

STAFF REPORT
HISTORIC LANDMARKS COMMISSION

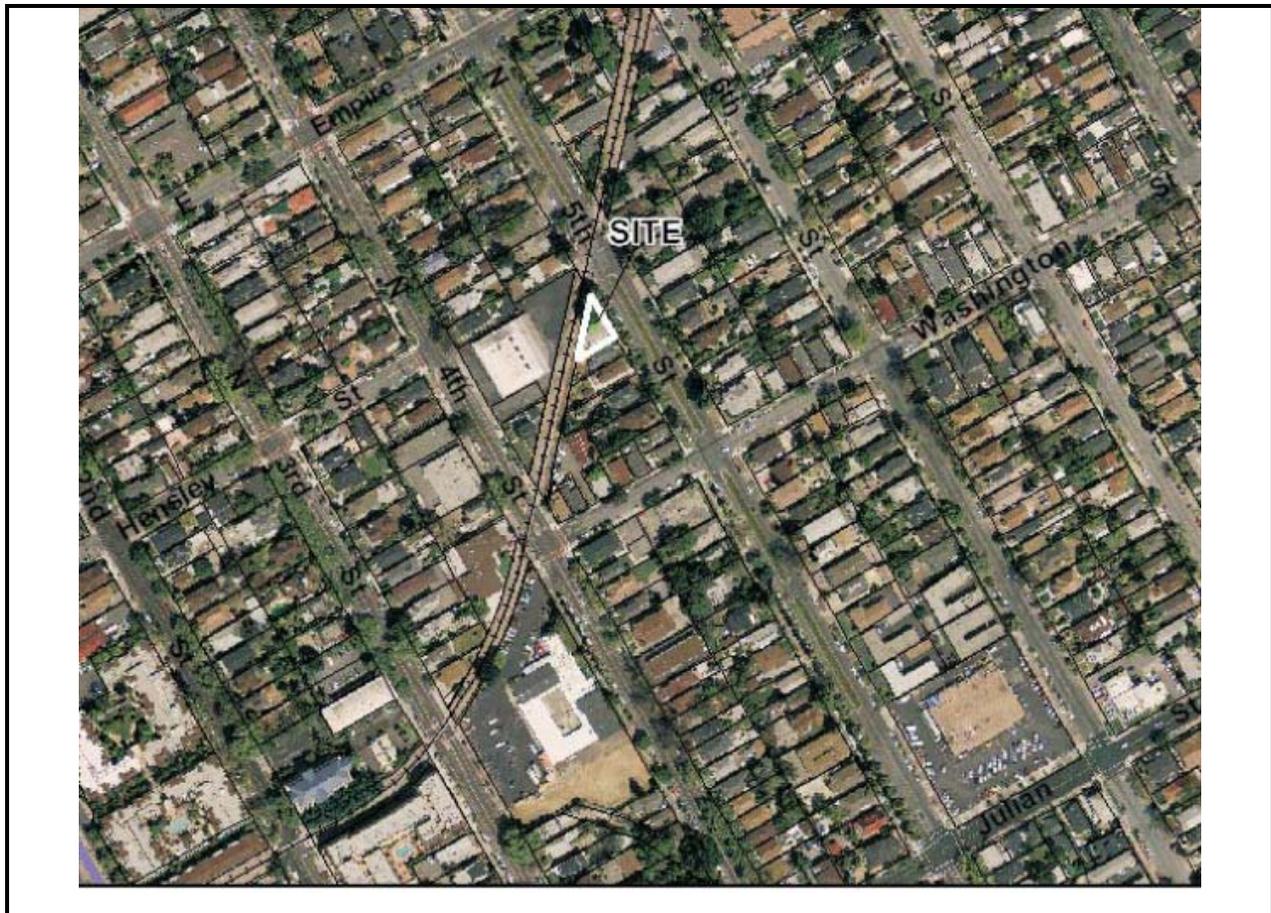
FILE NO.: HP12-002, 429 N. Fifth Street

APPLICATION TYPE: Historic
Preservation Permit

PROJECT DESCRIPTION: Historic
Preservation Permit to rebuild a single-
family house damaged by fire and rebuild a
detached garage.

Existing Zoning	R-M - Multiple Residence District
General Plan	Residential Neighborhood
Council District	3
Annexation Date	Original City
Historic Area	Hensley National Register District and City Landmark District
Historic Classification	Contributing Structure
SNI	13 th Street
Redevelopment Area	SNI
Specific Plan	N/A

Location Map





OWNERS/APPLICANTS

Mary Ann Fernandez, Owner

BACKGROUND

The applicant, Mary Ann Fernandez, is requesting a Historic Preservation Permit to rebuild a single-family house damaged by fire at the beginning of this calendar year. The application also includes rebuilding an adjacent garage that has also fallen into significant disrepair. It is unclear if the damage to the garage was worsened by the adjacent house fire. The house on the 0.02 - gross acre site is a Contributing Structure to the Hensley National Historic District and City Landmark District. A Historic Preservation Permit is required for work within City Landmark Districts.

The subject site is designated as Residential Neighborhood on the adopted Envision San José 2040 General Plan Land Use/Transportation Diagram. The site is zoned R-M - Multiple Residence District. The site is bounded by railroad tracks to the north and west, and residential uses to the south and east.

Due to the proximity of the tracks and social services that are offered north of the property, the house has been broken into numerous times by homeless individuals. San Jose Code Enforcement staff is working with the property owner to maintain the property in a secure manner. In addition, the City Building Official inspected the property and determined that there was no immediate safety risk to general public outside the property. The Building Official intends to issue a demolition permit after the Historic Preservation Permit is final and the applicant has submitted complete plans for the reconstruction of the buildings.

Historic Resource Description

The Hensley Historic District is part of the former estate of Major Samuel J. Hensley (d. 1866) which extended from N. First to Fourth Street and Empire to what became the railroad right-of-way and was subdivided in 1886. The extremely irregularly shaped Hensley City Landmark District (HD89-51) is listed under the theme of Architecture and Shelter for the Horticulture period (1870-1918). The district is bounded for the most part by Second Street on the west, Empire Street on the north, Sixth Street on the east, and Julian Street to the south (see attached map).

The National Register listed Hensley Historic District consists of 279 properties with 207 contributors. The City Landmark District includes 24 additional properties located at the north and south ends of the National Register District. The mostly single family residences of various architectural styles were built between 1865 and 1930, mostly between 1880 and 1900, with in-fill to 1930. This district has the largest concentration of Victorian-era residences in the City of San Jose and is notable as a residential district with the most complete concentration of architectural styles popular between 1856 to 1918 in the City. Larger and more elaborate homes are found on N. Third Street with modest workingmen's homes along N. Fifth Street built in Italianate, Stick-Eastlake, and Queen Anne styles. As a listed on the National Register of

Historic Places, the district is automatically included on the California Register of Historical Resources (CRHR).

The subject property contains a Contributing Structure to the District, which was built circa 1884. Staff was unable to find a specific Historic Resource Inventory form for the property. Based on the photographs of the house (see attached), the building has many distinguishing features including but not limited to a corner bay window with fish scale shingles above the window, ornamental corner detail, porch wooden turn posts with decorative tops, wooden banister detail, raised basement front decoration, and horizontal board siding. The detached garage is so badly damaged and obscured that staff is unable to describe the structure accurately beyond what is evident from the photos contained in this report.





PROJECT DESCRIPTION AND ANALYSIS

The proposed project is to rebuild the house and detached garage. The primary subject of the analysis is the project's conformance with the City's Historic Preservation Ordinance (Municipal Code, Chapter 13.48) and the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings*.

Historic Preservation Ordinance

The Historic Preservation Ordinance states that no person shall perform any work in a City Historic District except pursuant to, and in compliance with, the terms and conditions of a Historic Preservation permit. "Work" shall include: Construction, reconstruction, alteration, rehabilitation, restoration, demolition, removal, or relocation of any structure or portion thereof.

In taking action on an application for an HP permit, the Director of Planning shall consider: the comments of the Historic Landmarks Commission; the purposes of the Historic Preservation Ordinance, including the preservation of historic landmarks and historic districts, and compatible design of new construction (13.48.010); the historic architectural value and significance of the landmark or district; the texture and materials of the building in question, and the relationship of such features to similar features of other buildings within an historic district; the position of such buildings within an historic district; and the position of such buildings in relation to the public right of way and other buildings on the site.

