Policy (Council Policy 5-3) and a determination for a negative declaration can be made with respect to traffic impacts.
 - c. **Grading/Geology:**
 - 1) A grading permit is required prior to the issuance of a Public Works Clearance. The construction operation shall control the discharge of pollutants (sediments) to the storm drain system from the site. An erosion control plan may be required with the grading application.
 - 2) The Project site is within the State of California Seismic Hazard Zone. A geotechnical investigation report addressing the potential hazard of liquefaction must be submitted to, reviewed and approved by the City Geologist prior to issuance of a grading permit or Public Works Clearance. The investigation should be consistent with the guidelines published by the State of California (CGS Special Publication 117A) and the Southern California Earthquake Center (SCEC, 1999). A recommended depth of 50 feet should be explored and evaluated in the investigation.
 - d. **Stormwater Runoff Pollution Control Measures:** This project must comply with the City's Post-Construction Urban Runoff Management Policy (Policy 6-29) which requires implementation of Best Management Practices (BMPs) that include site design measures, source controls, and stormwater treatment controls to minimize stormwater pollutant discharges. Post-construction treatment control measures, shown on the project's Stormwater Control Plan, shall meet the numeric sizing design criteria specified in City Policy 6-29.
 - 1) The project's Stormwater Control Plan and numeric sizing calculations need revisions.
 - 2) Final inspection and maintenance information on the post-construction treatment control measures must be submitted prior to issuance of a Public Works Clearance.

- e. **Stormwater Peak Flow Control Measures:** The project is located in a non-Hydromodification Management area and is not required to comply with the City's Post-Construction Hydromodification Management Policy (Council Policy 8-14).
 - f. **Flood: Zone X:** The project site is not within a designated Federal Emergency Management Agency (FEMA) 100-year floodplain. Flood zone X is an area of moderate or minimal flood hazard. Zone X is used on new and revised maps in place of Zones B and C. There are no City floodplain requirements for zone X.
 - g. **Sewage Fees:** In accordance with City Ordinance all storm sewer area fees, sanitary sewer connection fees, and sewage treatment plant connection fees, less previous credits, are due and payable.
 - h. **Street Improvements:** The Bassett Street public improvements are included in the RDA-funded Julian Street Realignment Project. If the Julian Street Realignment Project is not implemented at the time of this project's construction, this project is required to construct the public improvements along the project frontage in conformance with the Julian Street Realignment Project.
 - i. **Greater Downtown Area Master Plans:** This project is located within the Greater Downtown area. Public improvements shall conform to the Council-approved San Jose Downtown Streetscape and Street and Pedestrian Lighting Master Plans.
 - j. **Electrical:**
 - 1) Existing electroliers along the project frontage will be evaluated at the public improvement stage and any street lighting requirements will be included on the public improvement plans.
 - 2) The project shall install pedestrian lights per the Downtown Masterplan.
 - k. **Street Trees:** Install street trees within public right-of-way along entire project street frontage per City standards; refer to the current "Guidelines for Planning, Design, and Construction of City Streetscape Projects". Street trees shall be installed in cut-outs at the back of curb. Obtain a DOT street tree planting permit for any proposed street tree plantings. The locations of the street trees will be determined at the street improvement stage. Street trees shown on this permit are conceptual only. Contact the City Arborist at (408) 277-2756 for the designated street tree.
12. **Fire Safety.** The applicant shall meet all requirements of the Fire Department at the Building Permit stage.
13. **Green Building.** The development is subject to the City's Green Building Ordinance for Private Sector New Construction. Prior to the issuance of any shell or complete building permits issued for the construction of residential buildings approved through the scope of this Conditional Use Permit, the applicant shall pay a Green Building Refundable Deposit applicable to the gross square footage for all new residential buildings which are approved through this *Conditional Use Permit*. The project must receive the minimum green building certification of LEED Certified or GreenPoint Rated – 50 points. The request for refund of the Green Building Deposit together with green building certification evidence demonstrating the achievement of the green building standards indicated above shall be submitted within a

year after the building permit expires or becomes final, unless a request for an extension is submitted to the Director of Planning, Building, and Code Enforcement in accordance with Section 17.84.305D of the Municipal Code

14. **Building Clearance for Issuing Permits.** Prior to the issuance of a Building Permit, the following requirements must be met to the satisfaction of the Chief Building Official:
 - a. *Park Impact Fees.* The applicant shall provide evidence to the Chief Building Official that the applicable Park Impact Fees, pursuant to Ordinance 24172 (Chapter 14.25 of Title 14 of the San José Municipal Code), have been paid to the satisfaction of the Director of Public Works.
 - b. *Construction Plans.* This permit file number, *CP11-034* shall be printed on all construction plans submitted to the Building Division.
 - c. *Americans with Disabilities Act.* The applicant shall provide appropriate access as required by the Americans with Disabilities Act (ADA).
 - d. *Emergency Address Card.* The project developer shall file an Emergency Address Card, Form 200-14, with the City of San José Police Department.
 - e. *Street Number Visibility.* Street numbers of the buildings shall be easily visible at all times, day and night.
 - f. *Construction Plan Conformance.* A project construction plan conformance review by the Planning Division is required. Planning Division review for project conformance will begin with the initial plan check submittal to the Building Division. Prior to any building permit issuance, building permit plans shall conform to the approved Planning development permits and applicable conditions.
15. **Colors and Materials.** All building colors and materials are to be those specified on the Approved Plan Set. Changes to the approved fencing shall require review by the Director of Planning, Building, and Code Enforcement.
16. **Lighting.** On-site, exterior, unroofed lighting shall conform to the Outdoor Lighting Policy. Lighting shall be designed, controlled and maintained so that no light source is visible from outside of the property.
17. **Outdoor Storage.** No outdoor storage is permitted.
18. **Refuse.** All trash shall be effectively screened from view and covered and maintained in an orderly state to prevent water from entering into the garbage container. Trash areas shall be maintained in a manner to discourage illegal dumping.
19. **Landscaping.** Planting and irrigation are to be provided as indicated on the approved plans. Landscaped areas shall be maintained and watered and all dead plant material is to be removed and replaced. Permanent irrigation is to be installed in accordance with Part 4 of Chapter 15.10 of Title 15 of the San José Municipal Code, Water Efficient Landscape Standards for New and Rehabilitated Landscaping and the City of San José Landscape and Irrigation Guidelines.

20. **Irrigation Standards.** The applicant shall install an adequately sized irrigation distribution system with automatic controllers in all areas to be landscaped that conforms to the Zonal Irrigation Plan in the Approved Plan Set and is consistent with the City of San Jose Landscape and Irrigation Guidelines. The design of the system shall be approved and stamped by a California Registered Landscape Architect prior to Certificate of Occupancy.
21. **Certification.** Pursuant to San José Municipal Code, Section 15.10.486, certificates of substantial completion for landscape and irrigation installation shall be completed by licensed or certified professionals and provided to the Department of Planning, Building and Code Enforcement prior to approval of the final inspection of the project.
22. **Storm Water Stenciling.** All drain inlets shall be labeled “No Dumping-Flows to Bay.” Please contact the City of San José, Department of Public Works, at (408) 277-5161 to obtain free stencils.
23. **Protection of Storm Drains.** No hazardous materials, paint, rinse water, or construction sediments or debris shall be allowed to enter the public right-of-way or any storm drain inlet.
24. **Anti-Graffiti.** The applicant shall remove all graffiti from buildings, fences, and wall surfaces within 48 hours of defacement.
25. **Anti Litter.** The site and the adjoining street frontage shall be maintained free of litter, refuse, and debris.
26. **Sign Approval.** No new signs are approved at this time. All proposed signs shall be subject to approval by the Director of Planning.
27. **Revocation, Suspension, Modification.** This Conditional Use Permit may be revoked, suspended or modified by the Planning Commission, or by the City Council on appeal, at any time regardless of who is the owner of the subject property or who has the right to possession thereof or who is using the same at such time, whenever, after a noticed hearing in accordance with Part 3, Chapter 20.44, Title 20 of the San José Municipal Code it finds:
 - a. A violation of any conditions of the Conditional Use Permit was not abated, corrected or rectified within the time specified on the notice of violation; or
 - b. A violation of any City ordinance or State law was not abated, corrected or rectified within the time specified on the notice of violation; or
 - c. The use as presently conducted creates a nuisance.

In accordance with the findings set forth above, a Conditional Use permit to use the subject property for said purpose specified above is hereby approved.

APPROVED and issued this **14th day of December 2011**, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Chairperson

ATTEST:

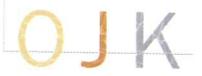
Joseph Horwedel, Secretary

Deputy

NOTICE TO PARTIES

The time within which judicial review must be sought to review this decision is governed by the provisions of the California Code of Civil Procedure Section 1094.6.

North San Pedro Studios



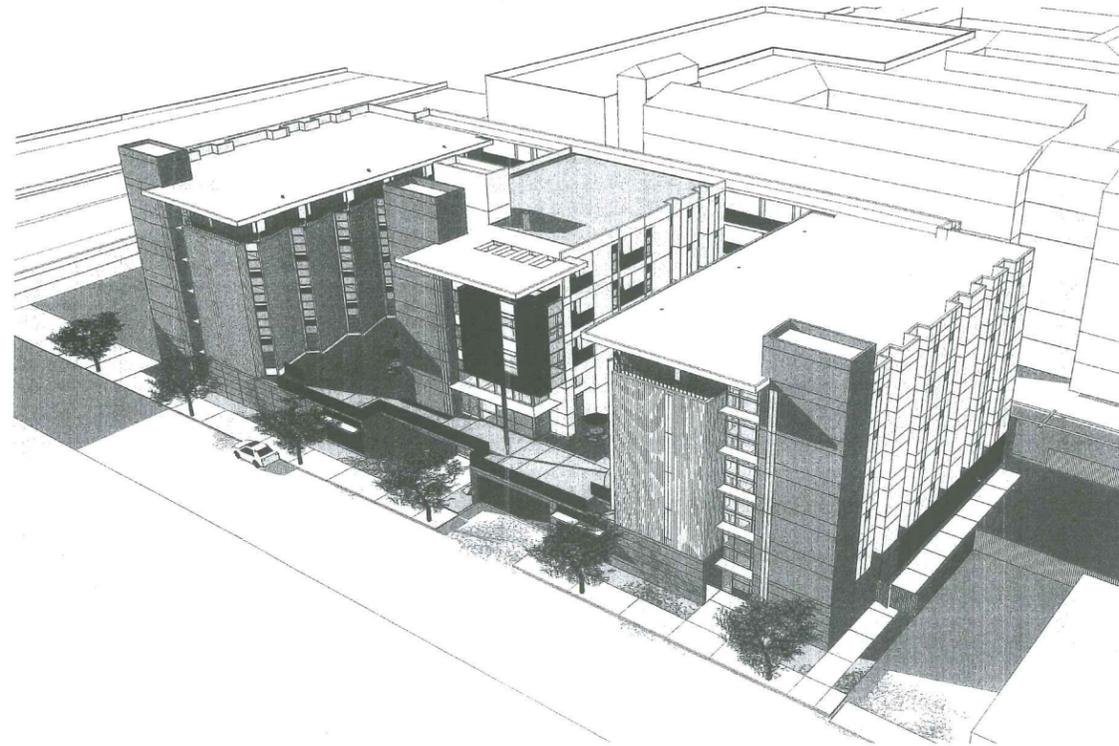
Conceptual View of North Wall

North San Pedro Studios



View from southbound HWY 87

A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
NORTH SAN PEDRO APARTMENTS
 SAN JOSE, CA



PROJECT DIRECTORY

OWNER: FIRST COMMUNITY HOUSING
 75 EAST SANTA CLARA STREET, SUITE 1300
 SAN JOSE, CA 95113
 TEL: (408) 291-8650 FAX: (408) 993-9098
 CONTRACT: JEFF OBERDORFER FAIA
 EMAIL: JEFF@FIRSTHOUSING.ORG
 CONTACT: VIANEY NAVA
 EMAIL: VIANEY@FIRSTHOUSING.ORG
 CONTACT: MARTY KELLER
 EMAIL: MARTYK@FIRSTHOUSING.ORG

ARCHITECT: OJK ARCHITECTURE AND PLANNING
 97 EAST ST. JAMES STREET SUITE 42
 SAN JOSE, CALIFORNIA 95112
 TEL: (408) 295-2210 FAX: (408) 295-2289
 CONTACT: JEROME KING FAIA
 EMAIL: JERRY@OJKARCH.COM
 CONTACT: ANDY WHITING
 EMAIL: ANDY@OJKARCH.COM

GENERAL CONTRACTOR: L&D CONSTRUCTION CO, INC.
 255 W. JULIAN ST., SUITE 200
 SAN JOSE, CA 95110
 TEL: (408) 292-0128 FAX: (408) 993-1511
 CONTRACT: STEVE DAVIS
 EMAIL: SDAVIS@LANDD.COM
 CONTACT: ART BERGEN
 EMAIL: ABERGEN@LANDD.COM

CIVIL ENGINEER: CARROLL ENGINEERING INC
 1101 S WINCHESTER BLVD
 STE H-184
 SAN JOSE, CA 95128
 TEL: (408) 261-9800 FAX: (408) 261-0595
 CONTACT: BRYCE CARROLL
 EMAIL: BRYCE@CARROLL-ENGINEERING.COM

LANDSCAPE ARCHITECT: DESIGN ECOLOGY
 146 E BLITHEDALE AVE
 MILL VALLEY, CA, 94941
 TEL: (415) 889-8515 FAX: (707)559-7078
 CONTACT: JOSIAH CAIN
 EMAIL: JOSIAH@DESIGNECOLOGY.COM

TABLE OF CONTENTS

SHT	TITLE
1	TITLE SHEET
2	SITE PLAN
3.1	GRADING AND DRAINAGE PLAN
3.2	GRADING AND DRAINAGE PLAN
3A	STORM WATER CONTROL PLAN
4	EXTERIOR ELEVATIONS
4.1	EXTERIOR ELEVATIONS
4.2	MODEL PHOTOS
5	PARKING LEVEL PLAN
5.1	PODIUM LEVEL PLAN
5.2	SECOND LEVEL PLAN
5.3	THIRD/FOURTH LEVEL PLAN
5.4	NOT USED
5.5	FIFTH LEVEL PLAN
5.6	ROOF LEVEL
5.7	EXTERIOR LIGHTING PLAN
L1.0	STREETSCAPE LAYOUT PLAN
L1.1	RAINGARDEN LAYOUT PLAN
LP1.0	PODIUM LAYOUT PLAN
LR1.0	LIVING ROOF LAYOUT PLAN
LR7.0	LIVING ROOF DETAILS

ENVIRONMENTAL REPORTS

A full Environmental Impact Report is available from the
 Redevelopment Agency of San Jose

CP11-034



LOCATION PLAN: APN# 259-23-016



These concepts and designs are and remain the original work and property of The Office of Jerome King, FAIA and any reproduction in whole or part, or other use for any purpose whatsoever without express written consent of The Office of Jerome King, FAIA will make the user liable to such design fees as are applicable.



The Office of Jerome King
 97 East St. James Street, Suite 42
 San Jose CA 95112
 Phone 408.295.2210 Fax 408.295.2289
 www.ojarch.com

N. SAN PEDRO APARTMENTS
 A DEVELOPMENT FOR
 FIRST COMMUNITY HOUSING
 NORTH SAN PEDRO ST., SAN JOSE, CALIFORNIA

REVISIONS
6.19.11 CUP 9.2.11

TITLE SHEET
 CONDITIONAL USE PERMIT

Issued: 11.07.10
 Drawn: AJW
 Scale: as noted
 Job: NSP
 Sheet CP11-034

SITE PLAN INFORMATION

QTY	DWELLING UNIT TYPE	UNIT SF	PRIVATE EXTERIOR SPACE REQUIRED (SF)	PRIVATE EXTERIOR SPACE PROVIDED (SF)	COMMON OUTDOOR SPACE REQUIRED (SF)	COMMON OUTDOOR SPACE PROVIDED (SF)
16	1 BEDROOM (TYP.) SENIOR UNITS	±650	80 SF PER UNIT	±60 SF PER UNIT	100 SF PER UNIT	±105 SF PER UNIT
118	STUDIO UNITS	400	0 SF	0 SF	100 SF PER UNIT	±105 SF PER UNIT
1	2 BEDROOM MANAGER'S UNIT	900	60 SF PER UNIT	60 SF	100 SF PER UNIT	±105 SF PER UNIT
135 DWELLING UNITS (TOTAL)		960 SF (TOTAL)	960 SF (TOTAL)	13500 SF (TOTAL)	14160 SF (TOTAL)	

PODIUM COURTYARD AREA = 8500 SQ FT
 ROOF TOP = 5660 SQ FT
 TOTAL = 14160 SQ FT

LOT SIZE:
 gross acreage = 0.73 acres (31,885 sq ft)
 net acreage = 0.73 acres (31,685 sq ft)

DENSITY:
 135 - D.U. @ 0.73ACRES = 185 D. U. / ACRE

BUILDING HEIGHT:
 5 story over on grade parking garage.
 Total Height = 67'-0" above grade (79' stair coores)

PROPOSED SITE COVERAGE
 16545 SF (69% OF SITE AREA)

PARKING:

TYPE	% OF TOTAL	UNIT #	RATIO	REQUIREMENT
SENIOR	50%	67	0.5	33.5
RES SERV. FACILITY	35%	47	.75X3 EMPLOYEES	2.25
STD UNITS	15%	21	1 PER UNIT	21
SUBTOTAL				56.75
TOTAL WITH 15% TDM				49

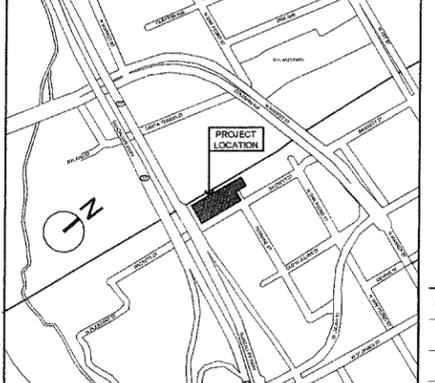
BICYCLE PARKING:
 35 SPACES

N San Pedro Apartments
 A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
 BASSETT ST., SAN JOSE, CA