The Director, or Council on appeal, shall find that, subject to such conditions as they may impose, the work will not be detrimental to an historic district or to a structure or feature of significant architectural, cultural, historical, aesthetic, or engineering interest or value, and is consistent with the spirit and purposes of the Preservation Ordinance. Furthermore, Section 13.48.250 states that in

making the determination, the application shall be reviewed in accordance with the approved standards and guidelines.

The proposed HP Permit application has been reviewed in light of the language excerpted from the Historic Preservation Ordinance, above. Staff has concluded that the proposed project is consistent with standards and guidelines as discussed below, will not be detrimental to the historic structure and district, and is consistent with the spirit and purposes of the ordinance.

Consistency with the Secretary of Interior Standards

The primary project issues are conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings (the Standards). The Standards are neither technical nor prescriptive, but are intended to promote responsible preservation practices that help protect irreplaceable cultural resources. The Standards provide philosophical consistency to the work. The four treatment approaches of Preservation, Rehabilitation, Restoration, and Reconstruction, are hierarchical. Reconstruction is the lowest treatment in the hierarchy.

The project is in conformance with the *Secretary of the Interior's Standards for Reconstruction and Guidelines for Reconstructing Historic Buildings* available at:

http://www.nps.gov/hps/tps/standguide/reconstruct/reconstruct_standards.htm.

In particular, the draft Historic Preservation Permit includes conditions that follow four of the six Standards for Reconstruction to ensure an accurate replacement of the house is built.

Specifically, Standard numbers:

1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.
3. Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.
4. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color, and texture.
5. A reconstruction will be clearly identified as a contemporary re-creation.

The attached plans indicate that these Standards will be complied with through the reconstruction of the house and the detached garage. Specifically, the proposed project would locate the structures in the precise footprint of the existing buildings. This would maintain the historic relationship between the buildings and property lines. The attached plans and elevations demonstrate that the replacement buildings would contain the buildings' exterior features including but not limited to the roof shape; architectural detailing; windows; entrances and porches; steps and doors; and their historic spatial relationships and proportions. The elevations specify the proposed materials that are consistent with the Standards.

The applicant will be required to consult the Standards for specific guidance on the reconstruction work itself for the house. Per the Secretary of Interior's website:

Exterior and interior features are addressed in general, always emphasizing the need for an *accurate depiction*, i.e., careful duplication of the appearance of historic interior paints, and finishes such as stenciling, marbling, and graining. In the absence of extant historic materials, the objective in reconstruction is to re-create the appearance of the historic building for interpretive purposes. Thus, while the use of traditional materials and finishes is always preferred, in some instances, substitute materials may be used if they are able to convey the same visual appearance. Where non-visible features of the building are concerned--such as interior structural systems or mechanical systems--it is expected that contemporary materials and technology will be employed. Re-creating the building site should be an integral aspect of project work.

GENERAL PLAN CONFORMANCE

In addition to consistency with the General Plan Land Use/Transportation Diagram designation of Residential Neighborhood, the proposed project also conforms to the goals and policies of the Envisions San Jose 2040 General Plan.

Contributing Structures within the Hensley Historic District provide an important link to San Jose's past and foster a sense of place and community identity for San Jose. The preservation of appropriate remnants of the City's past provides multiple benefits important to the health and progress of the city. Historical resources:

- Are instructive, telling the story of a community's past;
- Provide a sense of civic identity and unique character;
- Are typically an interesting and pleasing aesthetic in the urban environment;
- Can generate economic advantage for a property or neighborhood;
- Give a community a sense of permanency. A place with a clear past can expect to also have a definite future;
- Once lost, cannot be recovered.

Staff considers the project consistent with the applicable goals and policies of the General Plan; in particular:

Goal LU-13 – Landmarks and Districts. Preserve and enhance historic landmarks and districts in order to promote a greater sense of historic awareness and community identity and contribute toward a sense of place.

Policy LU-13.6 Ensure modifications to candidate or designated landmark buildings or structures conform to the Secretary of the Interior's Standards for Treatment of Historic Properties and/or appropriate State of California requirements regarding historic buildings and/or structures, including the California Historical Building Code.

Policy LU -13.13 Foster the rehabilitation of buildings, structures, areas, places, and districts of historic significance. Utilize incentives permitting flexibility as to their uses; transfer of development rights; tax relief for designated landmarks and

districts; easements; alternative building code provisions for the reuse of historic structures; and financial incentives.

Goal LU-16 – Sustainable Practices. Preserve, conserve, and/or rehabilitate historic structures as a means to achieve the City of San José’s environmental, economic, and fiscal sustainability goals.

Policy LU -16.5 Utilize the aesthetic and cultural qualities of historic resources of all types as means of promoting San José as a place to live, work and visit consistent with the City’s economic development goals.

As discussed in the Project Description and Analysis sections above, the proposed work involves rebuilding the fire damaged house and rebuilding the detached garage in a manner that complies with the *Secretary of the Interior’s Standards for Reconstruction and Guidelines for Reconstructing Historic Buildings*.

ENVIRONMENTAL REVIEW

Under the provisions of Section 15331, Historical Resource Restoration/Rehabilitation, of the State Guidelines for Implementation of the California Environmental Quality Act (CEQA), the Director of Planning has determined this project to be exempt from further environmental review in that the proposed addition to the historic resource is consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

COMMUNITY OUTREACH

A public hearing notice for the project was posted at the site, published in a local newspaper, and mailed to all property owners and tenants within 500 feet of the subject site (see attached map). The staff report and the Historic Landmarks Commission and Planning Director Hearing agendas are posted on the “Hearings and Meetings” section of the Planning Division web page, and staff has been available to discuss the proposal with members of the public.

RECOMMENDATION

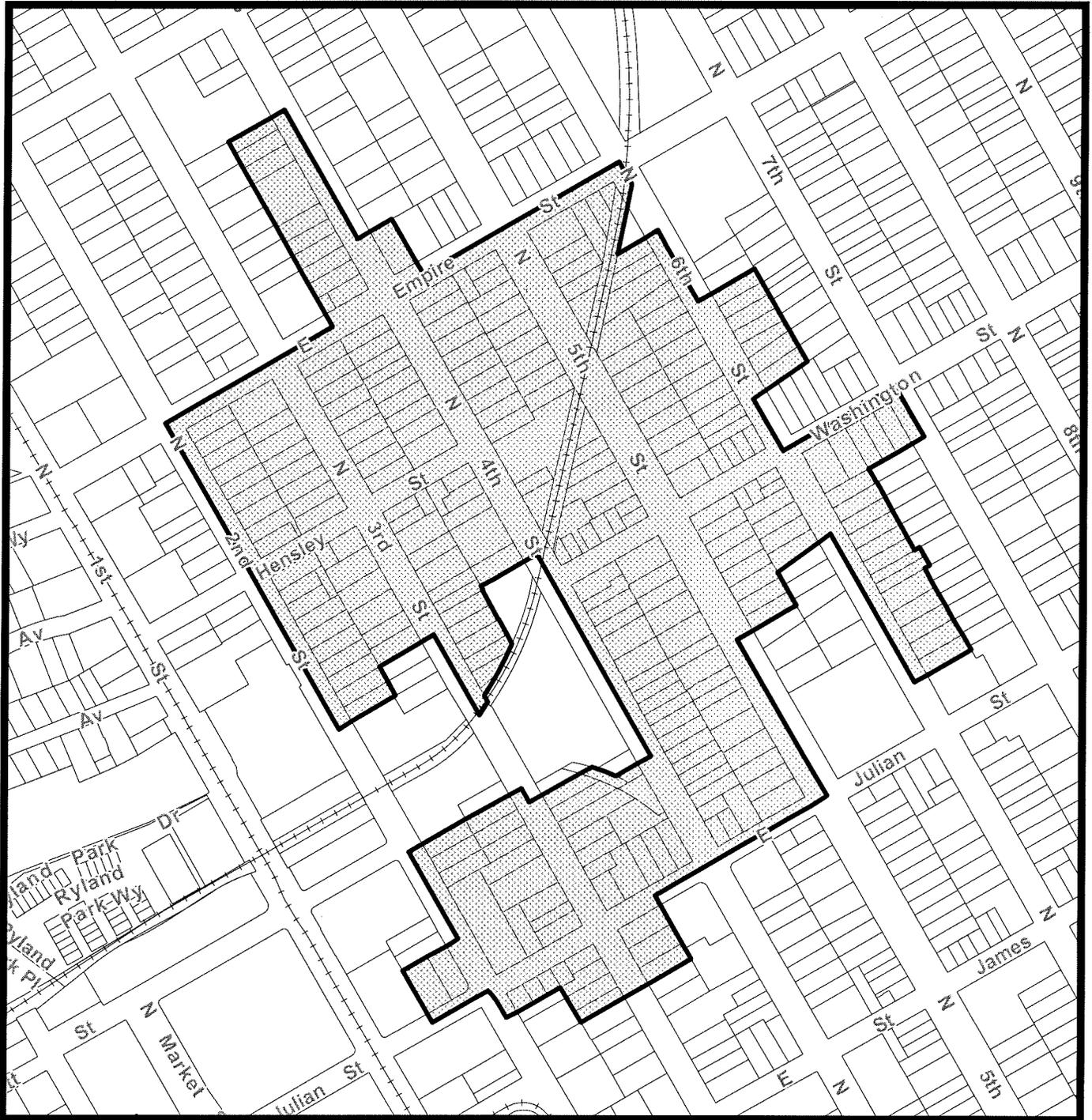
Planning staff recommends that Historic Landmarks Commission provide comments and recommend approval to the Director of Planning.

Project Manager: Laurel Prevetti **Approved by:**  **Date:** 4-26-12

Attachments

- Hensley Historic District Boundary
- Photos
- Noticing Map
- Plans

Hensley City Landmark and National Register Historic District





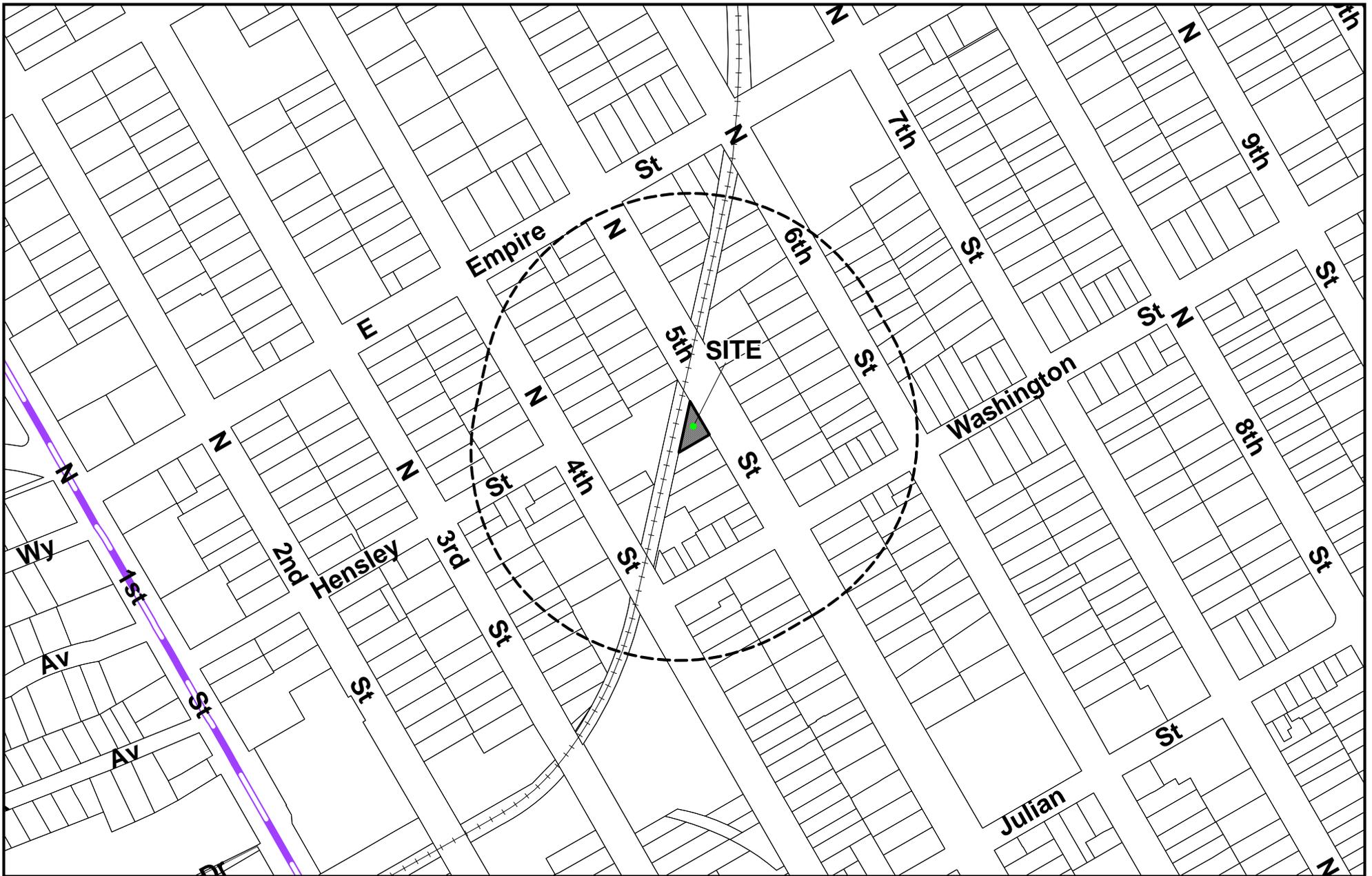
California S&S SERVICES
800-682-3449

California
S&S SERVICES
800-682-3449
www.californiaservices.com

NOTICE
NO TRESPASSING
IF YOU ARE FOUND ON THIS PROPERTY
YOU WILL BE PROSECUTED
BY THE CITY OF LOS ANGELES







File No: HP12-002

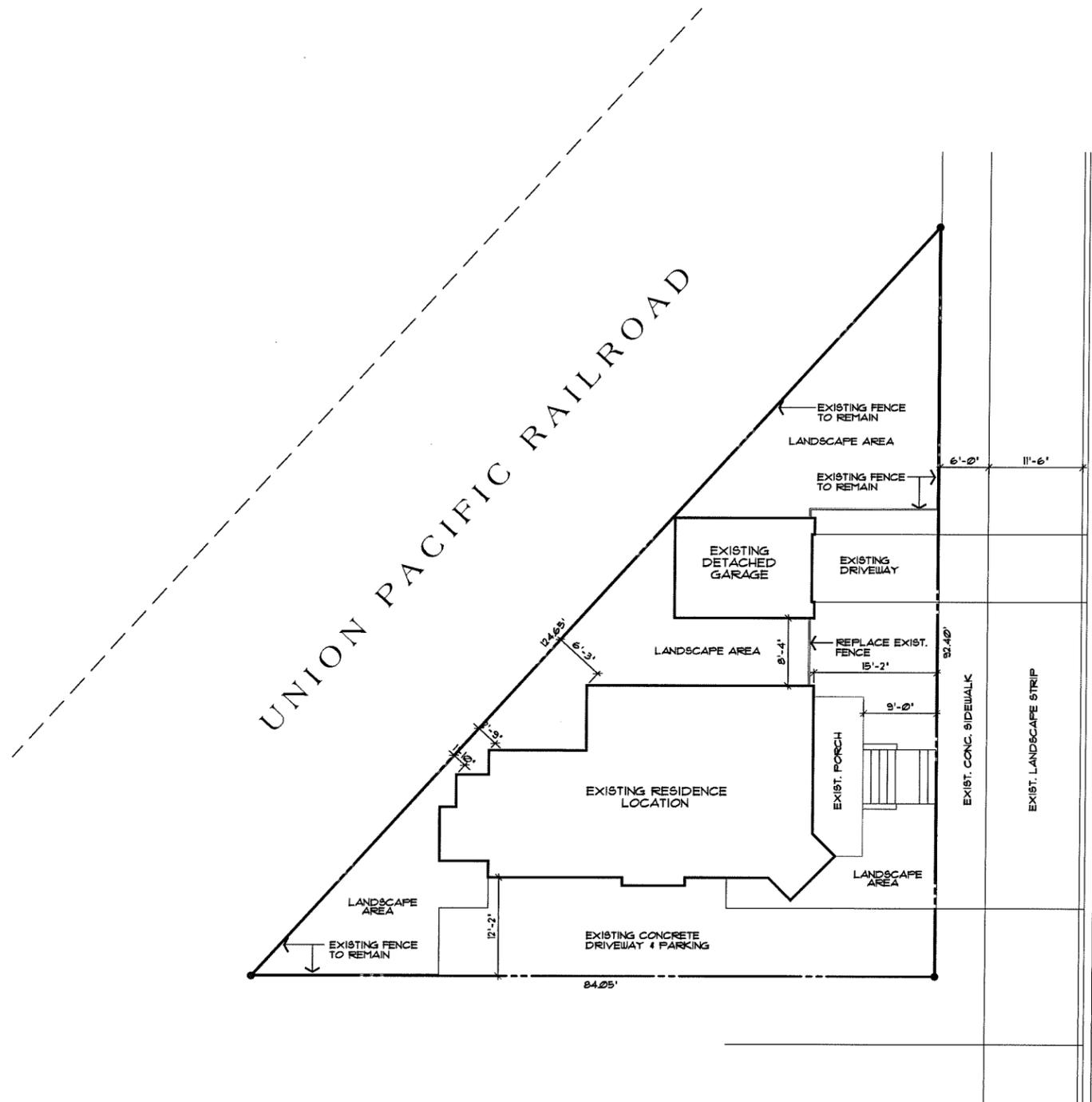
District: 3

Noticing Radius: 500 Feet



Prepared by the Department of Planning,
Building and Code Enforcement
04/13/2012

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SITE PLAN

scale: 1/8" = 1'-0"

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

ALL GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET, PER CBC 1803.3

RAINWATER LEADERS SHALL DISCHARGE RAINWATER AWAY FROM STRUCTURES.

NO.	DATE	REVISION

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DRAWING TITLE	Site Plan
JOB TITLE	Fornier Property
JOB ADDRESS	429 N. 5th Street San Jose, California

DATE	MARCH 1, 2012
SCALE	1/8" = 1'-0"
PROJECT MANAGER	SCOTT ZAZUETA
DRAWN	BEZ/GZ
JOB NO.	DZ1012

SHEET **A1**

GENERAL NOTES:

WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER FIG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (UNO).

ALL EXTERIOR HEADERS SHALL BE # 8'-0" UNO.

ALL EXTERIOR DOORS SHALL BE AT LEAST 1/4" THICK.

ALL GLASS DOORS, GLASS WITHIN 24' OF DOORS & WITHIN 8' OF FLOORS, GLASS SUBJECT TO HAZARD IMPACT, ETC. SHALL BE SAFETY TEMPERED PER R308.3.

BEDROOM WINDOWS SHALL HAVE MAX 44" HEIGHT TO CLEAR OPENING & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.1 FEET PER R302.

BATHUBS AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (72" INCHES) ABOVE FLOOR PER CRC SECTION R307.2.

WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE.

PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES PER CFC CHAPTER 1 & CFC CHAPTER 3.

WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATERS TO BE ON PLATFORM 18" MIN. AFF. - TYPICAL PER CFC & CBC.

OPENINGS AROUND GAS VENTS, DUCTS & PIPING

- EACH FLOOR SHALL BE FIRE STOPPED

DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILING SERVING THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 16 GAGE (1/8") SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE PER CRC R307.2.

INSTALL PRE-FAB HTL FIREPLACES PER FIG. 5 SPEC'S. PROVIDE I.C.B.O. APPROVED NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION.