REVISIONS

NO.	DATE	DESCRIPTION
1	06.19.11	PLANNING
2	09.02.11	PLANNING

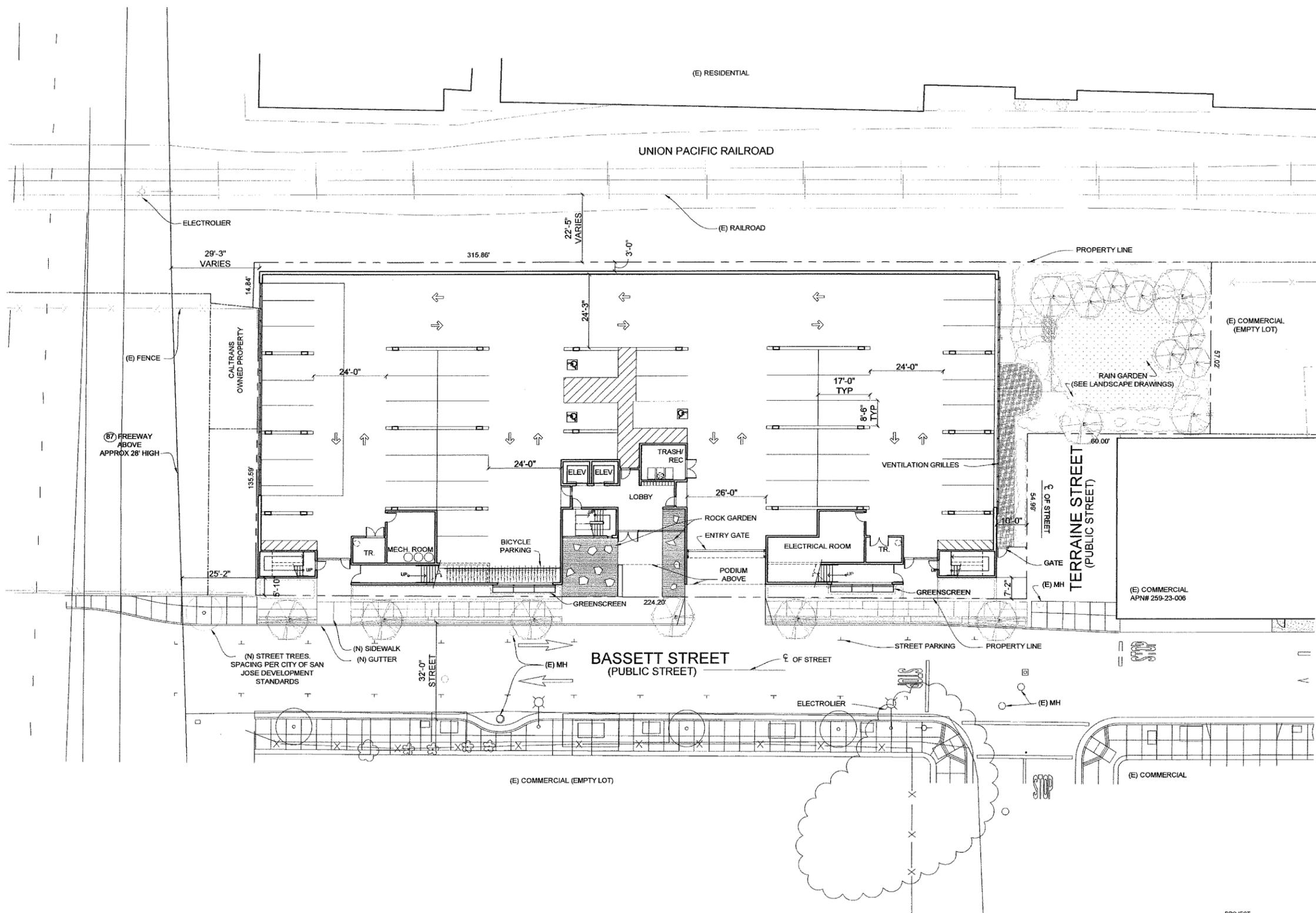
KEY MAP APN# 259-23-016



These concepts and designs are and remain the original work and property of The Office of Jerome King, FAIA and any reproduction in whole or part, or other use for any purpose whatsoever without express written consent of The Office of Jerome King, FAIA will make the user liable to such design fees as are applicable.

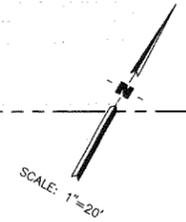
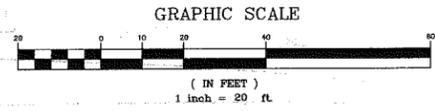
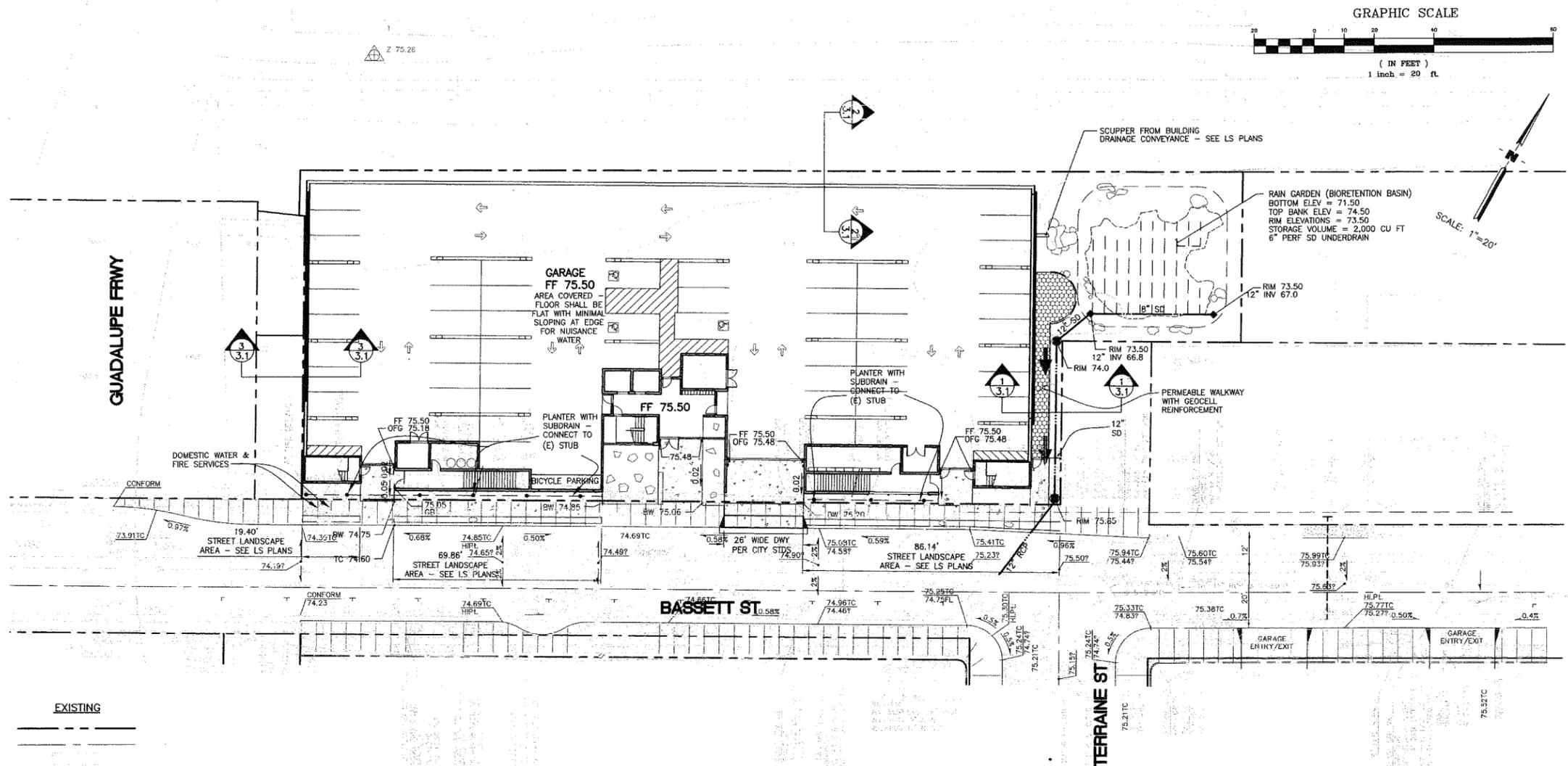
SITE PLAN
 CONDITIONAL USE PERMIT

Issued: 11.14.10
 Drawn:
 Checked By:
 Job:
 Sheet CP11-034
2



1 SITE PLAN
 SCALE: 1/16" = 1'-0"
 PROJECT NORTH
 TRUE NORTH

Construction contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property. It is the responsibility of the contractor to verify all information shown on these plans. The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.



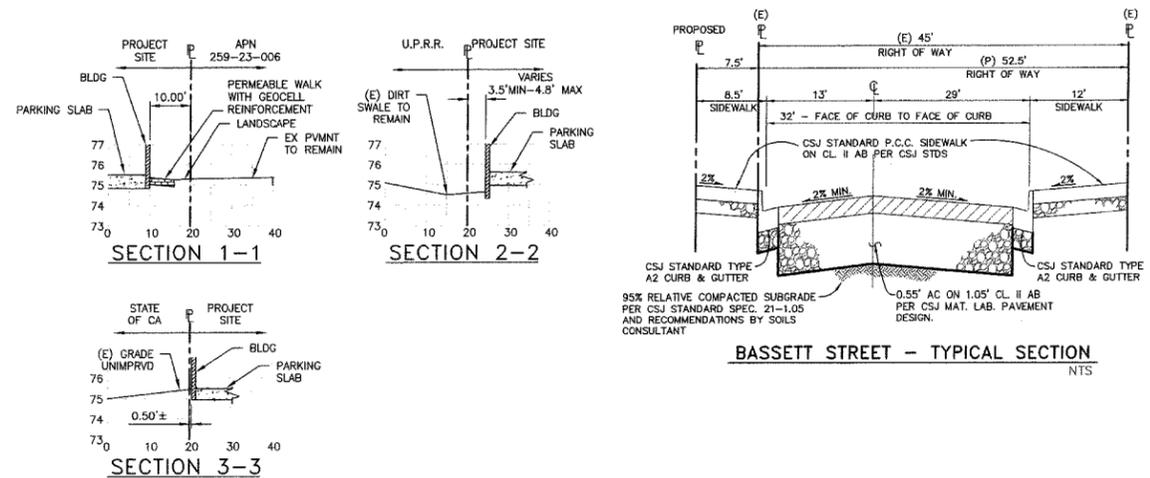
LEGEND

DESCRIPTION	DETAIL	PROPOSED	EXISTING
PROPERTY LINE			
CENTERLINE			
AC PAVEMENT			
PERVIOUS PAVEMENT			
WOOD DECK			
SIDEWALK			
CURB & GUTTER			
VERTICAL CURB			
GRADE BREAK (GB)			
STORM AREA DRAIN			
STORM DRAIN INLET			
STORM DRAIN SIDEWALK GRATE			
FIRE HYDRANT			
ELECTROLIER			
ELECTROLIER CONDUIT & CABLE W/PULL BOX			
SANITARY SEWER W/MANHOLE			
STORM DRAIN W/MANHOLE			
WATER LINE			
HANDICAP RAMP			
DIRECTION & RATE OF SLOPE			
SWALE			
OVERLAND RELEASE (OLR)			
STORM DIRECTION			
FENCE			
EDGE OF PAVEMENT			
CONTOUR			
TREE TO BE REMOVED			

ABBREVIATIONS

AC	ASPHALT CONCRETE	ICV	IRRIGATION CONTROL VALVE
ACC	ACCESSIBLE	INV	INVERT
AD	AREA DRAIN	LF	LINEAR FEET
ARCH	ARCHITECTURAL	LP	LOW POINT
BW	BACK OF WALK ELEVATION	LS	LANDSCAPE
BOW	BOTTOM OF WALL ELEVATIONS	LTB	LIME TREATED BASE
CB	CATCH BASIN	(ME)	MATCH EXISTING ELEVATION
CI	CAST IRON	MH	MANHOLE
CL	CENTER LINE	ML	MONUMENT LINE
CLF	CHAIN LINK FENCE	P	PAVEMENT SURFACE ELEVATION
C&G	CURB AND GUTTER	PL	PROPERTY LINE
CONC	CONCRETE	PP	POWER POLE
DWY	DRIVEWAY	RIM	RIM ELEVATION
E	ELECTRICAL	RWL	RAIN WATER LEADER
(E)	EXISTING	S=	SLOPE
EBOX	ELECTRICAL BOX	SD	STORM DRAIN
EC	EDGE OF CONCRETE	SL	STREET LIGHT
EP	EDGE OF PAVEMENT	SS	SANITARY SEWER
ETW	EDGE OF TRAVELED WAY	SSCO	SANITARY SEWER CLEANOUT
EV	ELECTRICAL VAULT	S/W	SIDEWALK
FNC	FENCE	STLT	STREET LIGHT
FH	FIRE HYDRANT	T	TELEPHONE
FF	FINISHED FLOOR ELEVATION	TC	TOP OF CURB
FL	FLOW LINE	TD	TRENCH DRAIN
FOC	FACE OF CURB	TOB	TOP OF BANK
G	GAS	TOE	TOE OF BANK
GB	GRADE BREAK	TP	TELEPHONE POLE
GND	GROUND ELEVATION	TSB	TRAFFIC SIGNAL BOX
HC	ACCESSIBLE	VLT	VAULT
HP	HIGH POINT	W	WATER
JP	JOINT POLE	WV	WATER VALVE

STREET LEVEL GRADING AND DRAINAGE PLAN



SITE DEVELOPMENT PERMIT

N San Pedro Apartments

A DEVELOPMENT FOR FIRST COMMUNITY HOUSING

BASSETT ST, SAN JOSE, CA

The Office of Jerome King
97 East St. James Street, Suite 42
San Jose CA 95112
Phone 408.265.2210 Fax 408.265.2289
www.jkarch.com

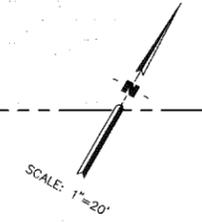
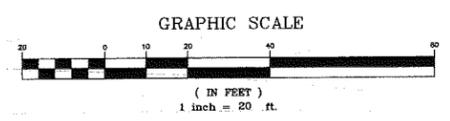
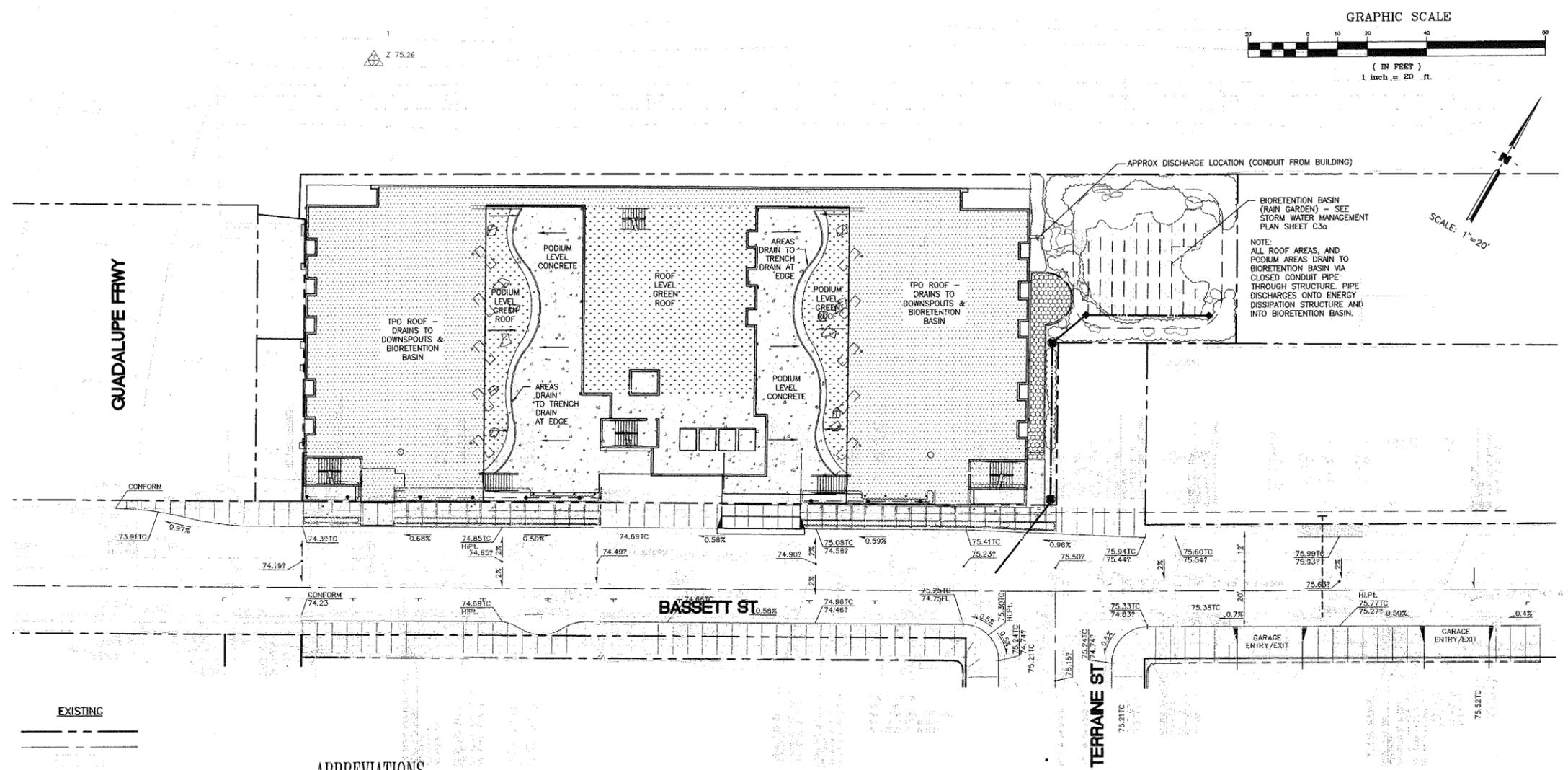
1101 S. WINCHESTER BLVD.
SUITE 104
SAN JOSE, CA 95128
TEL: 408-291-8800
FAX: 408-291-8805
www.jkarch.com



SHEET TITLE:
GRADING & DRAINAGE PLAN
DATE: 09.02.2011
SCALE: 1" = 20'
DESIGNER: RVH
PROJECT NO.: 1866
SHEET NO.

3.1

Construction Contractor agrees that in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting liability arising from the sole negligence of design professional.



BIORETENTION BASIN (RAIN GARDEN) - SEE STORM WATER MANAGEMENT PLAN SHEET C.3g

NOTE: ALL ROOF AREAS, AND PODIUM AREAS DRAIN TO BIORETENTION BASIN VIA CLOSED CONDUIT PIPE THROUGH STRUCTURE. PIPE DISCHARGES ONTO ENERGY DISSIPATION STRUCTURE AND INTO BIORETENTION BASIN.