PROVIDE FIRE-STOPS IN OPENINGS • FLOOR & CEILING OF ALL FIREPLACES PER CBC.

PROVIDE AC/DC SMOKE/CARBON MONOXIDE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA. ALL DETECTORS TO BE INTERCONNECTED TYPICAL.

WRAP ALL EXTERIOR WALLS WITH CDX PLYWOOD TYPICAL THROUGHOUT.

ALL HOSE BIBBS SHALL HAVE NON-REMOVABLE TYPE BACK-FLOW PREVENTION DEVICE.

PLUMBING CONTRACTOR SHALL PROVIDE T & P VALVE ON WATER HEATER AND ROUTE DISCHARGE LINE TO EXTERIOR. CBC 628.5.

IN SHOWERS & TUB/SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CFC 418.

NO UNDERFLOOR CLEANOUT SHALL BE LOCATED MORE THAN 20 FEET FROM AN ACCESS DOOR, TRAP DOOR, OR CRAWL HOLE PER CFC 701.

PLUMBING DRAIN WASTE AND VENT AND/OR MECHANICAL DUCTING ALONG WITH ELECTRICAL PANEL/WIRING SIZING CALCULATIONS MAY BE REQUIRED TO BE PROVIDED IF THE FIELD INSPECTOR REQUESTS THESE ITEMS.

IF STRUCTURE IS TO HAVE PROPANE GAS-PROVIDE FOR DRAINAGE OF L.P. GAS TO EXTERIOR (TYPICAL).

GUEST ROOMS AND HABITABLE ROOMS WITHIN A DWELLING UNIT OR CONGREGATE RESIDENCE SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS WITH A MINIMUM OF 10 SQUARE FEET. PER CBC SECTION 1205.

LIMITATION OF HOT WATER IN BATHUBS AND WHIRLPOOL BATHUBS. THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHUBS AND WHIRLPOOL BATHUBS SHALL BE LIMITED TO 120°F (49°C) BY A DEVICE THAT CONFORMS TO ASSE 1070 STANDARD FOR WATER TEMPERATURE LIMITING DEVICES OR CSA B127.3. STANDARD FOR PLUMBING FITTINGS. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION. PER CFC SECTION 414.8.

MECH. VENTILATION IS REQUIRED IN THIS ROOM W/ MIN TUC (2) AIR CHANGES PER HOUR PER R303.

FIREPLACE NOTES PER CBC 711.4. PROVIDE A NON-COMBUSTIBLE HEARTH SLAB WITH NON-COMBUSTIBLE SUPPORTS IN FRONT OF FIREPLACE.

COMBUSTIBLE MATERIAL SHOULD NOT BE PLACED WITHIN 6" OF THE FIREPLACE OPENING.

COMBUSTIBLE MATERIALS WITHIN 12" OF THE FIREPLACE OPENING SHALL NOT PROJECT MORE THAN 1/4" FOR EACH 1" CLEARANCE FROM THE FIREPLACE OPENING.

WATER-RESISTANT GYPSUM BACKING BOARD SHOULD NOT BE USED IN THE FOLLOWING LOCATIONS PER CBC:

- 1) OVER A VAPOR RETARDER
- 2) IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY
- 3) ON CEILING WHERE FRAME SPACING EXCEEDS 12 INCHES ON CENTER.

THE COMBUSTION AIR OPENINGS SHOULD BE WITHIN 12" FROM THE TOP AND 12" FROM THE BOTTOM OF THE ENCLOSURE WITH A MINIMUM OPENING SIZE OF 100 SQUARE INCHES PER OPENING PER CFC.

PROVIDE BLOCKING IN WALL

- TOILET BAR LOCATIONS - VERIFY LOCATION W/ OWNER

PROVIDE BULLNOSE CORNERS • ALL INTERIOR WALLS

ALL WINDOWS TO BE MILGARD, DUAL PANE VINYL CLAD W/ WHITE FRAMES

ALL INTERIOR DOORS TO BE 6'-8" HT.