LEGEND

DESCRIPTION	DETAIL	PROPOSED	EXISTING
PROPERTY LINE			---
CENTERLINE			---
AC PAVEMENT		[Pattern]	
PERVIOUS PAVEMENT		[Pattern]	
WOOD DECK		[Pattern]	
SIDEWALK		[Pattern]	
CURB & GUTTER		[Pattern]	
VERTICAL CURB		[Pattern]	
GRADE BREAK (GB)		[Symbol]	
STORM AREA DRAIN		[Symbol]	
STORM DRAIN INLET		[Symbol]	
STORM DRAIN SIDEWALK GRATE		[Symbol]	
FIRE HYDRANT		[Symbol]	
ELECTROLIER		[Symbol]	
ELECTROLIER CONDUIT & CABLE W/PULL BOX		[Symbol]	
SANITARY SEWER W/MANHOLE		[Symbol]	
STORM DRAIN W/MANHOLE		[Symbol]	
WATER LINE		[Symbol]	
HANDICAP RAMP		[Symbol]	
DIRECTION & RATE OF SLOPE		[Symbol]	
SWALE		[Symbol]	
OVERLAND RELEASE (OLR)		[Symbol]	
STORM DIRECTION		[Symbol]	
FENCE		[Symbol]	
EDGE OF PAVEMENT		[Symbol]	
CONTOUR		[Symbol]	
TREE TO BE REMOVED		[Symbol]	

ABBREVIATIONS

AC	ASPHALT CONCRETE	ICV	IRRIGATION CONTROL VALVE
ACC	ACCESSIBLE	INV	INVERT
AD	AREA DRAIN	LF	LINEAR FEET
ARCH	ARCHITECTURAL	LP	LOW POINT
BW	BACK OF WALK ELEVATION	LS	LANDSCAPE
BOW	BOTTOM OF WALL ELEVATIONS	LTB	LIME TREATED BASE
CB	CATCH BASIN	(ME)	MATCH EXISTING ELEVATION
CI	CAST IRON	MH	MANHOLE
CL	CENTER LINE	ML	MONUMENT LINE
CLF	CHAIN LINK FENCE	P	PAVEMENT SURFACE ELEVATION
C&G	CURB AND GUTTER	PL	PROPERTY LINE
CONC	CONCRETE	PP	POWER POLE
DWY	DRIVEWAY	RIM	RIM ELEVATION
E	ELECTRICAL	RWL	RAIN WATER LEADER
(E)	EXISTING	S=	SLOPE
EBOX	ELECTRICAL BOX	SD	STORM DRAIN
EC	EDGE OF CONCRETE	SL	STREET LIGHT
EP	EDGE OF PAVEMENT	SS	SANITARY SEWER
ETW	EDGE OF TRAVELED WAY	SSCO	SANITARY SEWER CLEANOUT
EV	ELECTRICAL VAULT	S/W	SIDEWALK
FNC	FENCE	STLT	STREET LIGHT
FH	FIRE HYDRANT	T	TELEPHONE
FF	FINISHED FLOOR ELEVATION	TC	TOP OF CURB
FL	FLOW LINE	TD	TRENCH DRAIN
FOC	FACE OF CURB	TOB	TOP OF BANK
G	GAS	TOE	TOE OF BANK
GB	GRADE BREAK	TP	TELEPHONE POLE
GND	GROUND ELEVATION	TSB	TRAFFIC SIGNAL BOX
HC	ACCESSIBLE	VL	VAULT
HP	HIGH POINT	W	WATER
JP	JOINT POLE	WV	WATER VALVE

ROOF & PODIUM LEVEL GRADING & DRAINAGE PLAN

SITE DEVELOPMENT PERMIT
N San Pedro Apartments
 A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
 BASSETT ST, SAN JOSE, CA

REVISION

1101 S. WINCHESTER BLVD.
 SAN JOSE, CA 95128
 TEL: 408-266-2210
 FAX: 408-266-2210
 E-MAIL: bryce@arroll-engineering.com

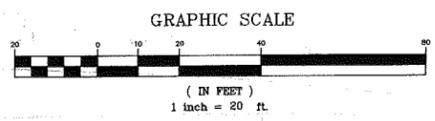
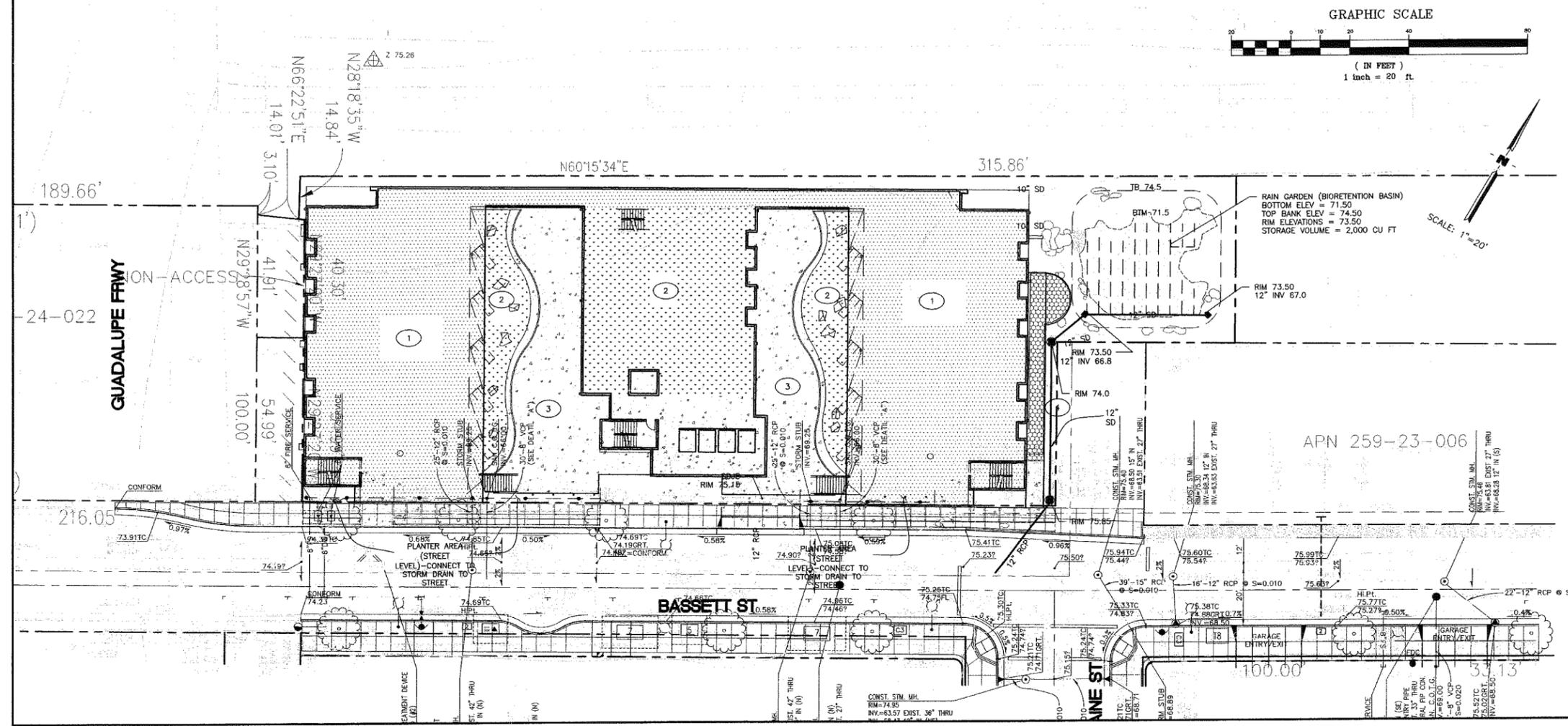
ARROLL ENGINEERING
engineers and surveyors

REGISTERED PROFESSIONAL ENGINEER
 No. C23770
 Exp. 12/31/11
 STATE OF CALIFORNIA

SHEET TITLE:
GRADING & DRAINAGE PLAN

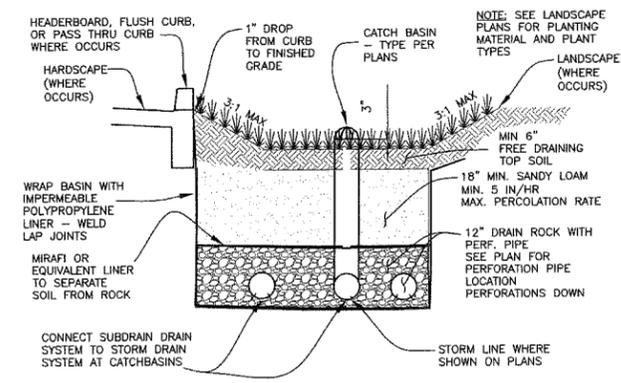
DATE: 09.02.2011
 SCALE: 1" = 20'
 DESIGNER: RVH
 PROJECT NO. 1866
 SHEET NO.
3.2

Construction Contractor agrees that, in accordance with generally accepted construction practices, construction contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and construction contractor further agrees to defend, indemnify, and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, accepting liability arising from the sole negligence of design professional.



North San Pedro Apartments
201 Bassett St.

- EXHIBIT (A) - WATER QUALITY CONTROL - GREEN ROOF MAINTENANCE MANUAL**
- EQUIPMENT**
 - General Use only the proper tool for each job. Maintain all tools in sharp, properly functioning condition. Clean and sterilize pruning tools prior to usage.
 - Take all measures to prevent introduction of insect or disease-laden materials onto the site and to avoid transmitting disease from one infected plant to another. Properly sterilize pruning tools before going from one infected plant to another.
 - MAINTENANCE**
 - Irrigation System:**
 - Test all irrigation heads to make sure they have not become clogged, including a visual inspection of flow. This should be done on a monthly basis.
 - Check for any leaks or breaks in all pipes, valves, faucets, etc., as leaks can cause water to be wasted and can potentially kill plants with over-watering. This should be done monthly.
 - Check drains and overflow drains to be sure they are clear of debris. This should be done monthly.
 - Check the irrigation controller to be sure that the irrigation turns on at the times for which it has been set to run. This should be done monthly.
 - Replace filters at each valve annually or as needed.
 - Watering:**
 - The plant species selected for this living roof, which include both native and non-native species, are drought tolerant. These species benefit from infrequent, but deep watering during dry periods, which can improve vigor and appearance. The ideal time to install plants in Coastal California is during late fall and early winter. Such timing ensures that young and tender plants will receive water from winter rainfall, which is required for successful establishment and development of healthy root systems. If a drought period occurs during winter, it will be necessary to provide supplemental deep watering during the establishment period, which can last from one to three years for the selected plants. Once established, the drought tolerant plants will generally benefit most from only a low deep irrigation cycle during the summer dry season. Irrigating infrequently during the summer ensures that the plants will continue to develop deep and extensive root systems. Shallow and frequent irrigation typically encourages shallow and weak root development and can result in proliferation of fungal root diseases. In order to prevent fungal root diseases and conserve water, supplemental irrigation should be avoided during the middle (i.e. warmest) part of the day.
 - Plant Health:**
 - Conduct a biannual (twice yearly) evaluation of the health of any plants, and remove any dead or diseased vegetation. Replace and removed material with healthy plants.
 - Weed Control:**
 - Control of weeds should always be accomplished before the weeds have flowered and seed set in the spring, since many common weed species are capable of persisting in the seed bank for many years. Weeding will be required more regularly during the establishment period of the plants (1-3 years). During this time, more soil is exposed and susceptible to weed invasion. After establishment, less maintenance will be required. Out of consideration for the environment, it is always advisable to attempt manual control methods, such as hand pulling or regular weeding, before employing chemical controls. Identifying the presence of weeds early on and mechanically removing small infestations will help prevent the future spread of a given weed to other areas of the site. Use of herbicides for weed control is generally only applicable to sites where the weed problem has become so extensive so as to render manual methods either ineffective or cost prohibitive. If herbicidal methods are to be employed, herbicides should only be handled and applied by a qualified individual with a Certified Pesticide Applicator license. Herbicides should be selected and applied by the Certified Pesticide Applicator so as to minimize damage to desirable plants that may be present nearby (i.e. select the least toxic product, utilize selective herbicides when applicable, only conduct spray operations when the wind is less than 10 miles per hour).
 - Fertilizer & Compost:**
 - The plants on this living roof are adapted to survive in nutrient-poor soils. As such, the regular application of fertilizers is generally not recommended for Sedum and many California natives. For many California natives along the coast, active growth occurs during late fall through spring. Fertilizer application during the summer period of dormancy may cause unattractive growth that is more susceptible to disease and insect infestation.



BIO-RETENTION BASIN / RAIN GARDEN

TREATMENT VOLUME CALCULATION USING THE ADAPTED CALIFORNIA STORMWATER BMP HANDBOOK APPROACH

Drainage Area = 31,659 sq ft = 0.727 Acres
 Impervious Surface Area = (19,537 + (450 + 5,291)(0.5)) = 22,407 sq ft = 0.514 Acres
 Assumes 50% pervious for green roofs and pervious pavement

% Impervious Area = 0.514 Ac / 0.727 Ac = 100 = 70.8%

Mean Annual Precipitation Site = MAP_{site} = 14.5 inches
 Mean Annual Precipitation Gauge = MAP_{gauge} = 13.6 inches

Correction Factor = MAP_{site} / MAP_{gauge} = 14.5 inches / 13.6 inches = 1.04

Modified Soil Type = Clay

Average Slope of Drainage Area = 1%

Unit Basin Storage for 1% Slope = UBS_{1%} = 0.51 inches

BMP Volume = (Correction Factor) UBS_{1%} (Drainage Area) / 1 foot / 12 inches = (1.04)(0.51 inches)(0.727 Acres)(12 ft/12 in) = 0.322 ac-ft = 1,400 cubic feet

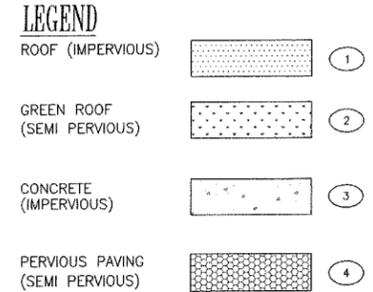
BMP Volume = 0.322 ac-ft = 1,400 cubic feet

Volume of Rain Garden = 2,000 cubic feet > 1,400 cubic feet

PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE			
		PROJECT PHASE NUMBER:	
		TOTAL AREA OF SITE DISTURBED (ACRES)	0.0727
TOTAL SITE (ACRES)	0.727	EXISTING CONDITION OF SITE AREA DISTURBED (SQUARE FEET)	REPLACED
IMPERVIOUS SURFACES	0	NEW	13,180
ROOF AREAS	0	0	0
PARKING	0	0	0
SIDEWALKS, PATIOS, PATHS, ETC.	0	0	6,537
STREETS (PUBLIC)	0	0	0
STREETS (PRIVATE)	0	0	0
TOTAL IMPERVIOUS SURFACES:	0	0	19,537
PERVIOUS SURFACES	31,659	0	0
LANDSCAPED AREAS	0	0	6,381
PERVIOUS PAVING	0	0	450
OTHER PERVIOUS SURFACES (GREEN ROOF, ETC.)	0	0	5,291
TOTAL PERVIOUS SURFACES:	31,659	0	12,122
TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES:		19,537	
TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES:		12,122	

PROJECT DATA

SOIL TYPE : SILTY CLAY (CL)
 DEPTH TO GROUND WATER : > 200 CM (6.54 FT) FROM (VERIFY WITH SOIL REPORT) SCS SURVEY
 FEMA FLOOD ZONE : ZONE X (PANEL 06085C0234H)
 100 YR FLOOD ELEVATION : LESS THAN 1 FT, OR OUTSIDE OF FLOODPLAIN
 Ksat (GROUNDWATER TRANSMISSIVITY) : 0.06-0.2 IN/HR FROM SCS SURVEY
 HMP REQUIREMENT : EXEMPT - CATCHMENT AREA GREATER THAN 65% IMPERVIOUS



ABROLL ENGINEERING
 CIVIL ENGINEERS and SURVEYORS

REGISTERED PROFESSIONAL ENGINEER
 No. C23770
 Exp. 12/31/11

SHEET TITLE: **STORM WATER CONTROL PLAN UPPER LEVELS**

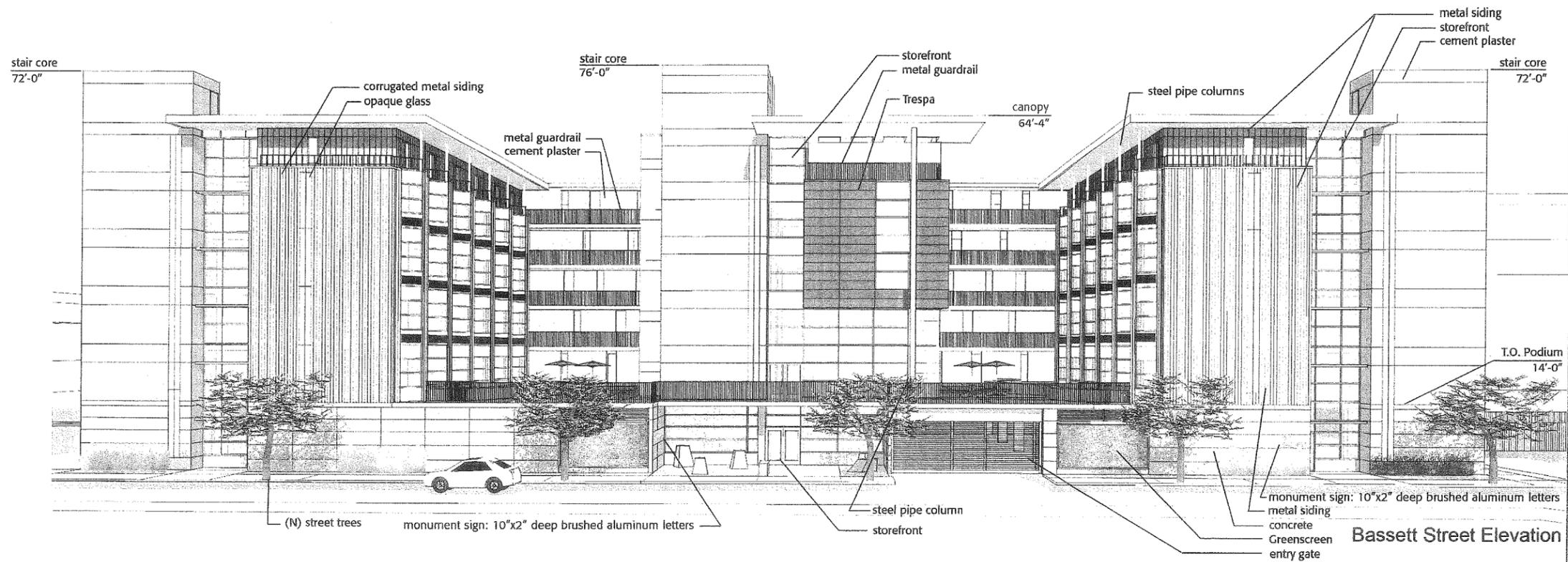
DATE: 09.02.2011
 SCALE: 1" = 20'
 DESIGNER: RVH
 PROJECT NO. 1866
 SHEET NO. **3a**