DOOR GLAZING NOTE:

ALL DOORS W/ GLASS TO HAVE DUAL PANE GLAZING W/ LOW 'E' & TEMPERED GLASS

WALLS:

- ALL EXTERIOR WALLS TO BE 2X4 DF STUDS W/ R-13 INSULATION

CAL Green Requirements

SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GPM PER CALGREEN CODE 4303.2

BATHROOM FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.5 GPM PER CALGREEN CODE 4303.3

KITCHEN AND UTILITY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.0 GPM PER CALGREEN CODE 4303.3

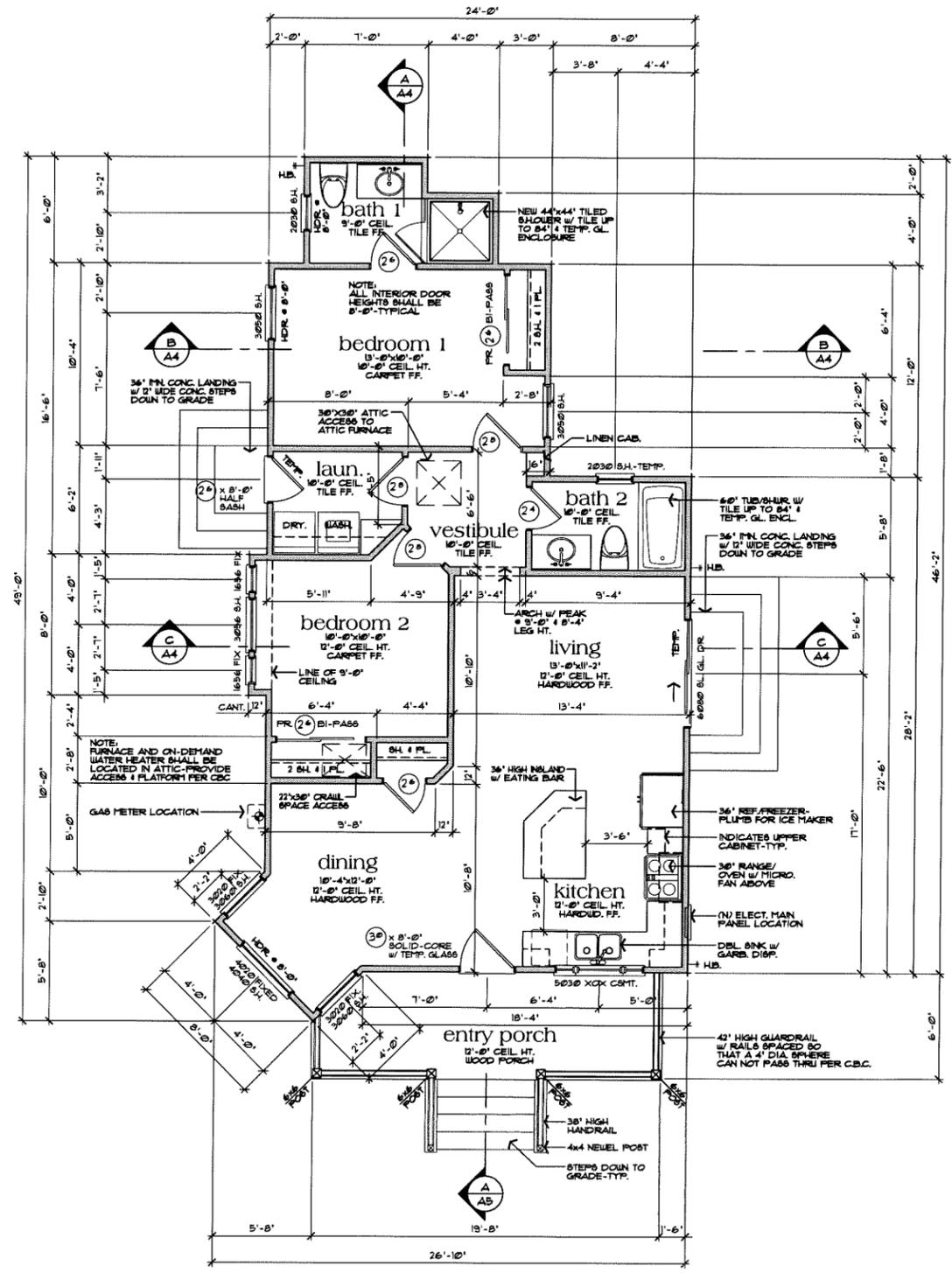
INSTALL ONLY HIGH-EFFICIENCY TOILETS (DUAL FLUSH, OR USE NO MORE THAN 1.0 GALLONS PER FLUSH) PER CAL GREEN 4303.3

ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. PER CALGREEN CODE 4406.1

A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. PER CALGREEN CODE 4406.1

INSTALL ONLY A DIRECT-VENT SEALED-COMBUSTION GAS OR SEALED WOOD-BURNING FIREPLACE, OR A SEALED WOODSTOVE. PER CALGREEN CODE 4503.1

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENING SHALL BE COVERED DURING CONSTRUCTION. PER CALGREEN CODE 4504.1



Floor Plan
 950 sq. ft. Living Area
 114 sq. ft. Covered Porch
 222 sq. ft. Detached Garage
 scale: 1/4" = 1'-0"

NO./ DATE/ REVISION

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Floor Plan
 Fomertis Property
 429 N. 5th Street
 San Jose, California

DRAWING TITLE
 JOB TITLE
 JOB ADDRESS

DATE: MARCH 2012
 SCALE: 1/4" = 1'-0"
 PROJECT MANAGER: SCOTT ZAJUETA
 DRAWN: SEZ
 JOB NO.: DZ1012
 SHEET:

A2

NO.	DATE	REVISION

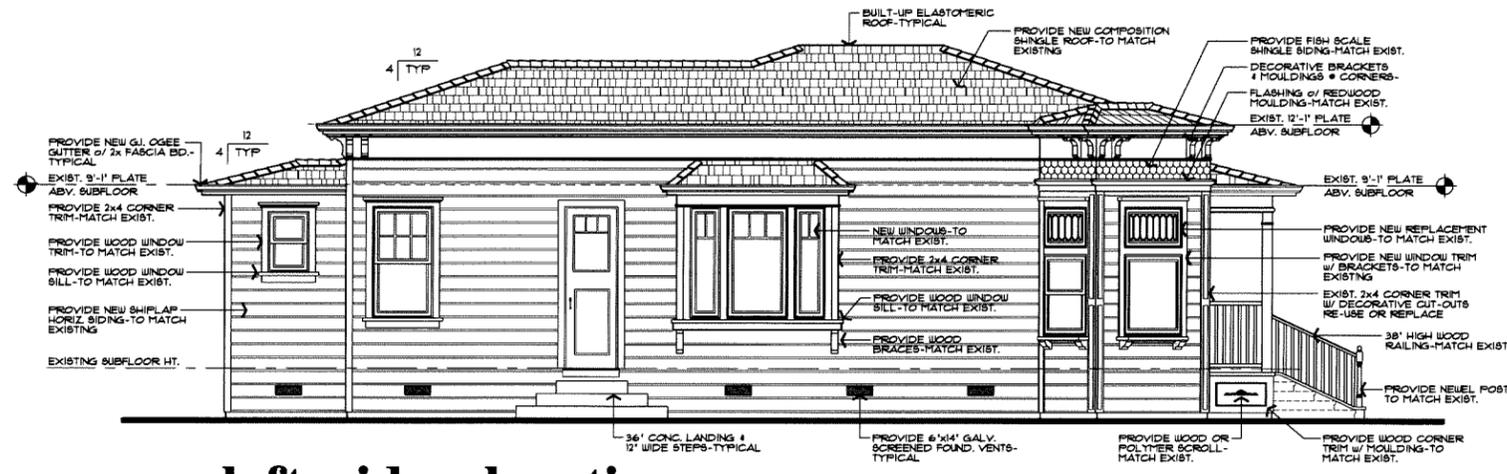
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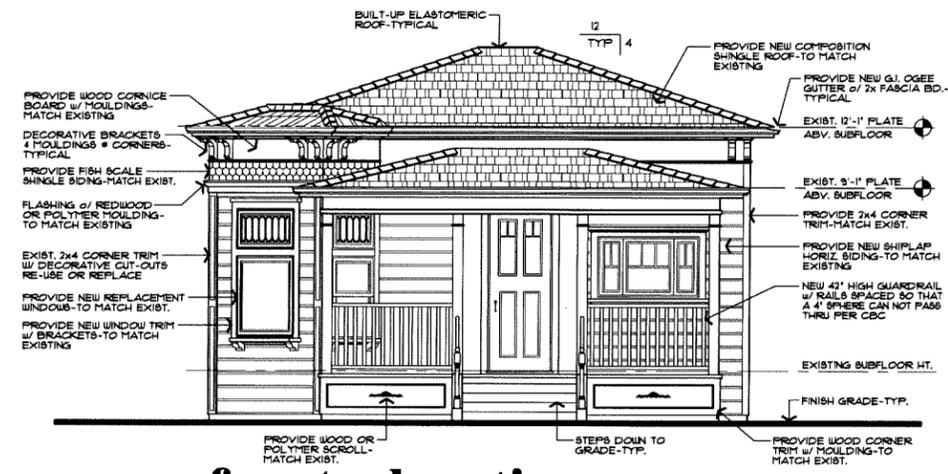
DRAWING TITLE: Exterior Elevations
 JOB TITLE: Forneris Property
 JOB ADDRESS: 429 N. 5th Street
 San Jose, California

DATE: MARCH 2012
 SCALE: 1/4" = 1'-0"
 PROJECT MANAGER: SCOTT ZAZUETA
 DRAWN: GZ
 JOB NO.: DZ1012
 SHEET:

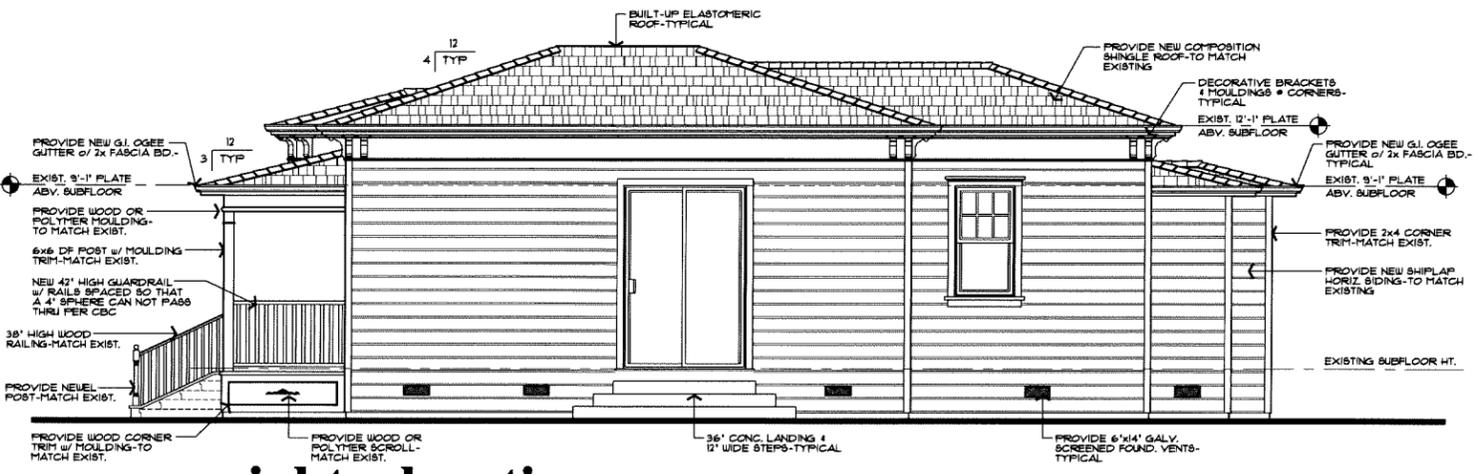
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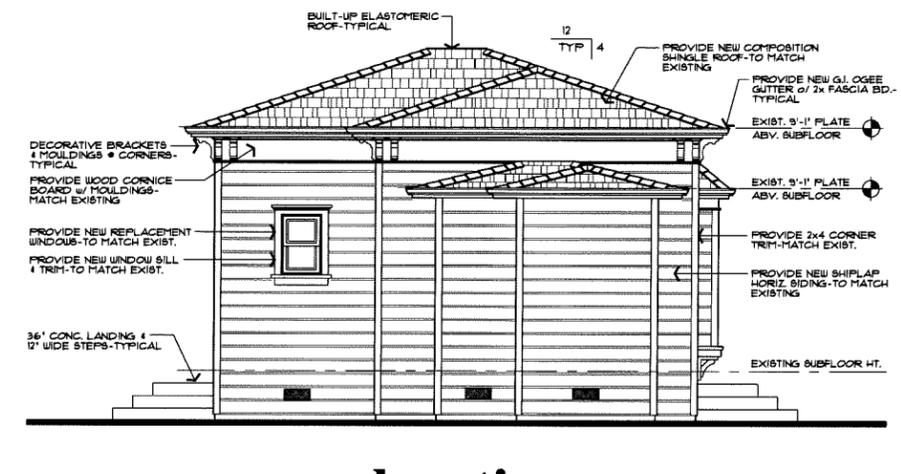
left side elevation