SITE DEVELOPMENT PERMIT

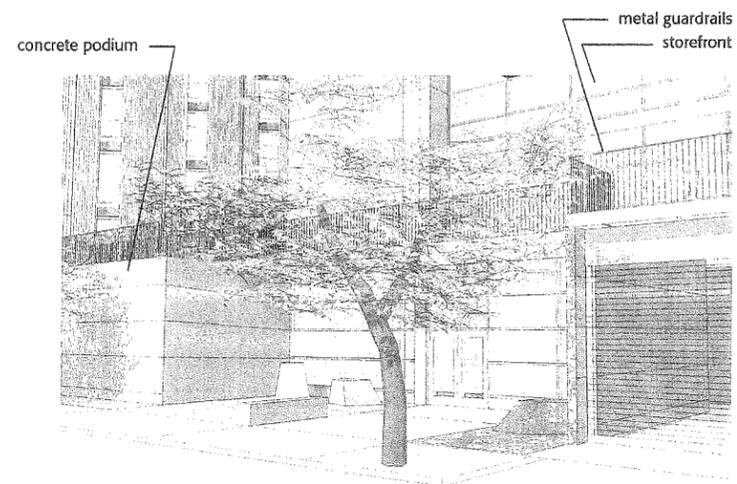
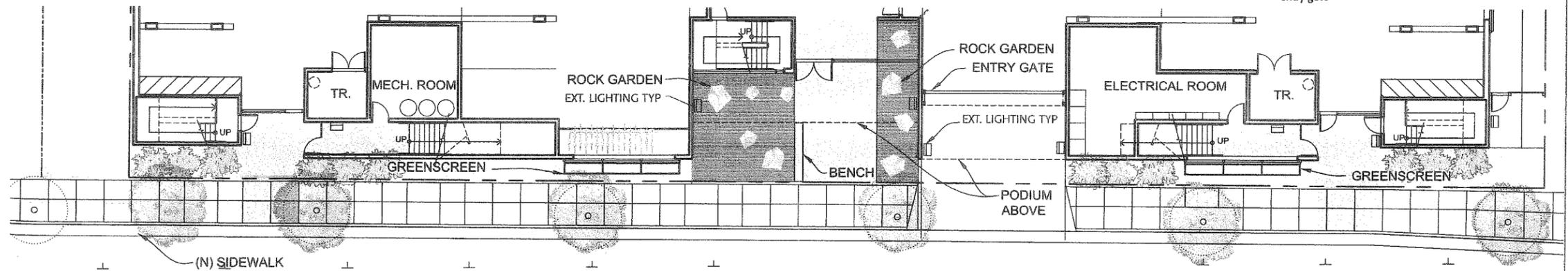
N San Pedro Apartments
 A DEVELOPMENT FOR FIRST COMMUNITY HOUSING

BASSETT ST, SAN JOSE, CA

The Office of Jerome King
 97 East St, James Street, Suite 42
 San Jose CA 95112
 Phone 408.285.2210 Fax 408.395.2289
 www.ojking.com



Bassett Street Elevation



Bassett Street Entry



West Elevation



East Elevation



These concepts and designs are and remain the original work and property of The Office of Jerome King, FAIA and any reproduction in whole or part, or other use for any purpose whatsoever without express written consent of The Office of Jerome King, FAIA will make the user liable to such design fees as are applicable.

The Office of Jerome King
 97 Euel St., James Street, Suite 42
 San Jose, CA 95112
 Phone: 408.285.2210 Fax: 408.285.2289
 www.ojkrch.com

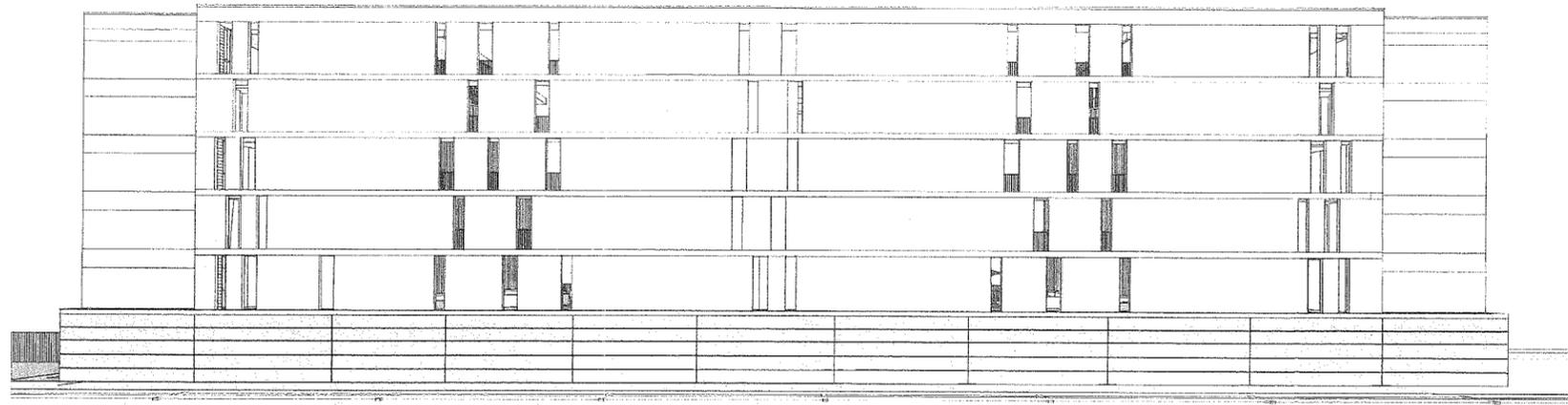
N San Pedro Apartments
 A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
 BASSETT ST., SAN JOSE, CA

REVISIONS

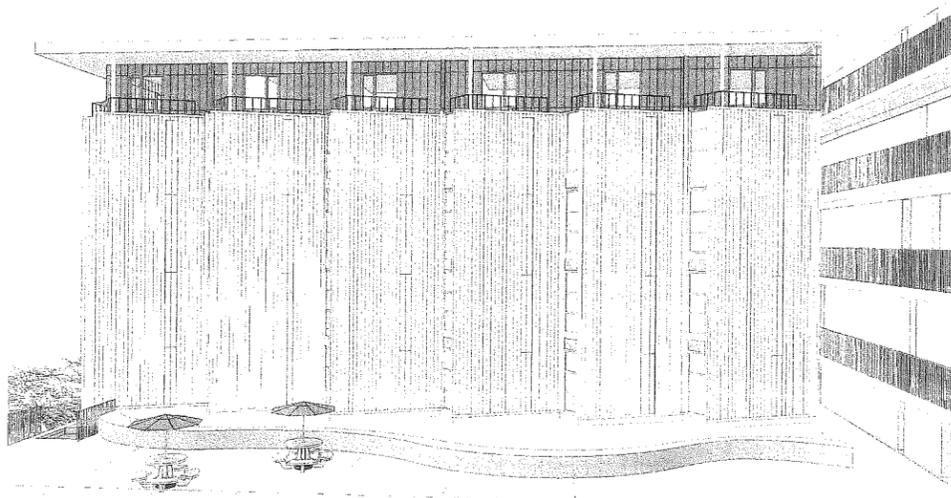
EXTERIOR ELEVATIONS
CONDITIONAL USE PERMIT

Issued: 06.25.10
 Drawn:
 Checked By:
 Job:

Sheet H10-022
4.0



North Elevation



West Wing (East Elevation)
East Wing (West Elevation. similar)



Central Core (East Elevation)

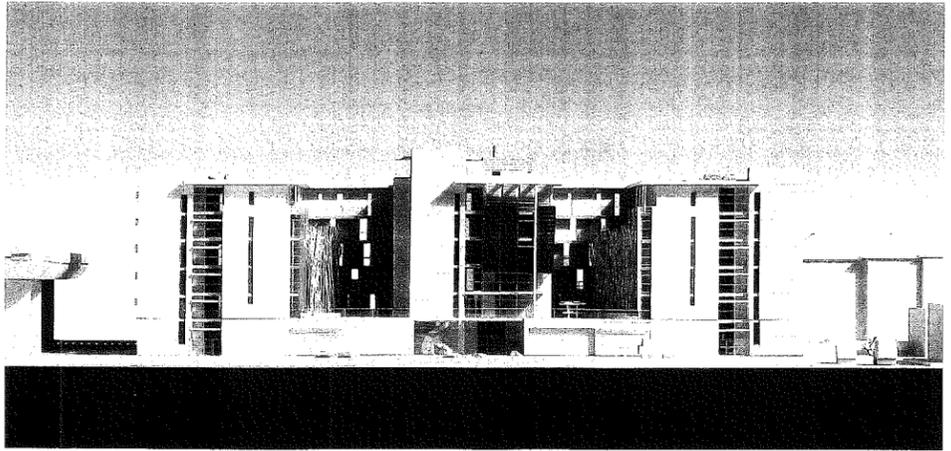
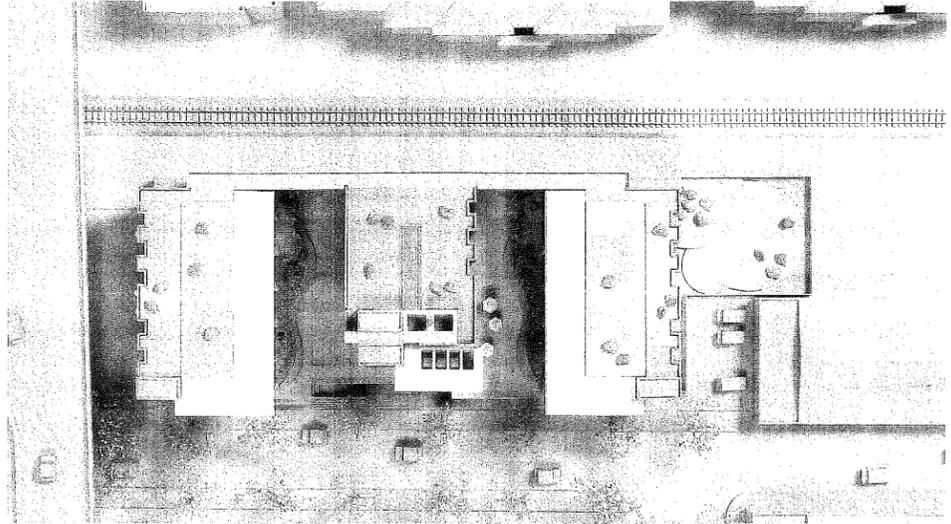
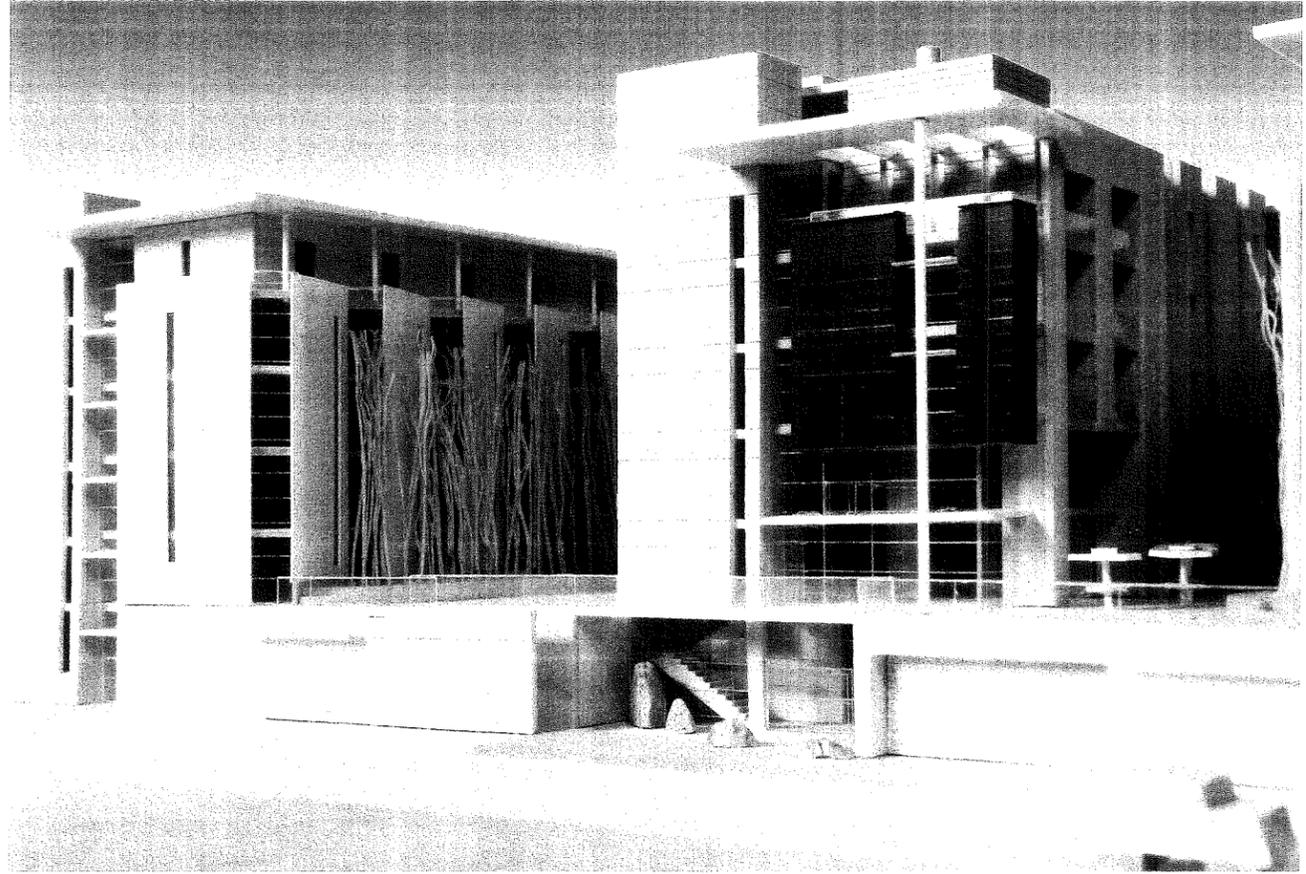
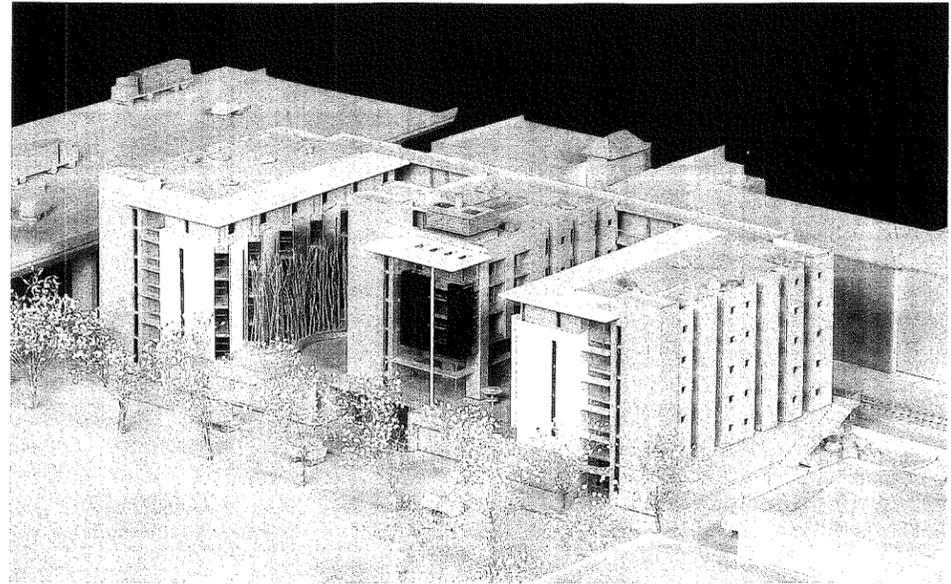
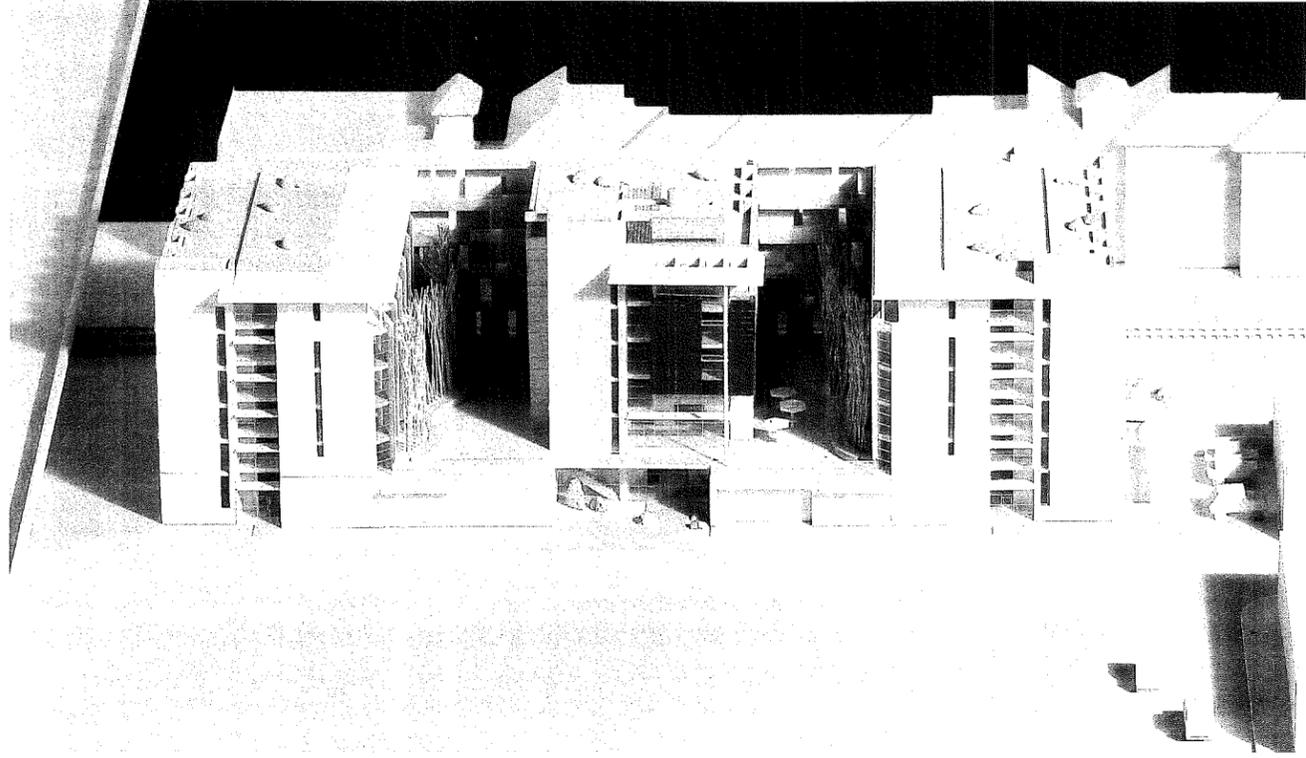


Central Core (West Elevation)

KEY MAP



These concepts and designs are and remain the original work and property of The Office of Jerome King, FAIA and any reproduction in whole or part, or other use for any purpose whatsoever without express written consent of The Office of Jerome King, FAIA will make the user liable to such design fees as are applicable.



Architecture and Planning

The Office of Jerome King
 97 East St. James Street, Suite 42
 San Jose CA 95112
 Phone 408.295.2210 Fax 408.295.2299
 www.ojkrch.com

N San Pedro Apartments
 A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
 BASSETT ST., SAN JOSE, CA

△ REVISIONS

MODEL PHOTOS
SITE DEVELOPMENT PERMIT

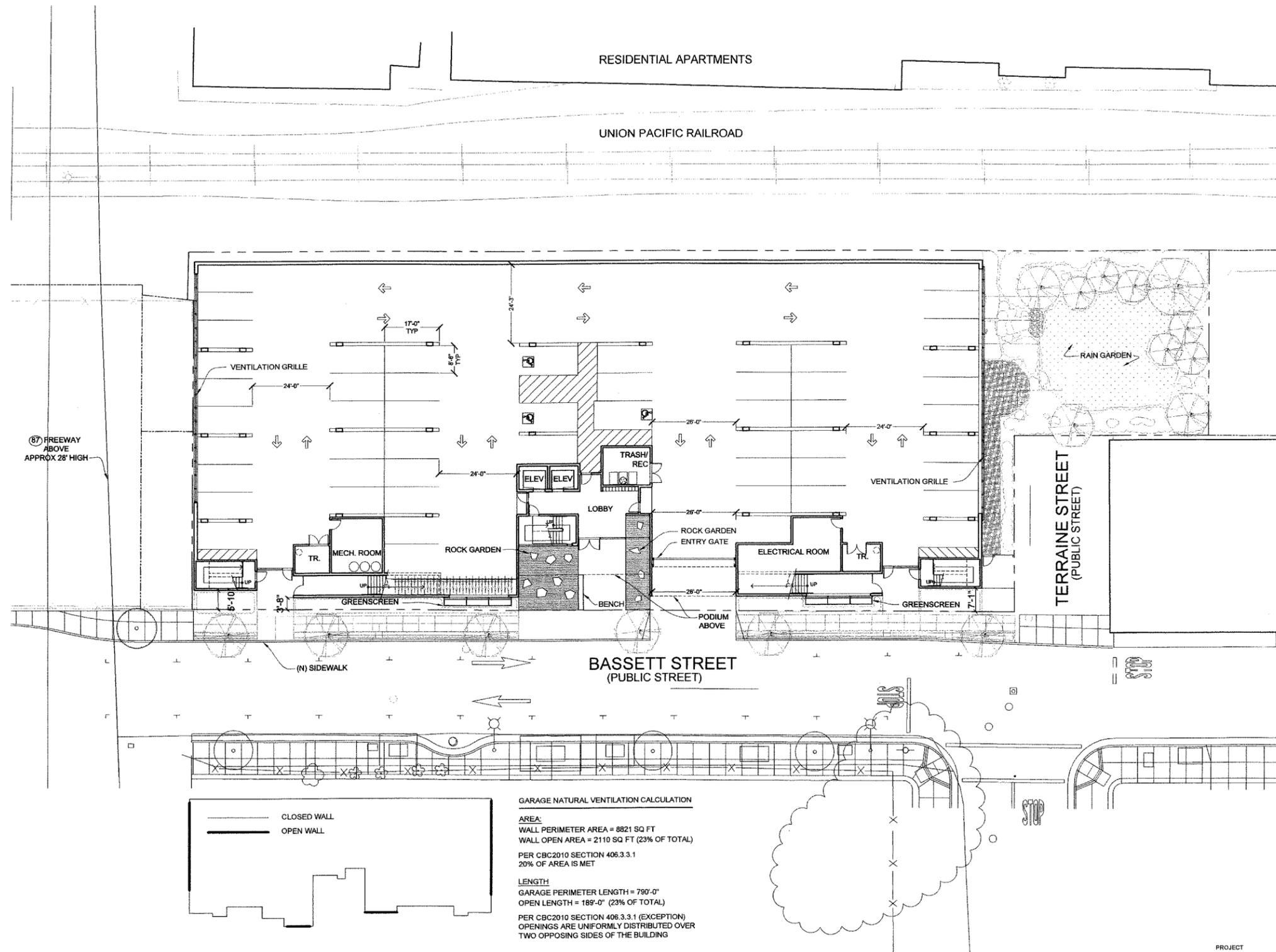
Issued: 06.25.10

Drawn:

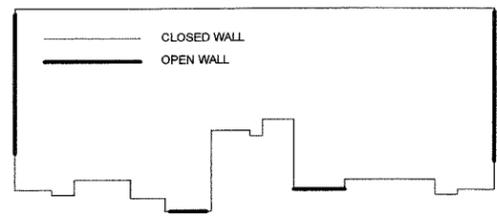
Checked By:

Job:

Sheet



87 FREEWAY ABOVE APPROX 28' HIGH



GARAGE NATURAL VENTILATION CALCULATION

AREA:
 WALL PERIMETER AREA = 8821 SQ FT
 WALL OPEN AREA = 2110 SQ FT (23% OF TOTAL)

PER CBC2010 SECTION 406.3.3.1
 20% OF AREA IS MET

LENGTH
 GARAGE PERIMETER LENGTH = 790'-0"
 OPEN LENGTH = 189'-0" (23% OF TOTAL)

PER CBC2010 SECTION 406.3.3.1 (EXCEPTION)
 OPENINGS ARE UNIFORMLY DISTRIBUTED OVER TWO OPPOSING SIDES OF THE BUILDING

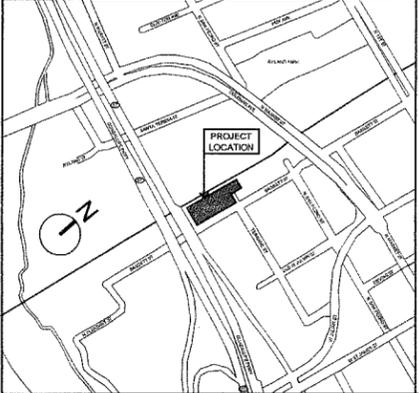
1 PARKING LEVEL PLAN
 SCALE: 1/16" = 1'-0"

SITE PLAN INFORMATION

BUILDING GROSS FLOOR AREA = 75,626 sq ft

Podium = 15259 sq ft
 Second floor = 15259 sq ft
 Third floor = 15259 sq ft
 Fourth floor = 15259 sq ft
 Fifth floor = 14550 sq ft

KEY MAP



These concepts and designs are and remain the original work and property of The Office of Jerome King, FAIA and any reproduction in whole or part, or other use for any purpose whatsoever without express written consent of The Office of Jerome King, FAIA will make the user liable to such design fees as are applicable.

OJK
 Architecture & Planning
 The Office of Jerome King
 97 East St. James Street, Suite 42
 San Jose CA 95112
 Phone 408.295.2210 Fax 408.295.2299
 www.ojking.com

N San Pedro Apartments
 A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
 BASSETT ST. SAN JOSE, CA

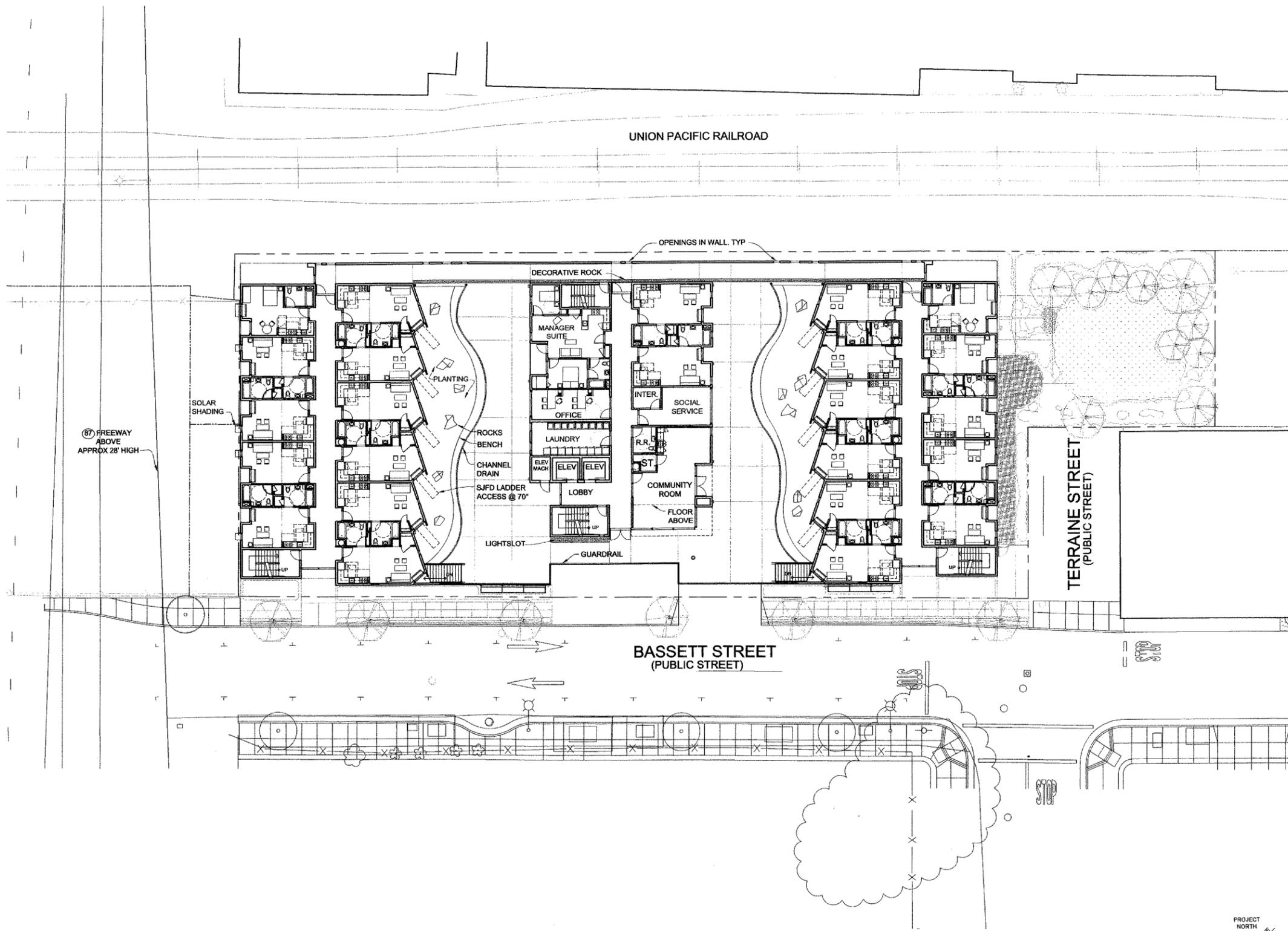
REVISIONS

PLANNING	06.19.11
PLANNING	09.02.11

PARKING LEVEL PLAN
 CONDITIONAL USE PERMIT

Issued: 11.14.10
 Drawn:
 Checked By:

Job:
 Sheet CP11-034
5



1 PODIUM LEVEL PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN INFORMATION

BUILDING GROSS FLOOR AREA = 75,626 sq ft

Podium	= 15,259 sq ft
Second floor	= 15,259 sq ft
Third floor	= 15,259 sq ft
Fourth floor	= 15,259 sq ft
Fifth floor	= 14,590 sq ft

OJK
Architectural Planning
The Office of Jerome King
97 East St. James Street, Suite 42
San Jose CA 95112
Phone 408.295.2210 Fax: 408.295.2289
www.ojkrch.com

N San Pedro Apartments
A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
BASSETT ST., SAN JOSE, CA

REVISIONS

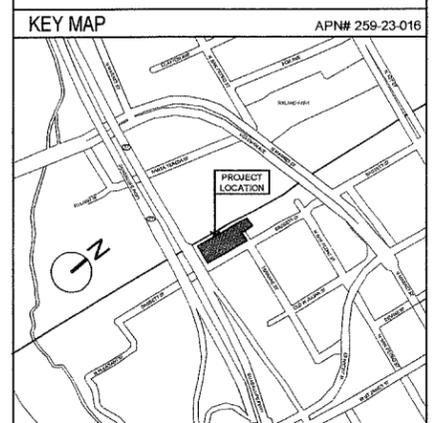
PLANNING	06.19.11
PLANNING	1/2/11

PODIUM LEVEL PLAN
CONDITIONAL USE PERMIT

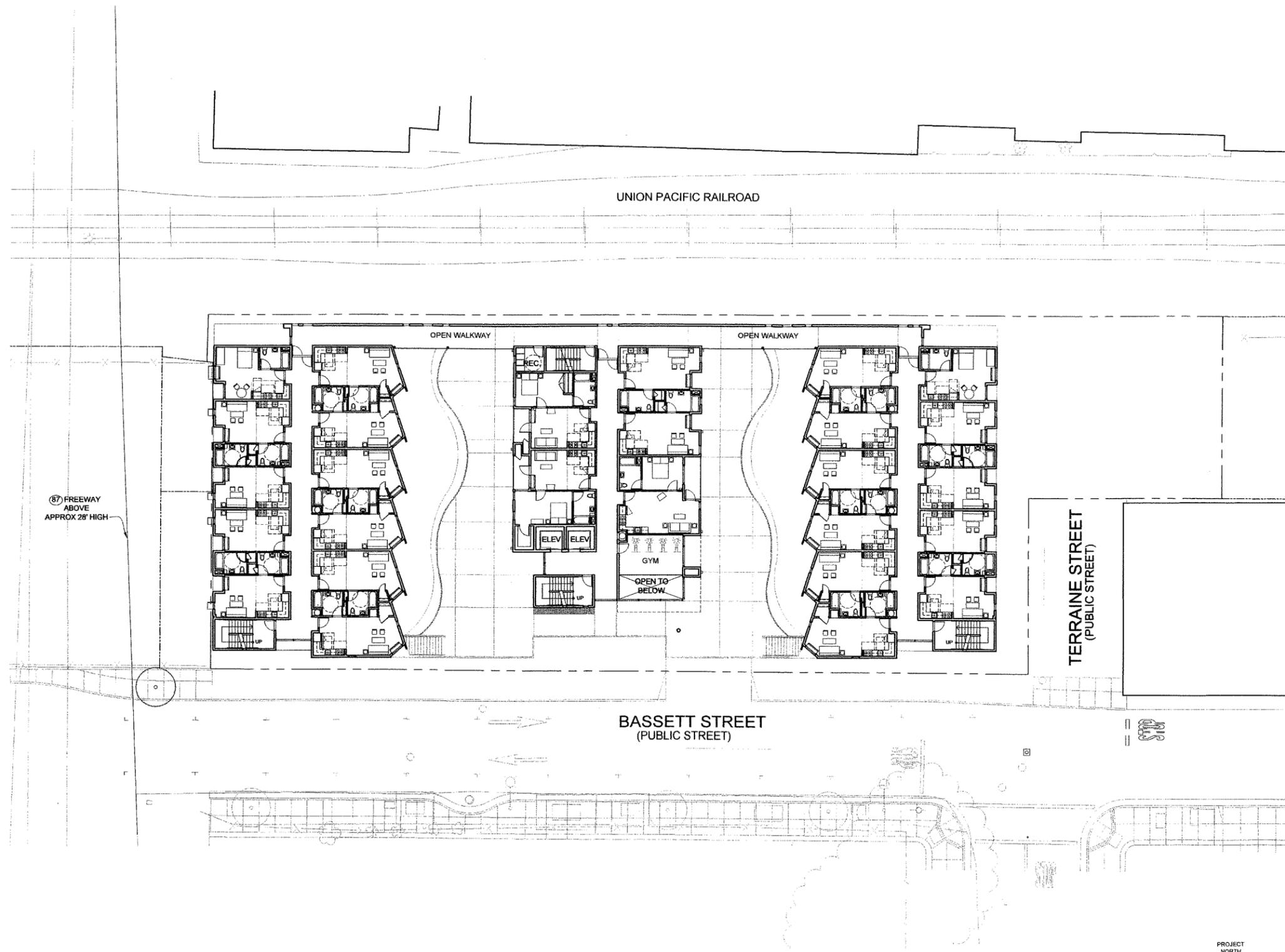
APN# 259-23-016

Issued:	11.14.10
Drawn:	
Checked By:	
Job:	
Sheet	CP11-034

5.1



These concepts and designs are and remain the original work and property of The Office of Jerome King, FAIA and any reproduction in whole or part, or other use for any purpose whatsoever without express written consent of The Office of Jerome King, FAIA will make the user liable to such design fees as are applicable.



1 SECOND LEVEL PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN INFORMATION

BUILDING GROSS FLOOR AREA = 75,626 sq ft
 Podium = 15259 sq ft
 Second floor = 15259 sq ft
 Third floor = 15259 sq ft
 Fourth floor = 15259 sq ft
 Fifth floor = 14590 sq ft



The Office of Jerome King
 97 East St. James Street, Suite 42
 San Jose CA 95112
 Phone: 408.295.2210 Fax: 408.295.2289
 www.ojking.com

N San Pedro Apartments
 A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
 BASSETT ST. SAN JOSE, CA

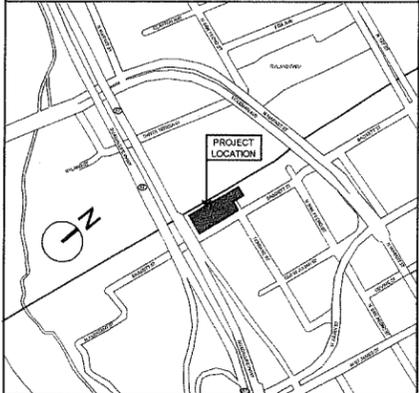
REVISIONS
PLANNING 06.19.11
PLANNING 9/2/11

SECOND LEVEL PLAN
 CONDITIONAL USE PERMIT

Issued: 11.14.10
 Drawn:
 Checked By:

Job:
 Sheet CP11-034
5.2

KEY MAP APN# 259-23-016



These concepts and designs are and remain the original work and property of The Office of Jerome King, FAIA and any reproduction in whole or part, or other use for any purpose whatsoever without express written consent of The Office of Jerome King, FAIA will make the user liable to such design fees as are applicable.