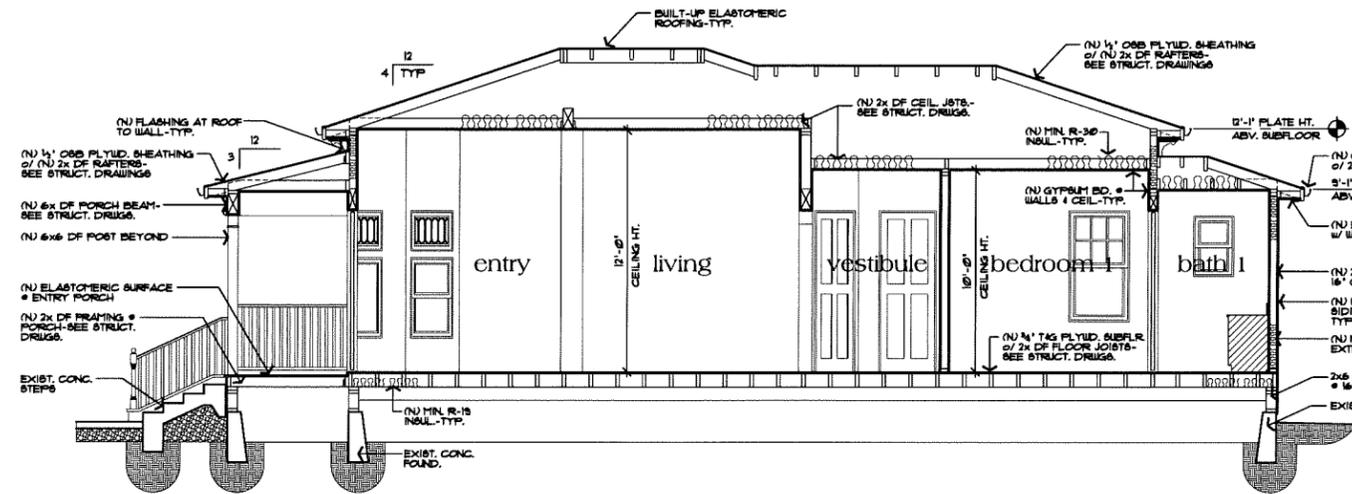
front elevation



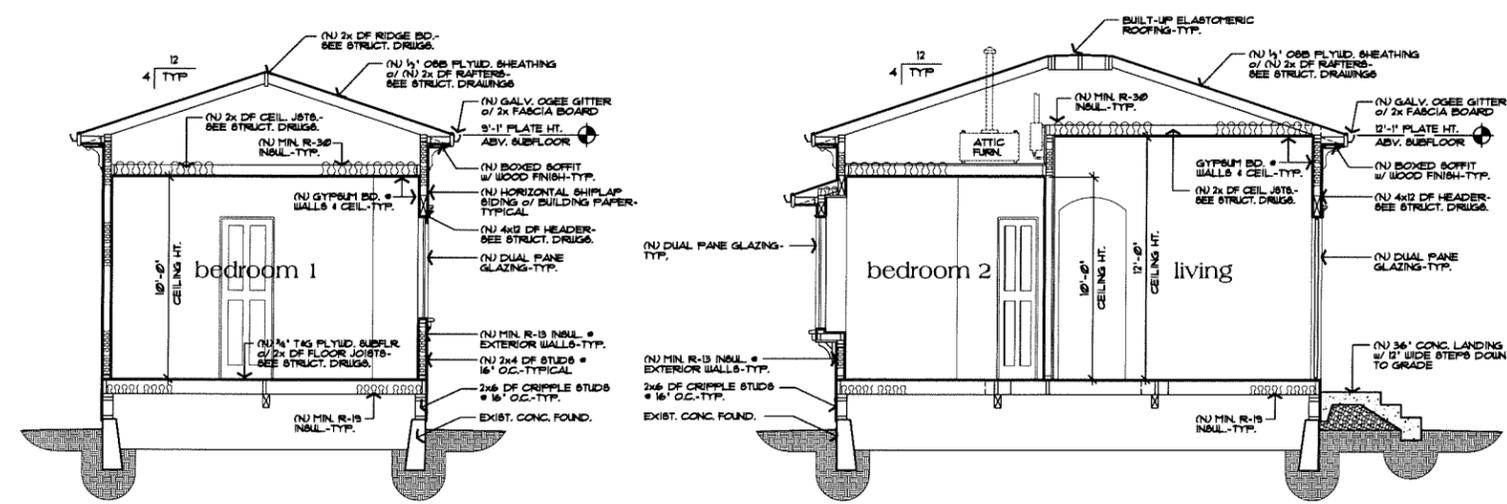
right elevation



rear elevation

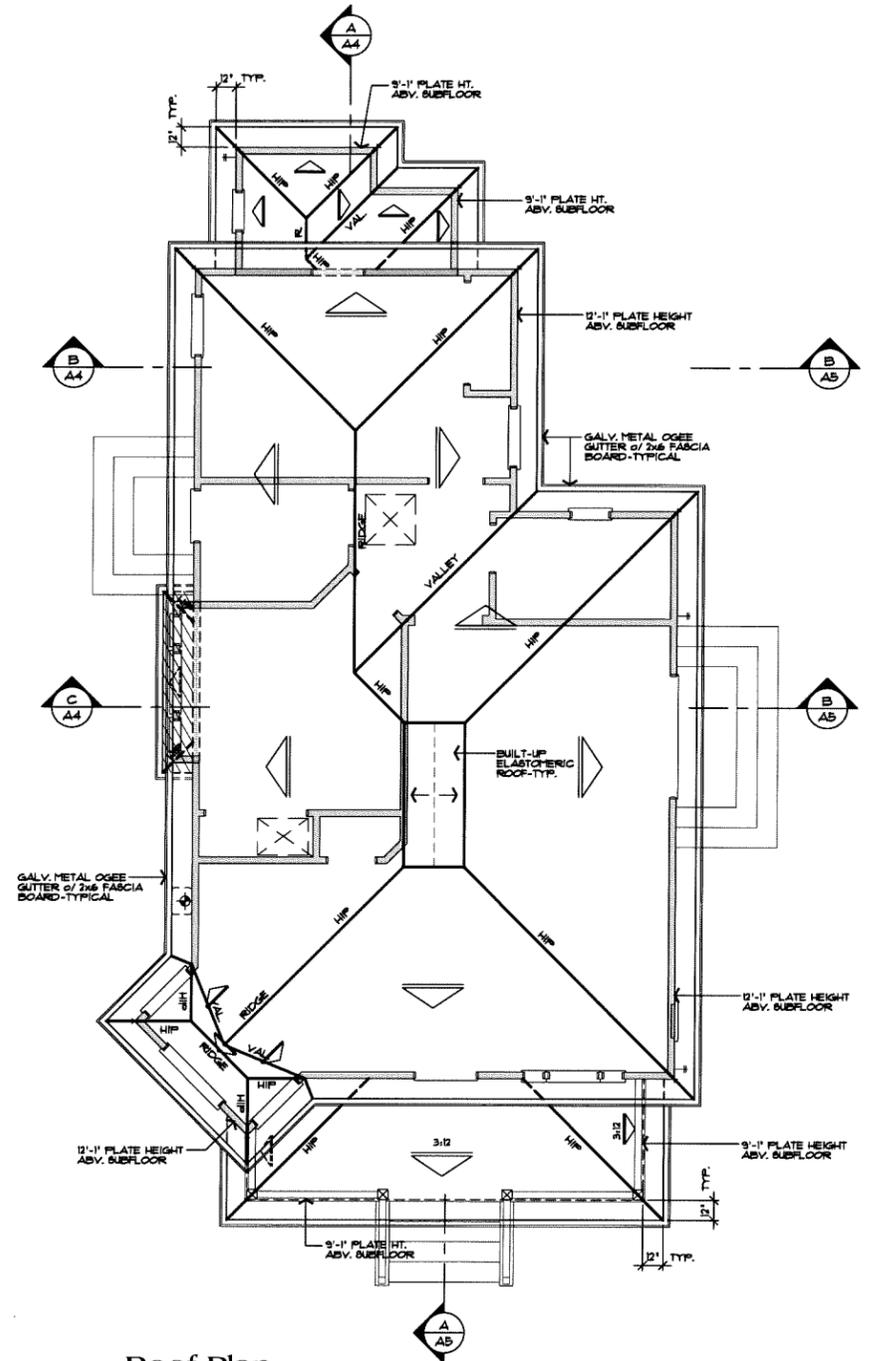


A Cross Section
1/4" = 1'-0"



B Cross Section
1/4" = 1'-0"

C Cross Section
1/4" = 1'-0"



Roof Plan

scale: 1/4" = 1'-0"

ROOF PLAN NOTES:

- ROOF SLOPE IS TO BE 4:12.
- ARROWS INDICATE DIRECTION OF ROOF SLOPE.
- PLATE HEIGHT IS TO BE 12'-1" UNL.
- OVERHANGS ARE TO BE 12" AT EAVES & 12" AT RAKES (UNL.)
- PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER CBC TYPICAL
- INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
- PROVIDE NEW 26 GA. G.I. OGEE GUTTER W/ 2 1/2" DIA. G.I. DOWNSPOUTS. INSURE THAT ALL DRAINAGE IS AWAY FROM THE STRUCTURE.

HOUSE ATTIC VENTILATION:
 360 SQ. FT. OF ATTIC SPACE ÷ 120 × 6.33 SQ. FT. 6.33 SQ. FT. × 144 SQ. INCHES = 913.2 SQ. INCHES REQUIRED
 PROVIDE G.I. CONTINUOUS BOFFIT VENTS • EAVE • 20 SQ. IN. OF VENTING PER LINEAL FOOT (913.2) × 50% = 456.6
 456.6 SQ. INCHES ÷ 20 SQ. IN. (PER LIN. FT. OF VENT) = 22.83 LINEAL FEET OF CONT. BOFFIT VENTING REQUIRED
 MIN. 1 0" HAGEN LOW PROFILE VENTS REQUIRED AT A HEIGHT 3 FEET ABOVE EAVE MIN.

PORCH ATTIC VENTILATION:
 14 SQ. FT. OF ATTIC SPACE ÷ 120 × 7.6 SQ. FT. 7.6 SQ. FT. × 144 SQ. INCHES = 1094.4 SQ. INCHES REQUIRED
 PROVIDE G.I. CONTINUOUS BOFFIT VENTS • EAVE • 20 SQ. IN. OF VENTING PER LINEAL FOOT (1094.4) × 50% = 547.2
 547.2 SQ. INCHES ÷ 20 SQ. IN. (PER LIN. FT. OF VENT) = 27.36 LINEAL FEET OF CONT. BOFFIT VENTING REQUIRED
 MIN. 1 0" HAGEN LOW PROFILE VENTS REQUIRED AT A HEIGHT 3 FEET ABOVE EAVE MIN.

ATTIC VENTING LOCATED MIN. 3 FEET ABOVE EAVE
 PROVIDE 0" HAGEN METAL LOW PROFILE ATTIC VENTS • 12 SQ. IN. OF NET VENTING AREA PER UNIT

NOTE:
 MINIMUM OF 50% OF REQUIRED ATTIC VENTILATION SHALL BE PROVIDED BY VENTS LOCATED A MINIMUM OF 3 FEET ABOVE THE EAVE PER C.R.C.