1 THIRD LEVEL PLAN (FOURTH SIM.)
SCALE: 1/16" = 1'-0"

SITE PLAN INFORMATION

BUILDING GROSS FLOOR AREA = 75,626 sq ft
Podium = 15259 sq ft
Second floor = 15259 sq ft
Third floor = 15259 sq ft
Fourth floor = 15259 sq ft
Fifth floor = 14590 sq ft

OJK
 The Office of Jerome King
 97 East St. James Street, Suite 42
 San Jose, CA 95112
 Phone 408.295.2210 Fax 408.295.2289
 www.ojking.com

N San Pedro Apartments
 A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
 BASSETT ST., SAN JOSE, CA

△	REVISIONS
PLANNING	06/19/11
PLANNING	9/2/11

KEY MAP APN# 259-23-016

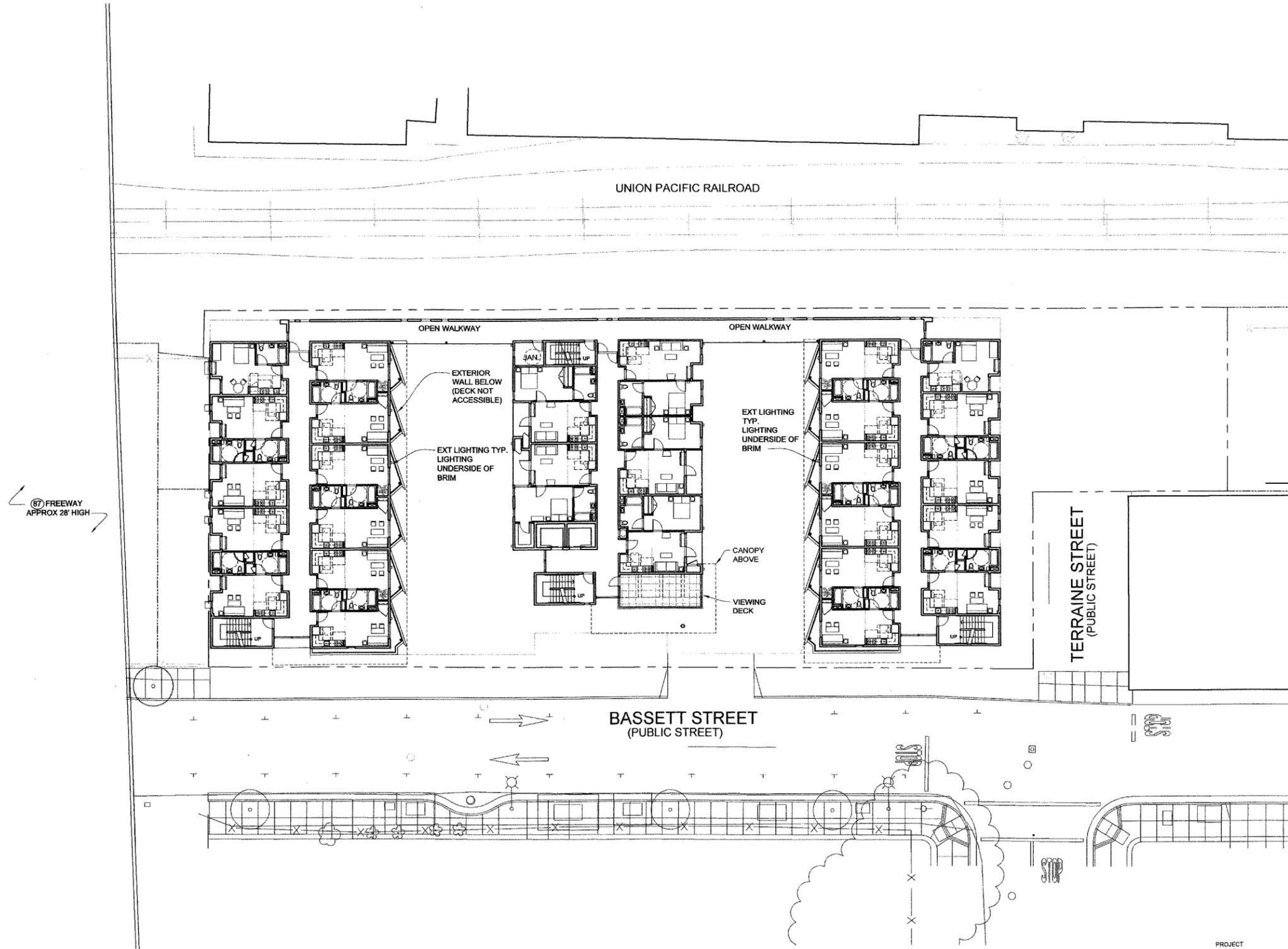


THIRD LEVEL PLAN
 CONDITIONAL USE PERMIT

Issued:	11.14.10
Drawn:	
Checked By:	
Job:	

These concepts and designs are and remain the original work and property of The Office of Jerome King, FAIA and any reproduction in whole or part, or other use for any purpose whatsoever without express written consent of The Office of Jerome King, FAIA will make the user liable to such design fees as are applicable.

Sheet CP11-034
5.3



1 FIFTH LEVEL PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN INFORMATION

BUILDING GROSS FLOOR AREA = 75,626 sq ft
Podium = 15259 sq ft
Second floor = 15259 sq ft
Third floor = 15259 sq ft
Fourth floor = 15259 sq ft
Fifth floor = 14590 sq ft

OJK
 The Office of Jerome King
 97 East St. James Street, Suite 42
 San Jose CA 95112
 Phone 408.285.2210 Fax 408.285.2289
 www.ojking.com

N San Pedro Apartments
 A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
 BASSETT ST., SAN JOSE, CA

REVISIONS
PLANNING 06.19.11
PLANNING 09.02.11

KEY MAP APN# 259-23-016

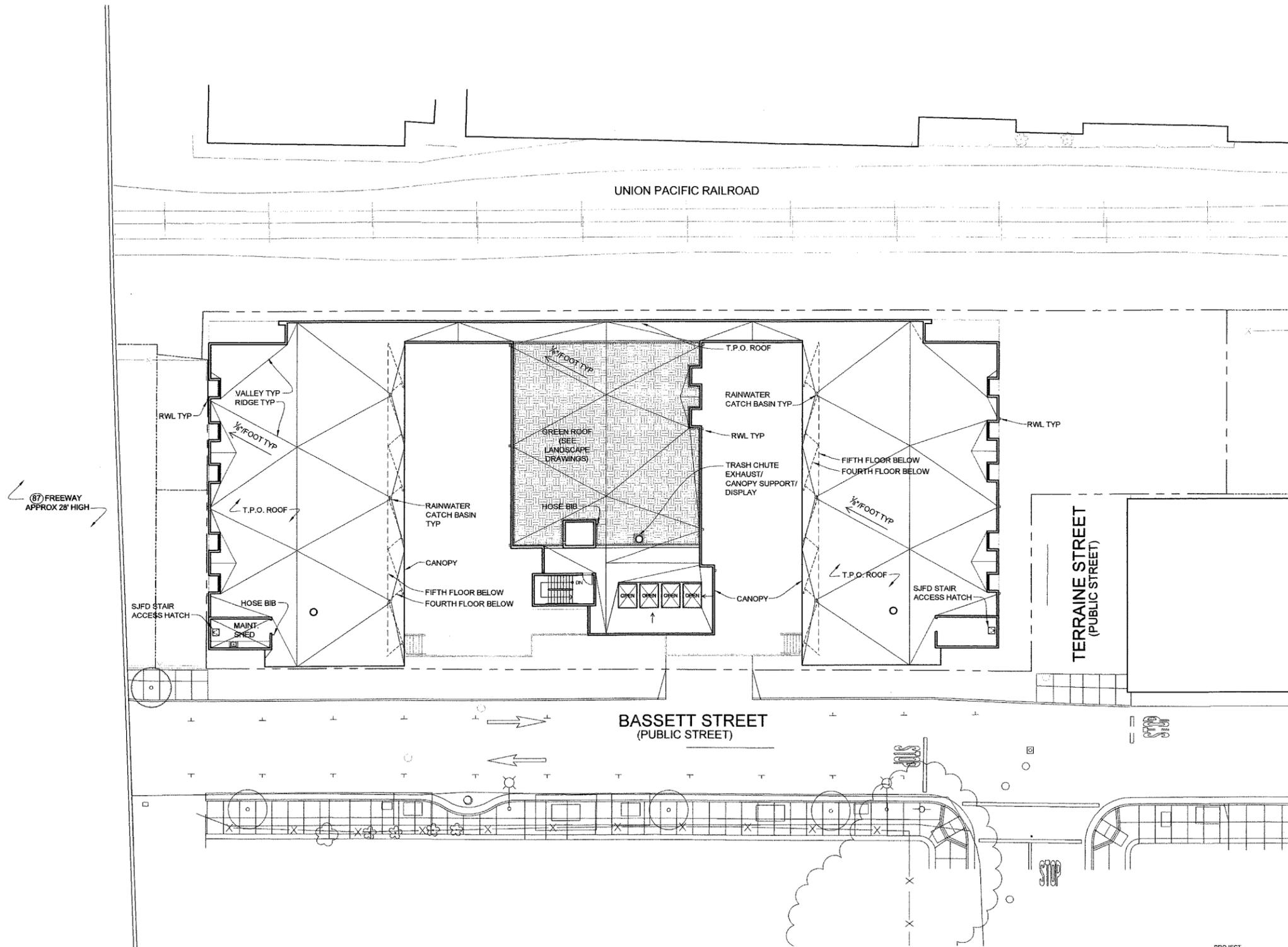


FIFTH LEVEL PLAN
 CONDITIONAL USE PERMIT

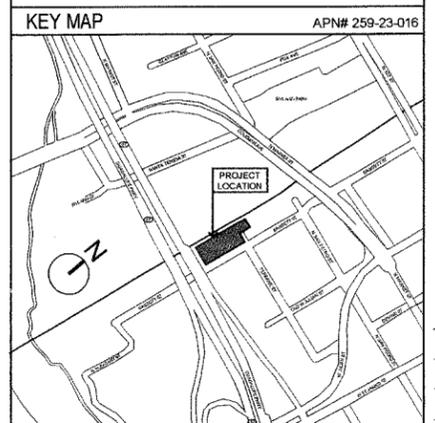
Issued:	11.14.10
Drawn:	
Checked By:	

Job: CP11-034
Sheet

These concepts and designs are and remain the original work and property of The Office of Jerome King, FAIA and any reproduction in whole or part, or other use for any purpose whatsoever without express written consent of The Office of Jerome King, FAIA will make the user liable to such design fees as are applicable.



1 ROOF PLAN
SCALE: 1/16" = 1'-0"



ROOF PLAN
CONDITIONAL USE PERMIT

Issued: 11.14.10
Drawn:
Checked By:
Job:
Sheet CP11-034

5.6

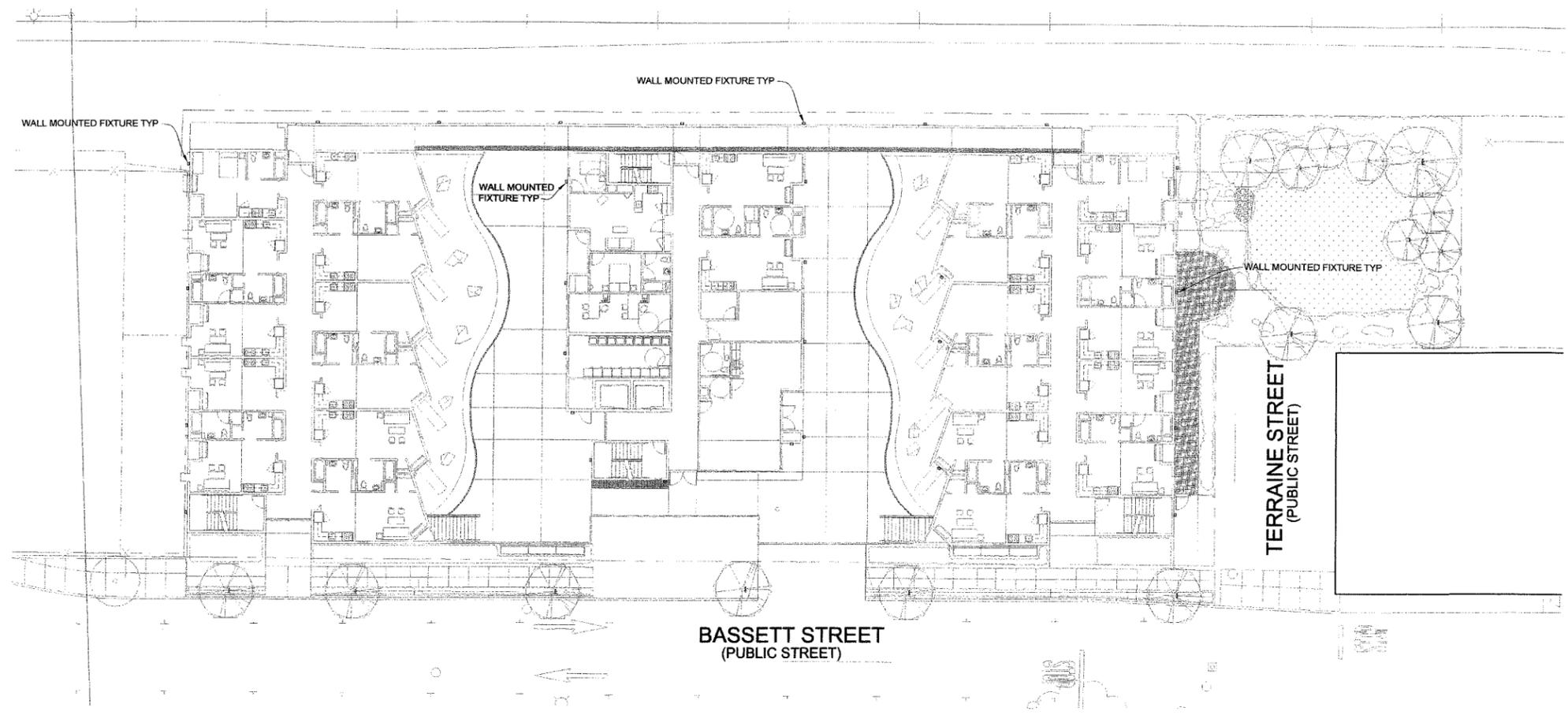
These concepts and designs are and remain the original work and property of The Office of Jerome King, FAIA and any reproduction in whole or part, or other use for any purpose whatsoever without express written consent of The Office of Jerome King, FAIA will make the user liable to such design fees as are applicable.

N San Pedro Apartments
A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
BASSETT ST., SAN JOSE, CA

REVISIONS
PLANNING 06.19.11
PLANNING 09.02.11

REVISIONS
PLANNING 08.19.11
PLANNING 09.02.11

Issued: 11.14.10
Drawn:
Checked By:
Job:



1 EXTERIOR LIGHTING PLAN
SCALE: 1/16" = 1'-0"

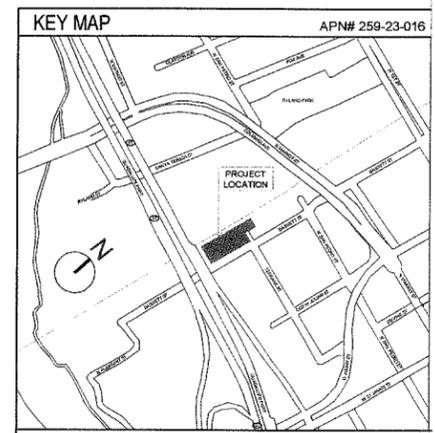


NOTE: STREET LEVEL LIGHTING FIXTURES ARE SHOWN ON SHEET 4.0
5TH LEVEL LIGHTING FIXTURES ARE SHOWN ON SHEET 5.5

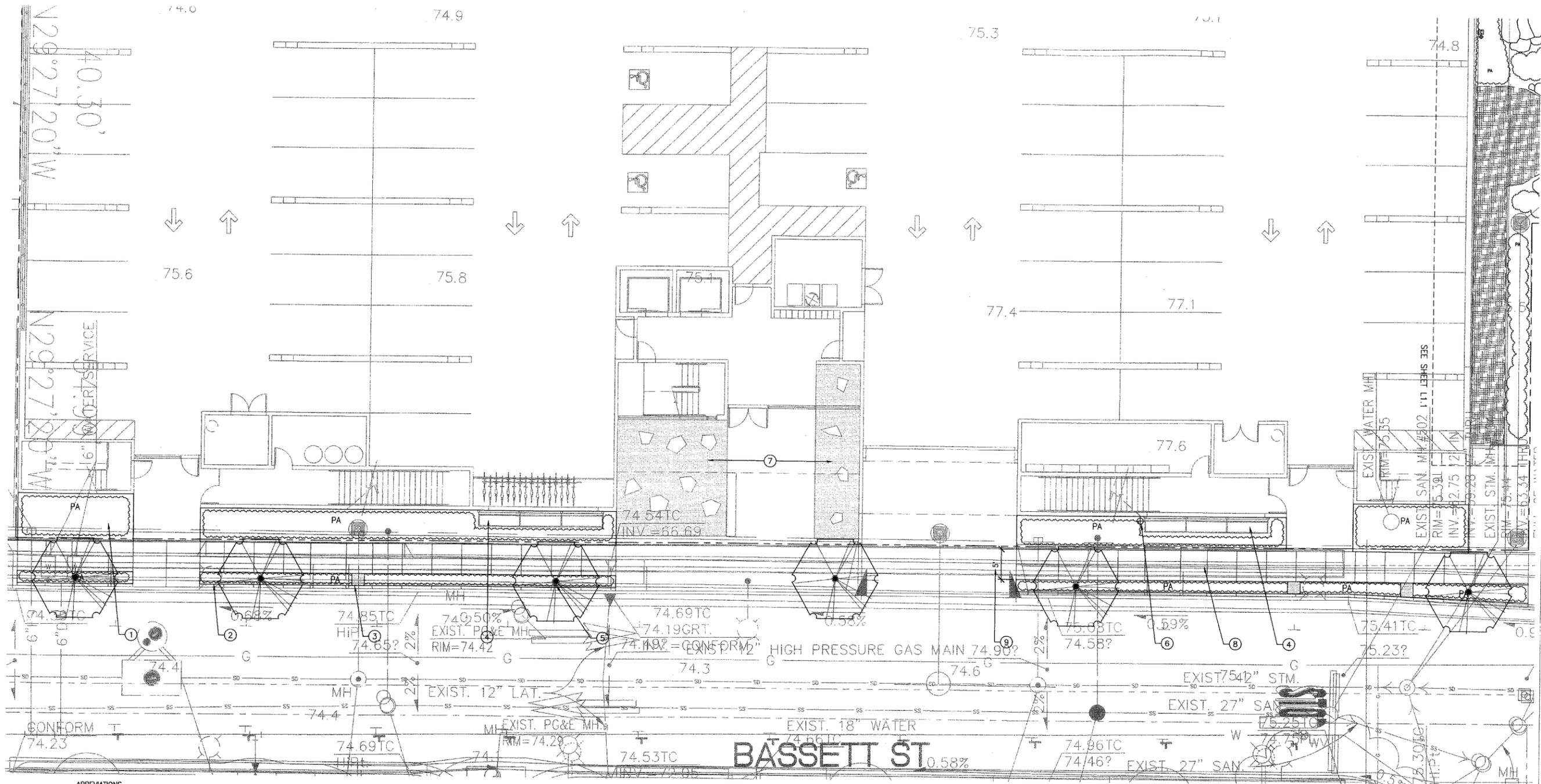
2 WALL MOUNTED FIXTURE
SCALE: NA

Wall-mounted
for recessed, dimmable, fluorescent lamps and discharge lamps
Protection class: IP 55
Class II enclosure and stainless steel
Safety glass with safety coating
Protects of sun-irradiation
Colour: graphite, white or silver
gradients - article number
white - article number - W
black - article number - A

Code	Article Number	Height	Width	Depth	Weight	Material
2011	2011	1.450	170 W	130 D	2.50	2x47 160
2012	2012	2.820	131 W	160 D	2.20	2x22 160
2013	2013	2.700	131 W	160 D	2.00	2x22 160
2014	2014	1.450	170 W	130 D	2.50	2x47 160
2015	2015	1.450	170 W	130 D	2.50	2x47 160
2016	2016	1.450	170 W	130 D	2.50	2x47 160
2017	2017	1.450	170 W	130 D	2.50	2x47 160



These concepts and designs are and remain the original work and property of The Office of Jerome King, FAIA and any reproduction in whole or part, or other use for any purpose whatsoever without express written consent of The Office of Jerome King, FAIA will make the user liable to such design fees as are applicable.

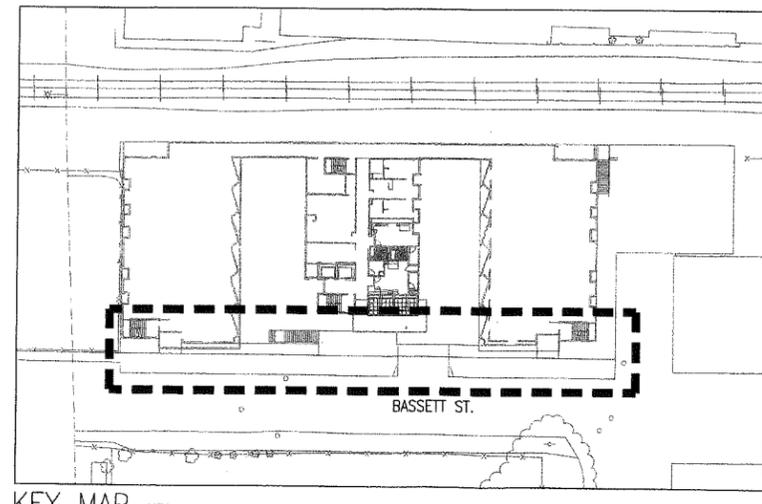


ABREVIATIONS	DESCRIPTION
AC	ASPHALTIC CONCRETE
AD	AREA DRAIN
APPROX	APPROXIMATE(LY)
ARCH	ARCHITECT(S)
BC	BOTTOM OF CURB
BLDG	BUILDING
BOC	BACK OF CURB
CIVIL	CIVIL ENGINEER
CLR	CLEAR
CO	CLEAN OUT
CONC	CONCRETE
DG	DECOMPOSED GRANITE
DI	DRAIN INLET
DIA	DIAMETER
DN	DOWN
DS	DOWNSPOUT
DWG	DRAWING(S)
(E)	EXISTING
ELEC ENG	ELECTRIC(AL) ENGINEER
EQ	EQUAL
FG	FINISH GRADE
FG	FINISHED GRADE (AT TOP OF MULCH)
FL	FLOW LINE
FOB	FACE OF BUILDING
FOC	FACE OF CURB
FT (')	FOOT OR FEET
FTG	FOOTING
GALV	GALVANIZED
HB	HOSE BIB
HP	HIGH POINT
IN (")	INCH OR INCHES
LAND	LANDSCAPE
LPT	LOW POINT

MAX	DESCRIPTION
MECH	MECHANICAL
MFR	MANUFACTURER(S)
MIN	MINIMUM
(N)	NEW
NTS	NOT TO SCALE
PA	PLANTING AREA
PERF	PERFORATE(D)
POC	POINT OF CONNECTION
RW	RAINWATER
SD	STORMDRAIN
SEPTIC	SEPTIC ENGINEER
SF	SQUARE FOOT/FEET
SIM	SIMILAR
SJ	SCORE JOINT
SPEC	SPECIFICATION(S)
SQ	SQUARE
SS	SANITARY SEWER
STD	STANDARD
STRUCT	STRUCTURAL
TBD	TO BE DETERMINED
TYP	TYPICAL
VAR	VARIABLE
W	WIDTH
W/O	WITH OUT
YD	YARD

LEGEND SYMBOL	DESCRIPTION
---	PROPERTY LINE
(New tree symbol)	NEW TREE
PA	PLANTING AREA
(Irrigation symbol)	IRRIGATION POINT OF CONNECTION
(Controller symbol)	IRRIGATION CONTROLLER

- NUMBERED NOTES STREETScape**
- PLANTED AREAS: SIDEWALK RUNOFF IS DIRECTED TO PLANTED AREAS. OVERFLOWS FROM EACH PLANTED AREA CONNECTED TO STORM DRAIN. REFER TO CIVIL DWGS FOR SIDEWALK ELEVATIONS AND DRAINAGE CONNECTIONS.
 - 1' CLEAR PROVIDED FROM FRONT OF CURB TO EDGE OF PLANTED AREAS FOR ACCESS FROM STREET PARKING TO SIDEWALK.
 - DG FOR ACCESS THROUGH PLANTED AREAS, TYP.
 - GREENSCREEN SEE ARCH DWGS.
 - STREET TREE, PER CITY STREET TREE PLANTING REQUIREMENTS
 - POINT OF CONNECTION FOR IRRIGATION: PROVIDE 30 PSI AT 10 GPM. ELECTRICAL TO PROVIDE 1/2" CONDUIT FOR CONTROL WIRES FROM THE EXTERIOR CONTROLLER LOCATED ADJACENT TO THE RAINGARDEN TO IRRIGATION VALVES.
 - ROCK GARDEN
 - CONCRETE PAVING
 - 5' CLEAR FOR ACCESS PROVIDED IN PEDESTRIAN RIGHT OF WAY.



DESIGN ECOLOGY
5755 GARY BLVD. #241
SAN FRANCISCO, CA 95121
designecology.com
ph (415) 856-8515
fx (415) 856-7078
copyright 2011

The Office of Jerome King
97 East St. James Street, Suite 42
San Jose CA 95112
Phone 408.285.2210 Fax: 408.285.2288
www.ojkrch.com

N San Pedro Apartments
A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
BASSETT ST. SAN JOSE, CA

REVISIONS
Resubmission to Planning

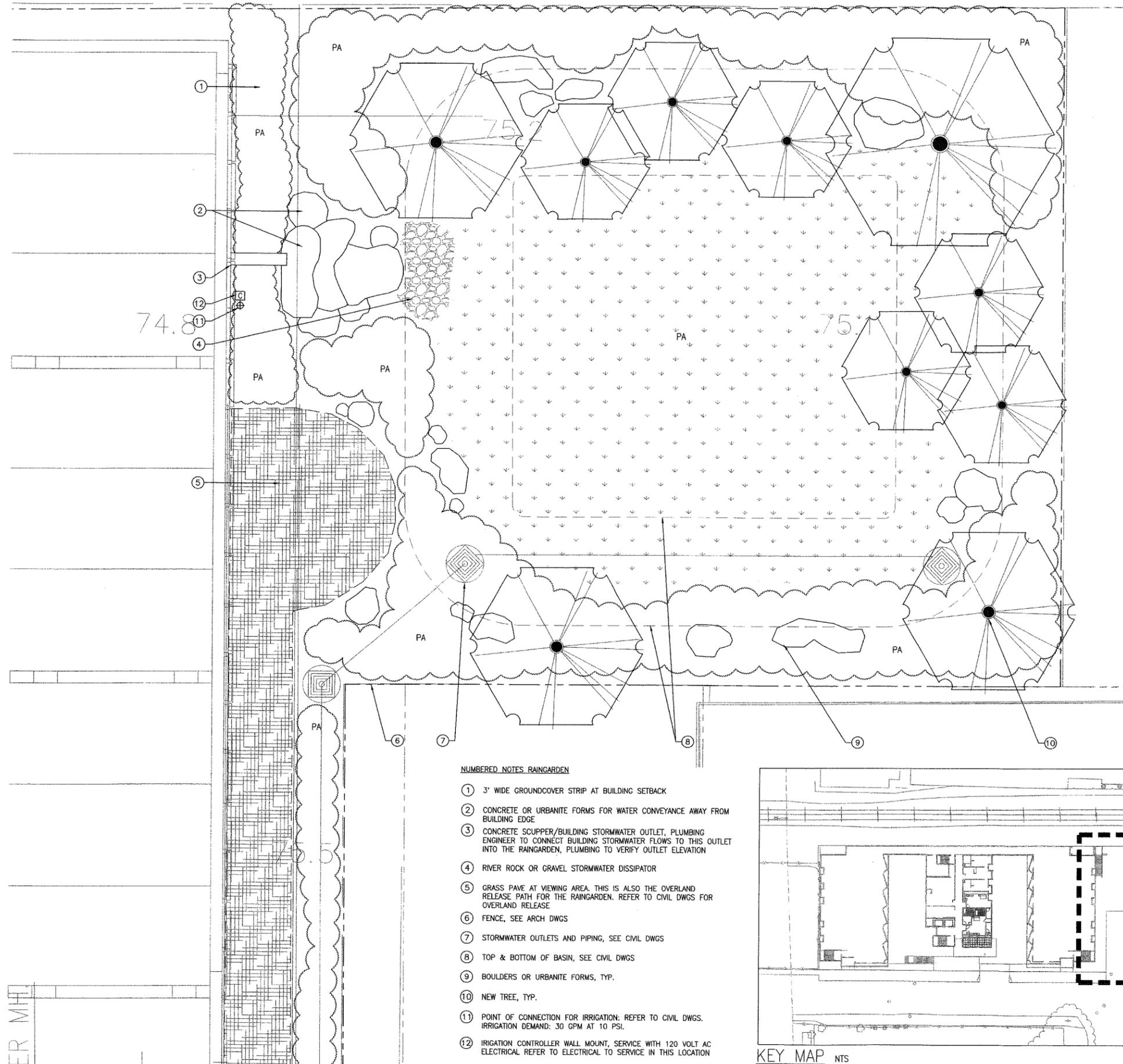
Issued: 09.02.11

SCALE: 1/8"=1'

Job:

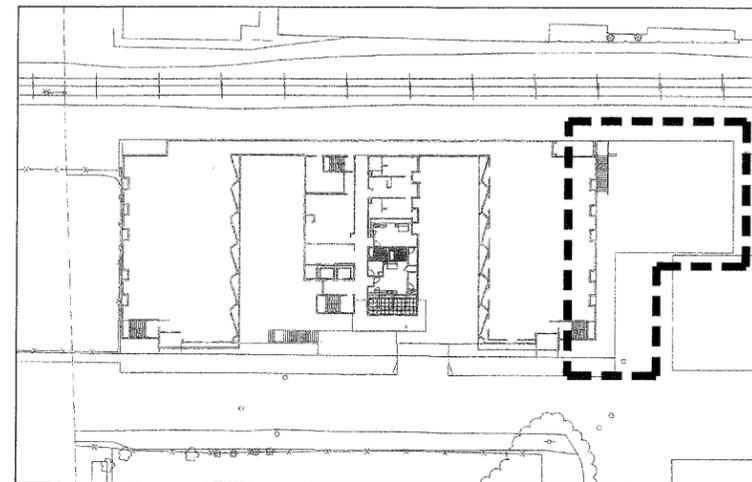
Sheet
STREETScape
LAYOUT PLAN

L1.0



NUMBERED NOTES RAINGARDEN

- ① 3' WIDE GROUND COVER STRIP AT BUILDING SETBACK
- ② CONCRETE OR URBANITE FORMS FOR WATER CONVEYANCE AWAY FROM BUILDING EDGE
- ③ CONCRETE SCUPPER/BUILDING STORMWATER OUTLET, PLUMBING ENGINEER TO CONNECT BUILDING STORMWATER FLOWS TO THIS OUTLET INTO THE RAINGARDEN, PLUMBING TO VERIFY OUTLET ELEVATION
- ④ RIVER ROCK OR GRAVEL STORMWATER DISSIPATOR
- ⑤ GRASS PAVE AT VIEWING AREA. THIS IS ALSO THE OVERLAND RELEASE PATH FOR THE RAINGARDEN. REFER TO CIVIL DWGS FOR OVERLAND RELEASE
- ⑥ FENCE, SEE ARCH DWGS
- ⑦ STORMWATER OUTLETS AND PIPING, SEE CIVIL DWGS
- ⑧ TOP & BOTTOM OF BASIN, SEE CIVIL DWGS
- ⑨ BOULDERS OR URBANITE FORMS, TYP.
- ⑩ NEW TREE, TYP.
- ⑪ POINT OF CONNECTION FOR IRRIGATION: REFER TO CIVIL DWGS. IRRIGATION DEMAND: 30 GPM AT 10 PSI.
- ⑫ IRRIGATION CONTROLLER WALL MOUNT, SERVICE WITH 120 VOLT AC ELECTRICAL REFER TO ELECTRICAL TO SERVICE IN THIS LOCATION



KEY MAP NTS

DESIGN ECOLOGY
5758 GEARY BLVD. #241
SAN FRANCISCO, CA 95121
designecology.com
ph (415) 868.8515
fx (707) 558.7076
copyright 2011

The Office of Jerome King
87 East St. James Street, Suite 42
San Jose CA 95112
Phone 408.295.2210 Fax 408.295.2289
www.ojarch.com

N San Pedro Apartments
A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
BASSETT ST. SAN JOSE, CA

△ REVISIONS
Resubmission to Planning

Issued: 09.02.11

SCALE: 1/4" = 1'

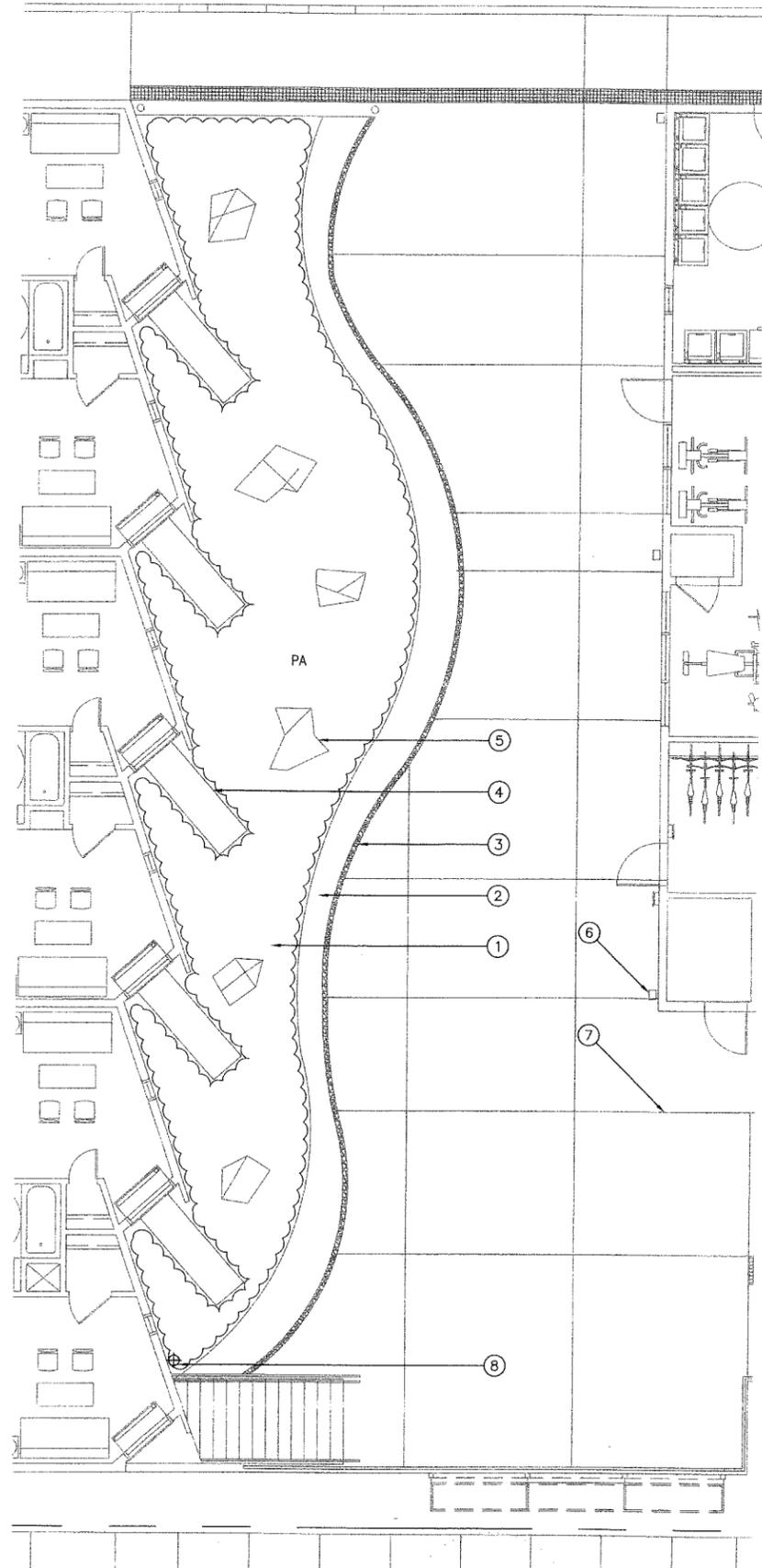
Job:

Sheet
RAIN GARDEN
LAYOUT PLAN

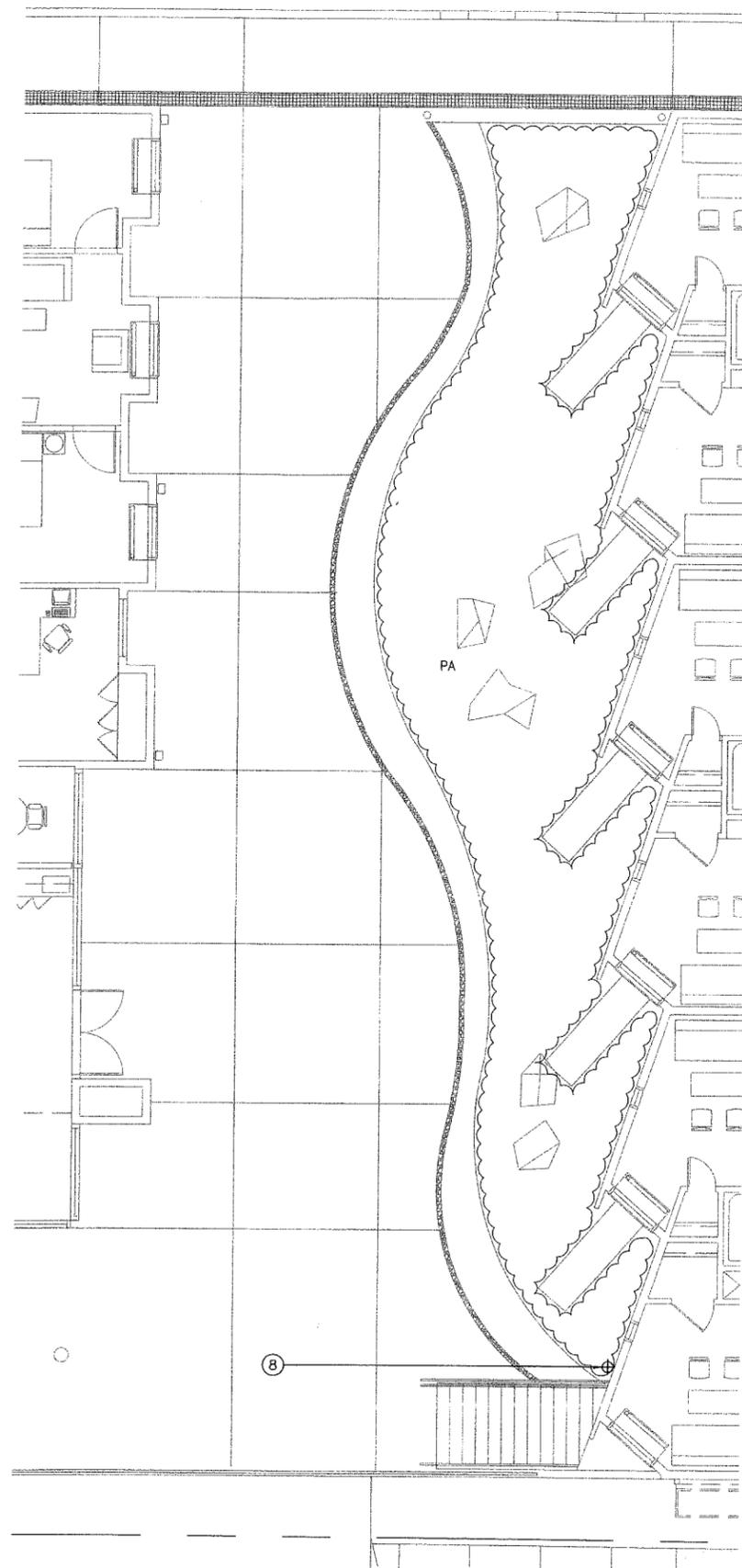
L1.1



ER MH



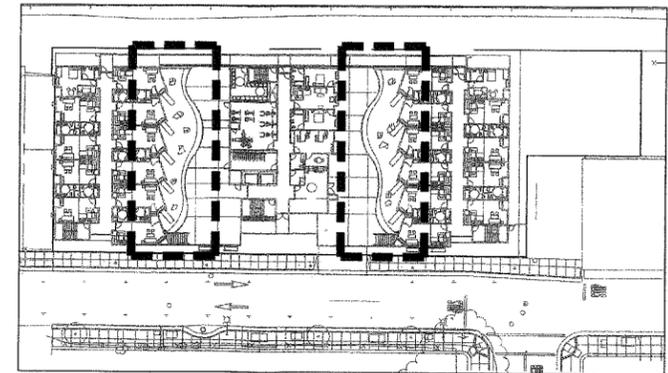
ENLARGEMENT WEST



ENLARGEMENT EAST

LEGEND SYMBOL	DESCRIPTION
---	PROPERTY LINE
PA	PLANTING AREA
⊕	IRRIGATION POINT OF CONNECTION

- NUMBERED NOTES**
- ① PLANTING AREA PER PODIUM PLANTING PLAN, TYP.
 - ② CONCRETE EDGE, SEE ARCH. DWGS.
 - ③ CHANNEL FOR PODIUM DRAINAGE, SEE ARCH. DWGS.
 - ④ AREA PLANTED WITH LOW SHRUBS/GROUNDCOVER FOR FIRE ACCESS
 - ⑤ BOULDER/LANDSCAPE ACCENT FEATURE
 - ⑥ RAINWATER LEADER, SEE ARCH. DWGS.
 - ⑦ PODIUM PAVING, SEE ARCH. DWGS.
 - ⑧ POINT OF CONNECTION FOR PODIUM IRRIGATION. REFER TO PLUMBING DWGS. PROVIDE 30 PSI AT 10 GPM TO EACH POC AT THE PODIUM LEVEL. ELECTRICAL TO PROVIDE 1/2" CONDUIT FOR CONTROL WIRES FROM THE EXTERIOR CONTROLLER LOCATED ADJACENT TO THE RAINGARDEN, SEE RAINGARDEN LAYOUT PLAN.



KEY MAP NTS

DESIGN ECOLOGY
5758 GASKY BLVD. #241
SAN JOSE, CA 95121
PH (415) 886-8515
FX (707) 559-7078
COPYRIGHT 2011

The Office of Jerome King
97 East St. James Street, Suite 42
San Jose CA 95112
Phone: 408.295.2210 Fax: 408.295.2289
www.ojkrch.com

N San Pedro Apartments
A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
BASSETT ST., SAN JOSE, CA

REVISIONS
Resubmission to Planning

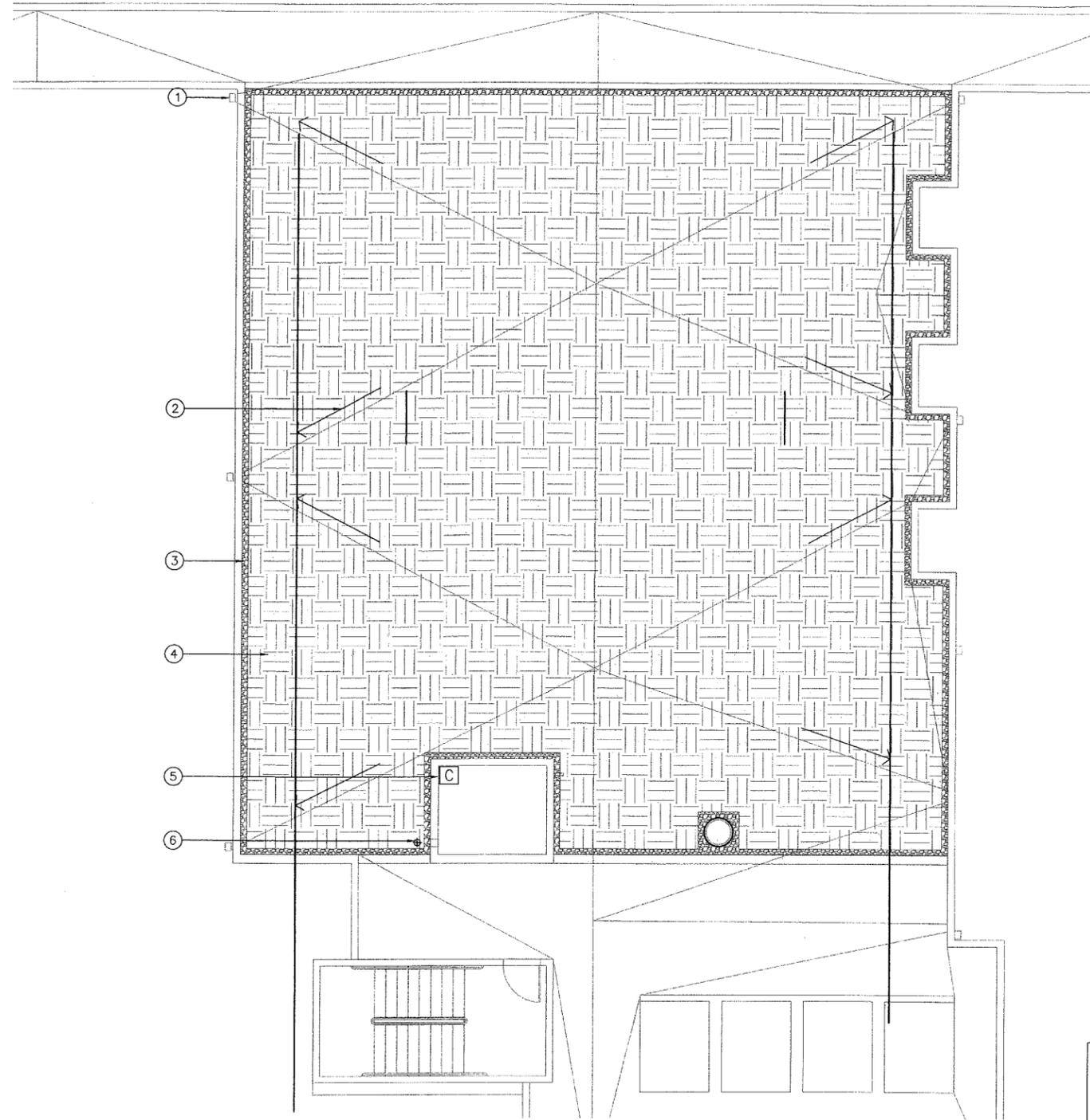
Issued: 09.02.11

SCALE: 3/16" = 1'

Job:

Sheet
PODIUM LAYOUT PLAN
LP1.0





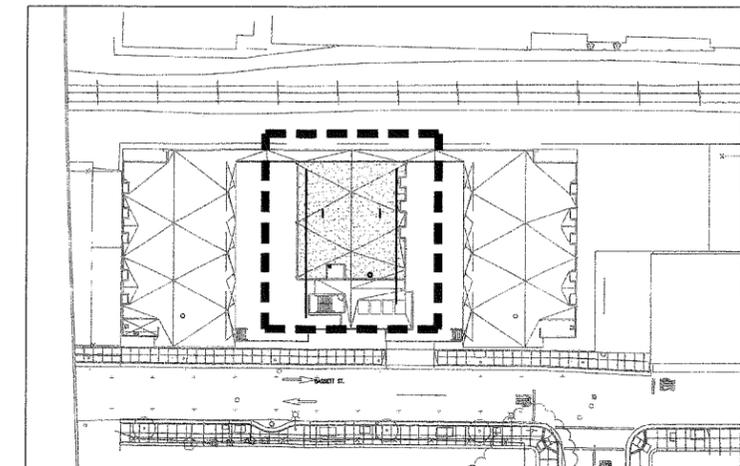
LEGEND SYMBOL	DESCRIPTION
	LIVING ROOF GROWING MEDIA
	DRAINAGE ROCK AT VEGETATION FREE ZONE: 3/8" LAVA ROCK
	PERFORATED METAL EDGE RESTRAINT
	IRRIGATION CONTROLLER

LIVING ROOF NOTES:

- GROWING MEDIUM DESIGN WEIGHT NOT TO EXCEED 40 POUNDS PER SQUARE FOOT AS PER STRUCTURAL ENGINEER'S DRAWINGS.
- SEE ARCHITECTS & STRUCTURAL ENGINEERS DRAWINGS FOR PARAPET, ROOF DECK AND OTHER COMPONENTS OF THE STRUCTURAL SYSTEM.
- INSTALL ALL COMPONENTS INCLUDED WITHIN THESE DRAWING'S PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTIONS ARE ACCEPTABLE WITH PRIOR APPROVED CONSENT FROM THE LANDSCAPE ARCHITECT.
- SEE LIVING ROOF ASSEMBLY SPECIFICATIONS FOR COMPLETE MATERIAL INFORMATION AND MANUFACTURER RECOMMENDATIONS.
- SEE PLUMBING DRAWINGS FOR DRAIN AND OVERFLOW CONNECTIONS.
- CONTRACTOR TO COORDINATE POINTS OF CONNECTION PRIOR TO INSTALLATION. CHECK COMPLIMENTARY DRAWINGS INCLUDING, BUT NOT LIMITED TO: CIVIL, ARCHITECTURAL AND PLUMBING. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL SITE CONDITIONS.

NUMBERED NOTES

- RAIN WATER LEADER SEE ARCH. DRAWINGS TYP. OF 6
- SLOPE MIN 2% TO DRAINS, SEE ARCH DWGS FOR ROOF DECK
- VEGETATION FREE ZONE, TYP.
- GROWING MEDIA, TYP.
- IRRIGATION CONTROLLER: WALL MOUNT, SERVICE WITH 120 VOLT AC ELECTRICAL. REFER TO ELECTRICAL PLANS FOR SERVICE TO THIS LOCATION
- POINT OF CONNECTION REFER TO PLUMBING DRAWINGS. PROVIDE MIN. 30 PSI WITH 10 GPM AT POC. PROVIDE 120 VOLTS AC ELECTRICAL, REFER TO ELECTRICAL PLANS FOR ELECTRICAL SERVICE TO THIS LOCATION. RAIN SENSOR TO BE LOCATED ON ROOF.



KEY MAP NTS



DESIGN ECOLOGY
5758 GEARY BLVD. #241
SAN FRANCISCO, CA 95121
design@ecology.com
P: (415) 559-2075
F: (415) 559-2076
copyright 2011

The Office of Jerome King
87 East St. James Street, Suite 42
San Jose, CA 95112
Phone 408.295.2210 Fax: 408.295.2299
www.ojarch.com

N San Pedro Apartments
A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
BASSETT ST., SAN JOSE, CA

△ REVISIONS
Resubmission to Planning

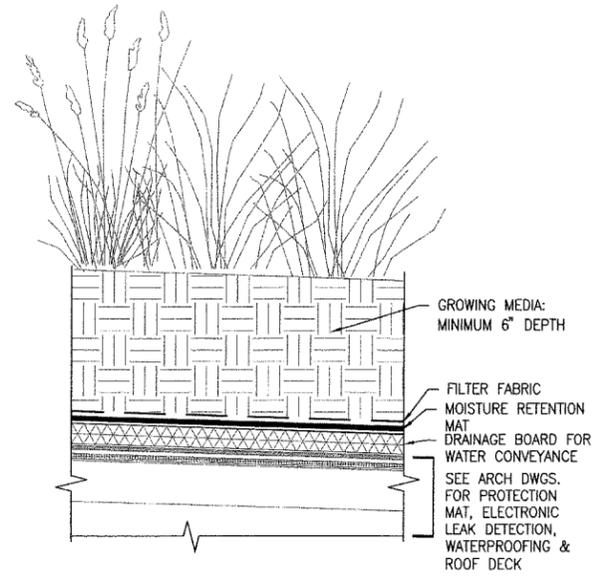
Issued: 09.02.11

SCALE: 1/8" = 1'

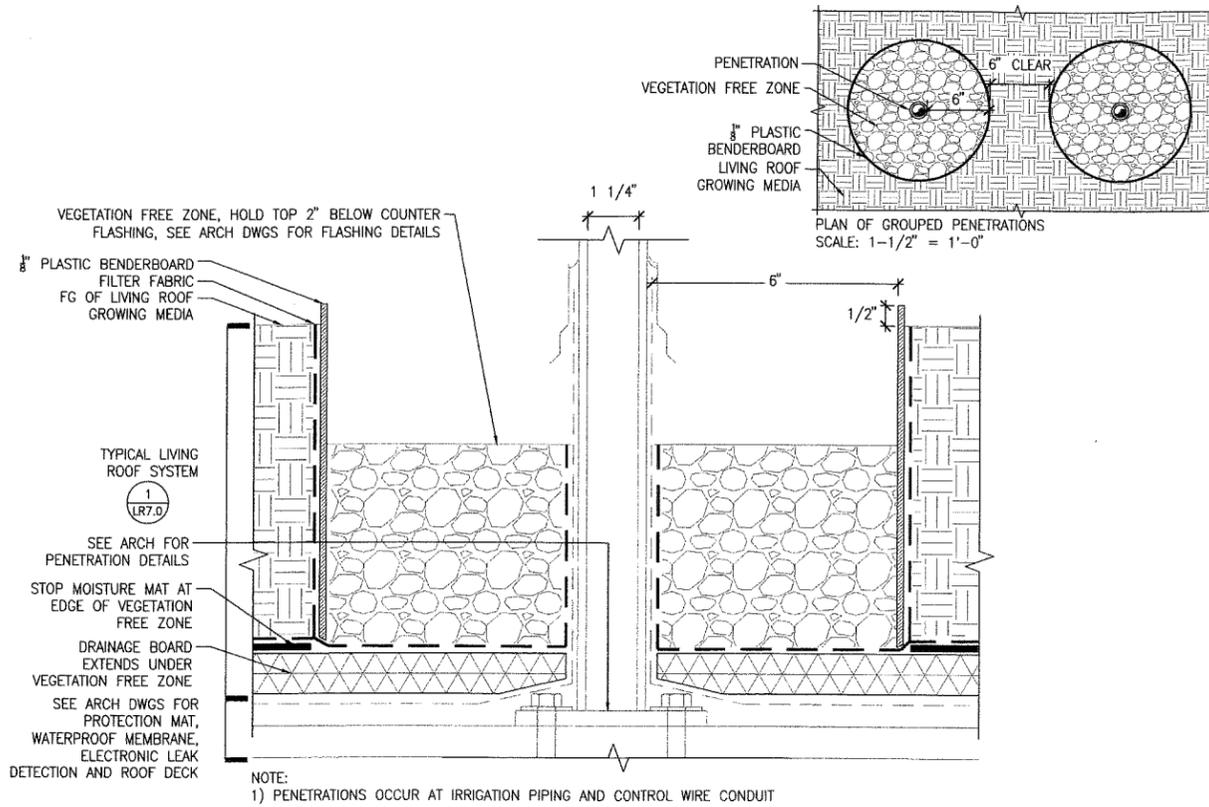
Job:

Sheet
LIVING ROOF
LAYOUT PLAN

LR1.0



1 TYPICAL LIVING ROOF BUILT UP SYSTEM
SCALE: 3" = 1'



2 LIVING ROOF PENETRATION
SCALE: 6" = 1'

DESIGN ECOLOGY
5738 GARRY BLVD. #241
SAN FRANCISCO, CA 95121
designecology.com
ph (415) 888.8515
fx (707) 559.7078
copyright 2011

The Office of Jerome King
97 East St. James Street, Suite 42
San Jose CA 95112
Phone 408.295.2210 Fax 408.295.2289
www.ojking.com

N San Pedro Apartments
A DEVELOPMENT FOR FIRST COMMUNITY HOUSING
BASSETT ST., SAN JOSE, CA

△ REVISIONS
Resubmission to Planning

Issued: 09.02.11

Job:

Sheet
LIVING ROOF
DETAILS
LR7.0