NO.	DATE	REVISION

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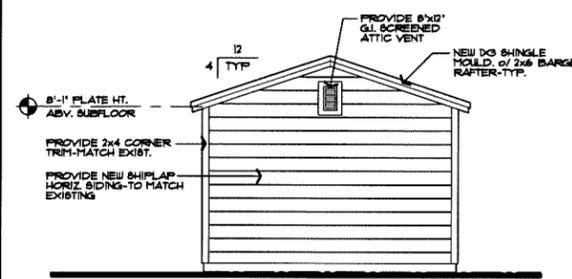
Roof Plan & Cross Sections
 Forneris Property
 429 N. 5th Street
 San Jose, California

DRAWING TITLE
 JOB TITLE
 JOB ADDRESS

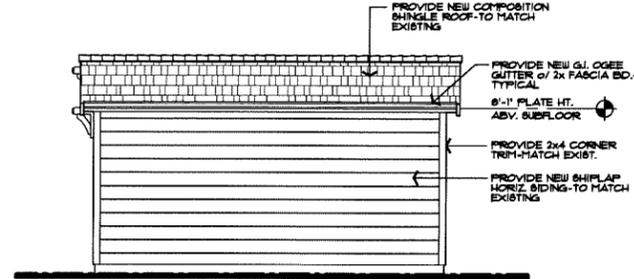
DATE **MARCH 1, 2012**
 SCALE **1/4" = 1'-0"**
 PROJECT MANAGER **BOETT ZAZUETA**
 DRAWN **GZ**
 JOB NO. **DZ1012**
 SHEET

A4

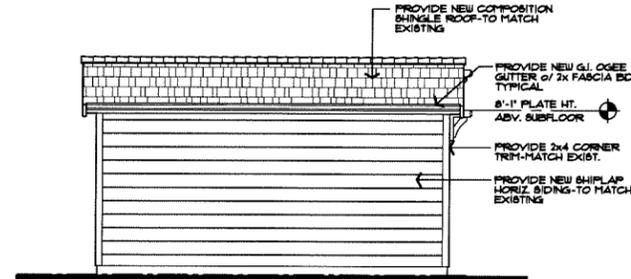
NO. / DATE / REVISION



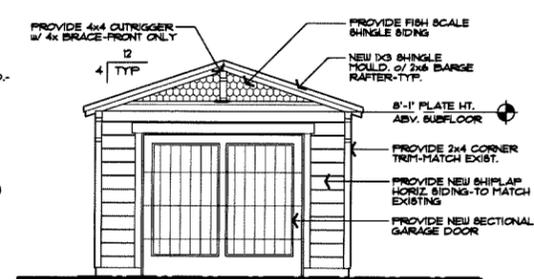
rear elevation



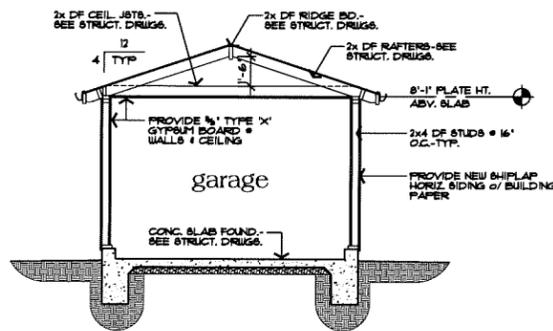
right side elevation



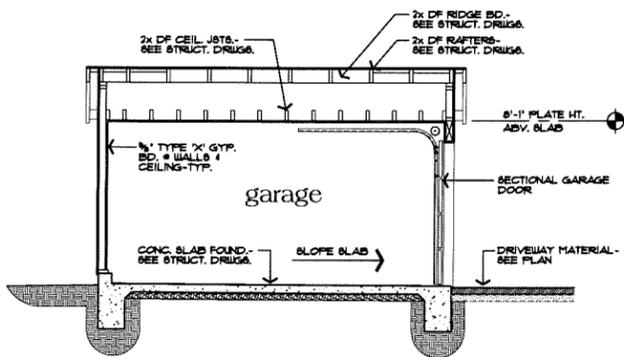
left side elevation



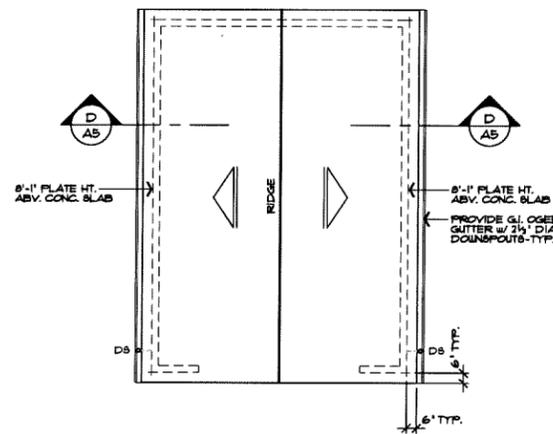
front elevation



D Cross Section
1/4" = 1'-0"



E Cross Section
1/4" = 1'-0"



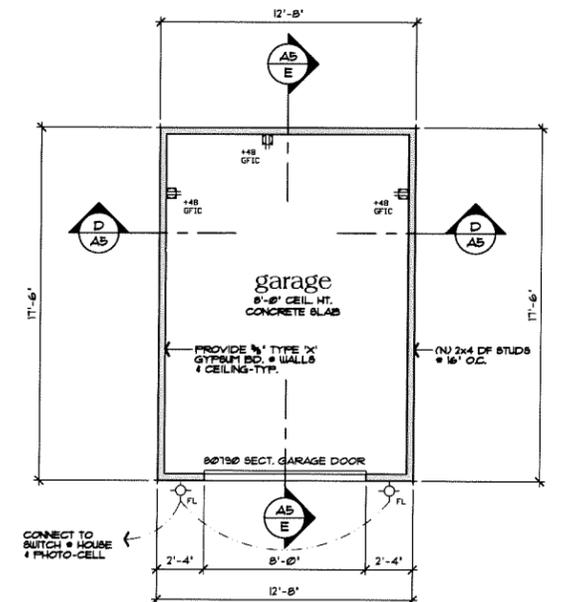
Detached Garage Roof Plan
1/4" = 1'-0"

ROOF PLAN NOTES:

ROOF SLOPE IS TO BE 4:12.
ARROWS INDICATE DIRECTION OF ROOF SLOPE.
PLATE HEIGHT IS TO BE 12'-1" UNO.
OVERHANGS ARE TO BE 12" AT EAVES & 12" AT RAKES (UNO).
PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER CBC TYPICAL.
INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
PROVIDE NEW 26 GA. G.I. OGEE GUTTER w/ 2 1/2" DIA. G.I. DOWNSPOUTS. INSURE THAT ALL DRAINAGE IS AWAY FROM THE STRUCTURE.

GARAGE ATTIC VENTILATION:
222 SQ. FT. OF ATTIC SPACE = 150' x 148 SQ. FT.
148 SQ. FT. x 144 SQ. INCHES = 21312 SQ. INCHES REQUIRED
PROVIDE G.I. 6x4 EAVE VENTS @ EAVE = 44 SQ. IN. OF VENTING PER EAVE VENT (21312) x 50% = 10656 SQ. INCHES = 44 SQ. IN. (PER LIN. FT. OF VENT) = 2.42 OR 3 EAVE VENTS REQUIRED
MIN. 2 OHVAGN LOW PROFILE VENTS REQUIRED AT A HEIGHT 3 FEET ABOVE EAVE MIN.
ATTIC VENTING LOCATED MIN. 3 FEET ABOVE EAVE
PROVIDE OHVAGN METAL LOW PROFILE ATTIC VENTS = 12 SQ. IN. OF NET VENTING AREA PER UNIT

NOTE:
MINIMUM OF 50% OF REQUIRED ATTIC VENTILATION SHALL BE PROVIDED BY VENTS LOCATED A MINIMUM OF 3 FEET ABOVE THE EAVE PER C.R.C.



Detached Garage Plan
222 sq. ft. Detached Garage
1/4" = 1'-0"

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DRAWING TITLE: Detached Garage Plans
JOB TITLE: Fomeris Property
JOB ADDRESS: 429 N. 5th Street
San Jose, California

DATE: MARCH 1, 2012
SCALE: 1/4" = 1'-0"
PROJECT MANAGER: SCOTT ZAZUETA
DRAWN: GZ
JOB NO.: DZ1012
SHEET:

A5